

**SHEET INDEX:**

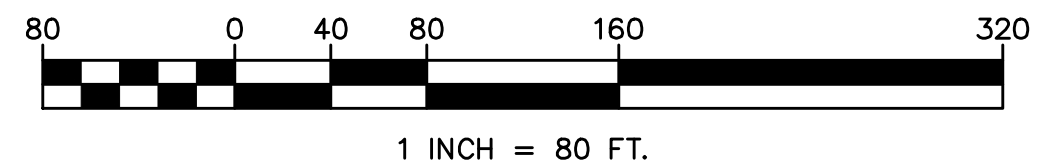
SHEET 1	- ILLUSTRATIVE SITE PLAN
SHEET 2	- RECORD PLAN
SHEET 3	- TRIANON REFERENCE PLAN
SHEET 4	- EXISTING CONDITIONS PLAN
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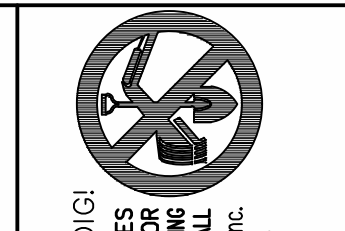
PROPOSED BUILDINGS SHOWN ON PROPOSED LOTS ARE CONCEPTUAL ONLY AND ARE NOT INTENDED TO REPRESENT THE ACTUAL HOMES TO BE BUILT ON THOSE LOTS

# PRELIMINARY SUBDIVISION AND LAND DEVELOPMENT PLANS for 200 S. ITHAN AVENUE

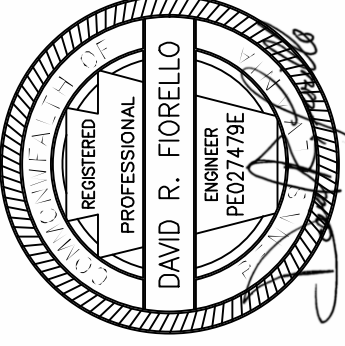
RADNOR TOWNSHIP \* DELAWARE COUNTY



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Serial Number:  
CALL BEFORE YOU DIG!  
FOR ANY WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TO WORKING DAYS IN DESIGN STAGE STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776



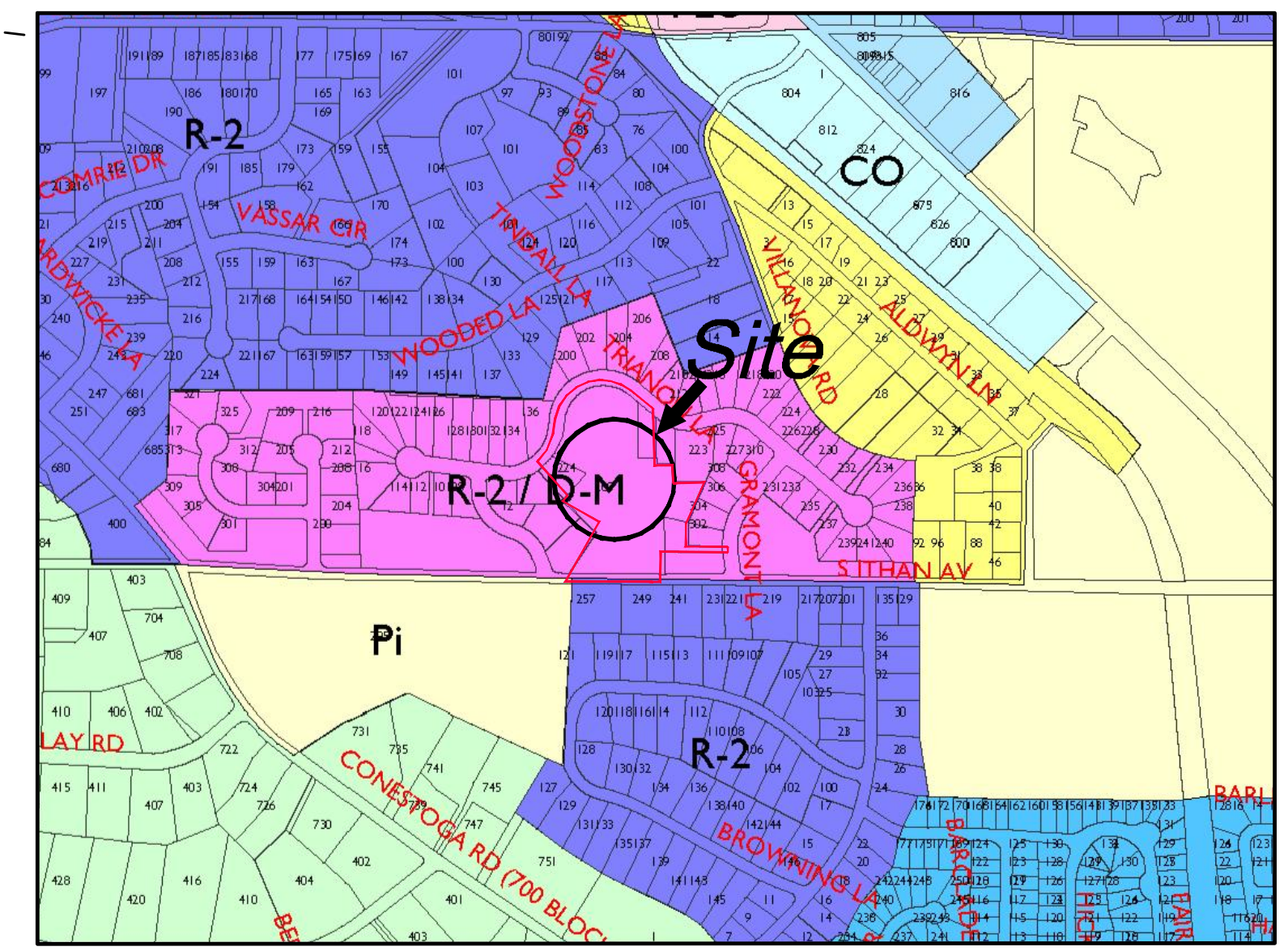
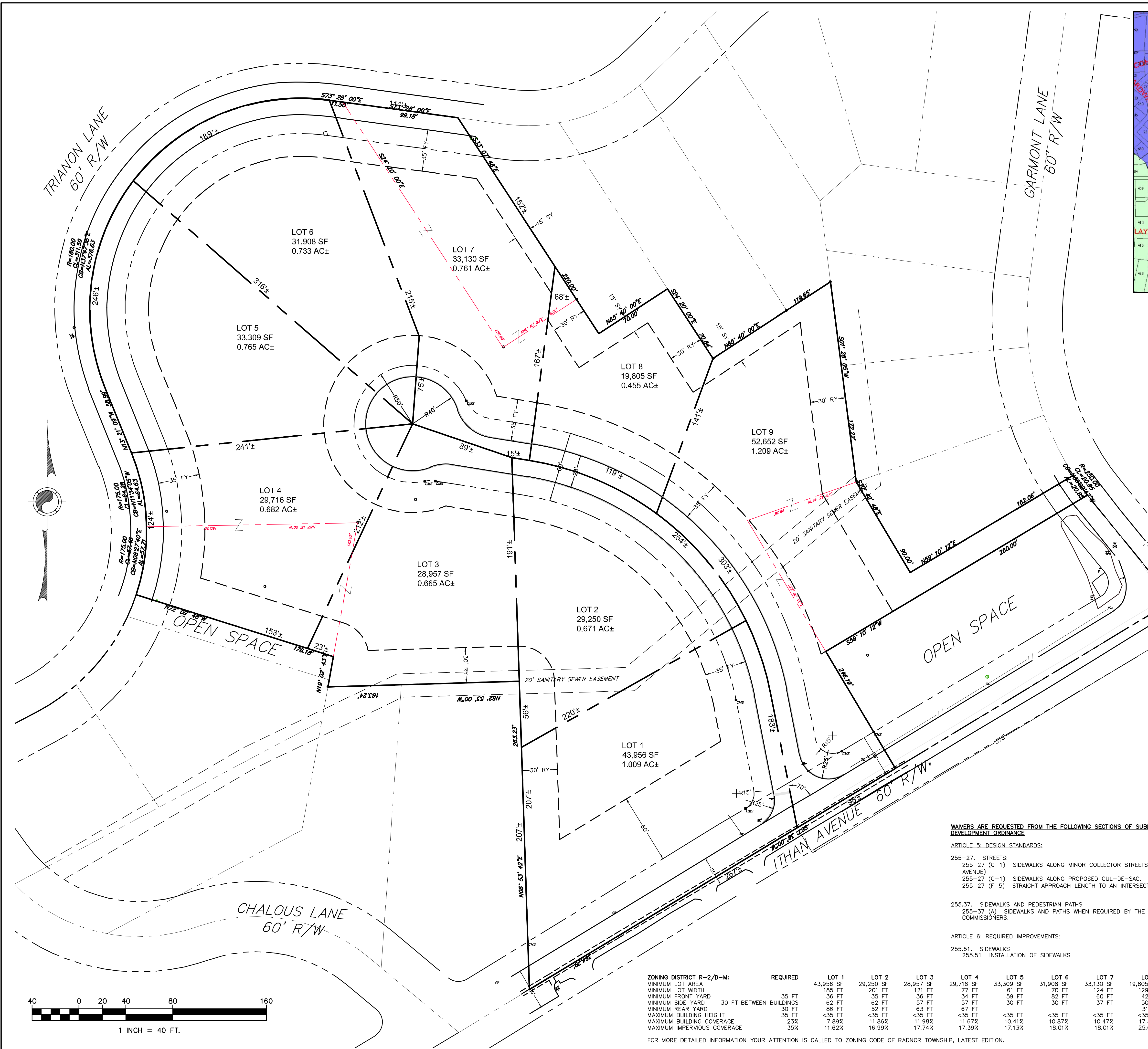
**MOMENEE, INC.**  
a Karmis Company  
ENGINEERING | PLANNING | SURVEYING  
924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

ILLUSTRATIVE SITE PLAN  
PRELIMINARY SUBDIVISION/LAND DEVELOPMENT PLANS  
**200 S. ITHAN AVENUE**  
RADNOR TOWNSHIP \* DELAWARE COUNTY \* PENNSYLVANIA  
OWNER/APPLICANT: GPX REALTY REALTY PARTNERS  
DRAWN BY: TED DRF  
CHECKED BY: DRF KING OF PRUSSIA, PA 19406

REV.	DATE	COMMENTS

FILE NO.: 19-283  
SHEET **1** OF 9  
DATE: OCTOBER 2, 2020  
SCALE: 1" = 80'





LOCATION MAP  
SCALE: 1" = 600'

**ZONING REGULATIONS:**

NOTE: THIS SITE IS BEING DEVELOPED UNDER THE DENSITY MODIFICATION REGULATIONS PERMITTED UNDER ARTICLE XIX OF THE RADNOR TOWNSHIP ZONING CODE. BASE ZONING IS R-2DM (RESIDENTIAL-DENSITY MODIFICATION) DISTRICT

MINIMUM TRACT AREA: 15 AC  
 PERIMETER BUILDING SETBACK: 60 FT FROM EXISTING STREET RIGHT OF WAY  
 40 FT FROM ADJACENT PROPERTY  
 FRONT YARD: 35 FT FROM OUTSIDE EDGE OF CURB  
 SIDE YARD: 30 FEET BETWEEN BUILDINGS  
 REAR YARD: 30 FT  
 MAXIMUM IMPERVIOUS COVER 35%

NOTE: THE SUBJECT PARCEL CONSISTS OF LOT NUMBERS 1, 52, 57 AND 58 OF THE TRIANON DENSITY MODIFICATION SUBDIVISION APPROVED BY RADNOR TOWNSHIP IN 1985.

PROJECT CONSISTS OF LOTS 1, 52, 57 & 58 OF THE TRIANON SUBDIVISION

TOTAL TRACT AREA 6.946 ACRES

**GENERAL NOTES:**

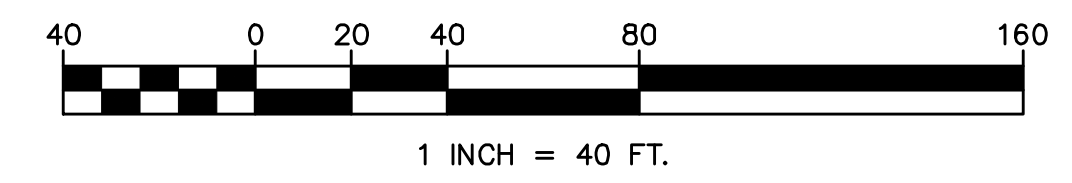
- OWNER/APPLICANT:  
GPX REALTY PARTNERS  
357 SOUTH GULPH ROAD  
KING OF PRUSSIA, PA 19406  
ATTN: MR. JOSEPH S. CONWELL
- BOUNDARY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED 'BOUNDARY AND TOPOGRAPHIC SURVEY OF 200 S. ITHAN AVENUE' PREPARED BY MOMENEE INC, DATED FEBRUARY 27, 2020, FILE #19-283. THE TRIANON SUBDIVISION WAS APPROVED AND DEVELOPED AS PART OF THE DENSITY MODIFICATION PROVISIONS OF THE TOWNSHIP ZONING ORDINANCE.
- THE SUBJECT PARCEL CONSISTS OF LOT NUMBERS 1, 52, 57 AND 58 OF THE TRIANON DENSITY MODIFICATION SUBDIVISION APPROVED BY RADNOR TOWNSHIP IN 1985.
- THE INTENT OF THE PLAN IS TO MERGE LOTS 1, 52, 57 AND 58, AND SUBDIVIDE THE TRACT INTO 9 INDIVIDUAL LOTS USING THE ORIGINAL DENSITY MODIFICATION PROVISIONS PERMITTED UNDER ARTICLE 19 OF THE RADNOR TOWNSHIP ZONING ORDINANCE. ALL LOTS WILL BE DEVELOPED AS SINGLE-FAMILY RESIDENCES.
- ALL NEW LOTS WILL CONTAIN SINGLE FAMILY DWELLINGS WITH DRIVEWAYS ACCESSING THE NEW ROADS.
- PUBLIC WATER SUPPLY AND SANITARY SEWER SERVICE ARE PROPOSED FOR ALL LOTS
- STORMWATER MANAGEMENT PROVISIONS WILL INCLUDE INDIVIDUAL ON-LOT RECHARGE/RATE CONTROL SYSTEMS IN CONJUNCTION WITH A COMMON STORMWATER MANAGEMENT SYSTEM ON LOT 1 TO PROVIDE ADDITIONAL RATE CONTROL FOR THE LOTS AND NEW ROADWAY.
- FLOOD PLAIN INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP #42045C0019F REVISED NOVEMBER 18, 2009. THIS SITE IS NOT LOCATED WITHIN THE LIMITS OF ANY FLOODPLAIN.
- ALL PROPOSED PUBLIC ROADS, STORM SEWERS AND SANITARY SEWERS TO BE OFFERED FOR DEDICATION.
- TREE DATA AND LOCATIONS FROM A FIELD SURVEY BY MOMENEE SURVEY GROUP INC. TREE SPECIES AND CONDITION VERIFIED BY SHREINER TREE CARE.
- THE PROJECTS RECEIVING WATERCOURSE IS DARBY CREEK, BY SEVERAL NAMED AND UNNAMED TRIBUTARIES. THE CHAPTER 93 CLASSIFICATION IS CWF, MF.

**WAIVERS ARE REQUESTED FROM THE FOLLOWING SECTIONS OF SUBDIVISION AND LAND DEVELOPMENT ORDINANCE**

- ARTICLE 5: DESIGN STANDARDS:
- 255-27. STREETS:  
 255-27 (C-1) SIDEWALKS ALONG MINOR COLLECTOR STREETS (SOUTH ITHAN AVENUE)  
 255-27 (C-1) SIDEWALKS ALONG PROPOSED CUL-DE-SAC.  
 255-27 (F-5) STRAIGHT APPROACH LENGTH TO AN INTERSECTION
- 255.37. SIDEWALKS AND PEDESTRIAN PATHS  
 255-37 (A) SIDEWALKS AND PATHS WHEN REQUIRED BY THE BOARD OF COMMISSIONERS.
- ARTICLE 6: REQUIRED IMPROVEMENTS:  
 255.51. SIDEWALKS  
 255.51 INSTALLATION OF SIDEWALKS

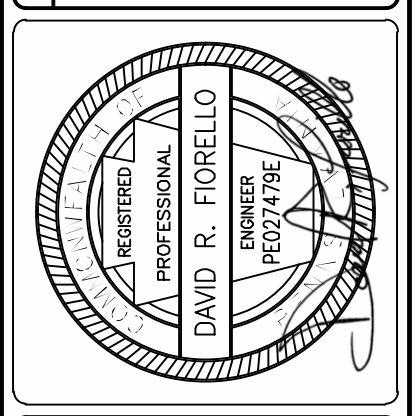
ZONING DISTRICT R-2/D-M:	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9
MINIMUM LOT AREA		43,956 SF	29,250 SF	28,957 SF	29,716 SF	33,309 SF	31,908 SF	33,130 SF	19,805 SF	52,652 SF
MINIMUM LOT WIDTH		185 FT	201 FT	121 FT	77 FT	61 FT	70 FT	124 FT	129 FT	336 FT
MINIMUM FRONT YARD	35 FT	36 FT	35 FT	36 FT	34 FT	34 FT	30 FT	30 FT	42 FT	36 FT
MINIMUM SIDE YARD	30 FT BETWEEN BUILDINGS	62 FT	62 FT	57 FT	57 FT	30 FT	30 FT	37 FT	50 FT	50 FT
MINIMUM REAR YARD	30 FT	86 FT	52 FT	63 FT	67 FT	<35 FT	<35 FT	31 FT	31 FT	31 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT
MAXIMUM BUILDING COVERAGE	23%	7.89%	11.86%	11.98%	10.41%	10.87%	10.47%	17.52%	6.59%	6.59%
MAXIMUM IMPERVIOUS COVERAGE	35%	11.62%	16.99%	17.74%	17.39%	17.13%	18.01%	18.01%	25.05%	9.71%

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.



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**Serial Number:**  
 CALL BEFORE YOU DIG:  
 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776



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 a Kams Company  
 ENGINEERING | PLANNING | SURVEYING  
 924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

**RECORD PLAN**  
 PRELIMINARY SUBDIVISION/LAND DEVELOPMENT PLANS  
**200 S. ITHAN AVENUE**  
 RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA  
 OWNER/APPLICANT: GPX REALTY REALTY PARTNERS  
 DRAWN BY: TED DRF  
 CHECKED BY: DRF

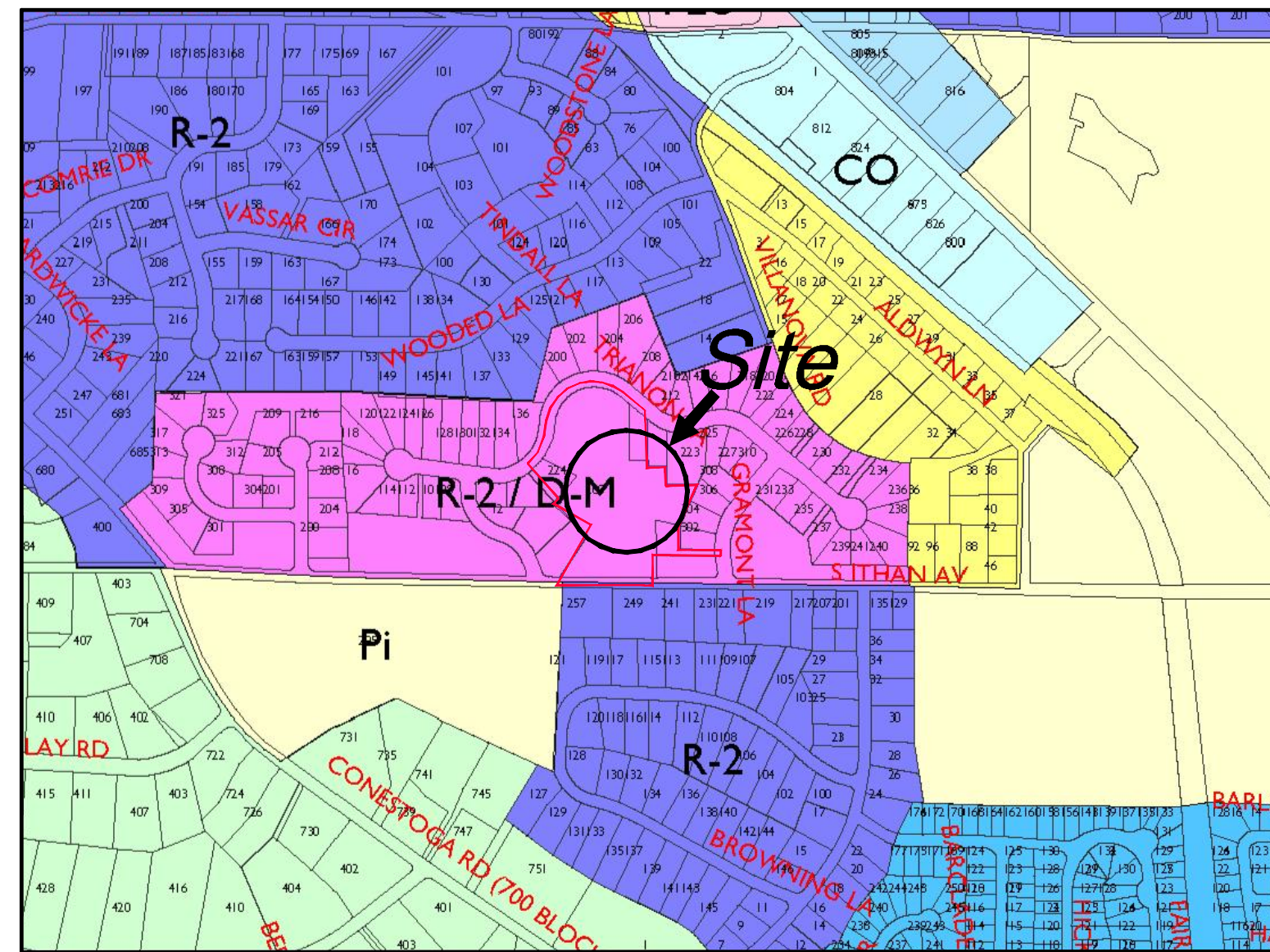
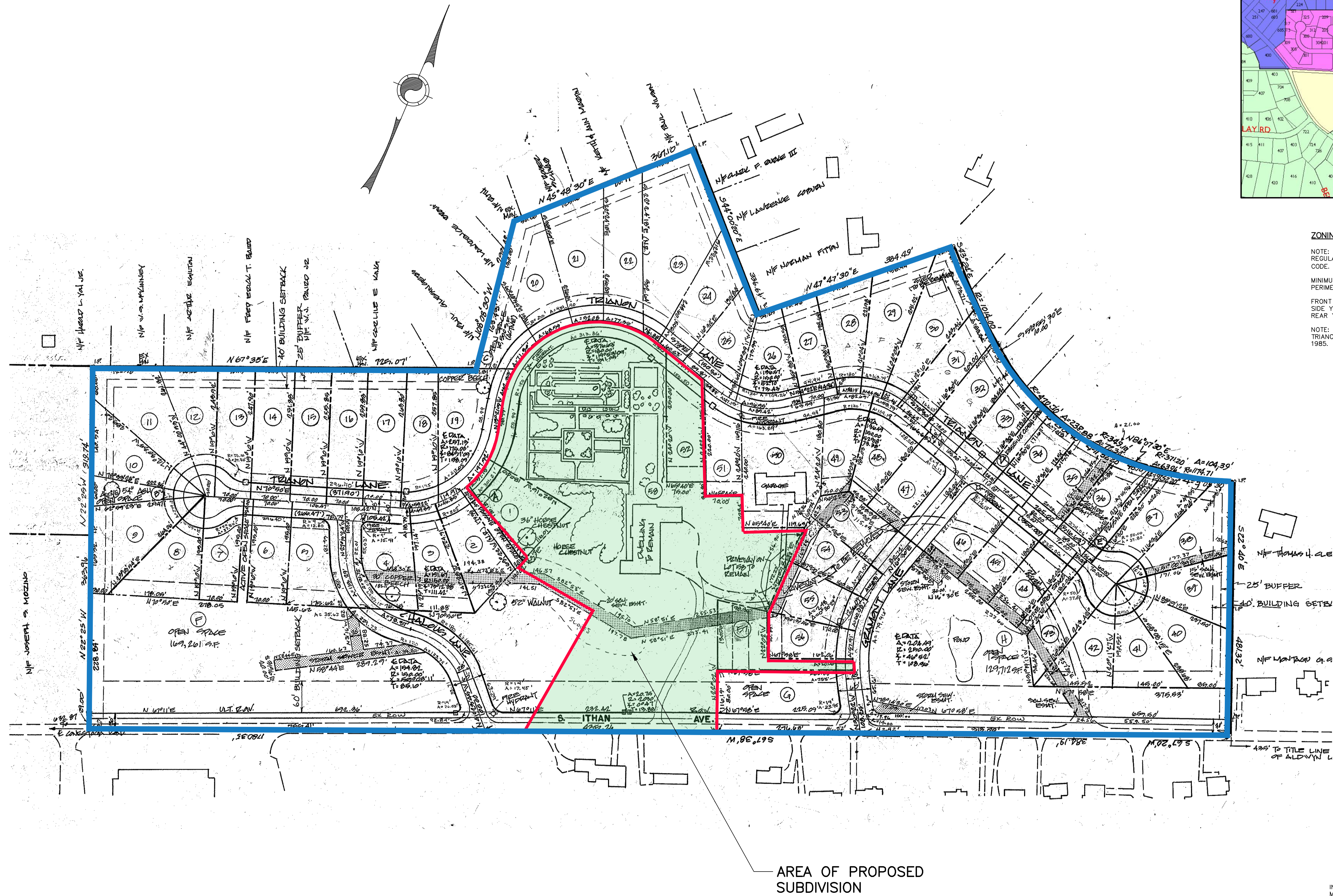
COUNTY OF \_\_\_\_\_  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020 BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED \_\_\_\_\_ (NAME), WHO BEING DULY SWORN ACCORDING TO LAW, DISPOSES AND SAYS THAT HE/SHE IS THE OWNER AND/OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN AND THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER ACT AND PLAN AND DESIRED THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN

PRINT OWNER'S NAME \_\_\_\_\_  
 SIGNATURE OF OWNER \_\_\_\_\_  
 NOTARY PUBLIC \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_

FILE NO.: 19-283  
 SHEET 2 OF 9  
 DATE: OCTOBER 27, 2020  
 SCALE: 1" = 40'





LOCATION MAP  
SCALE: 1" = 600'

**ZONING REGULATIONS:**

NOTE: THIS SITE IS BEING DEVELOPED UNDER THE DENSITY MODIFICATION REGULATIONS PERMITTED UNDER ARTICLE XX OF THE RADNOR TOWNSHIP ZONING CODE. BASE ZONING IS R-2/D-M (RESIDENTIAL-DENSITY MODIFICATION) DISTRICT

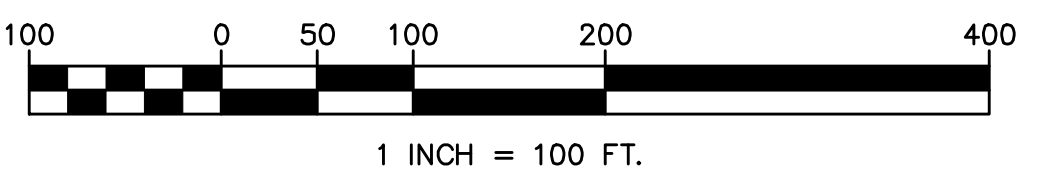
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PROJECT CONSISTS OF LOTS 1, 52, 57 & 58 OF THE TRIANON SUBDIVISION

- TOTAL TRACT AREA 6.946 ACRES
- LOT 1:  
TAX MAP No. 36-24-189-000  
TAX PARCEL No. 36-04-02700-03  
AREA: 0.348 AC.
  - LOT 52:  
TAX MAP No. 36-24-187-000  
TAX PARCEL No. 36-04-02700-51  
AREA: 0.374 AC.
  - LOT 57:  
TAX MAP No. 36-24-184-000  
TAX PARCEL No. (NO NUMBER)  
AREA 0.344 AC.
  - LOT 58:  
TAX MAP No. 36-24-116-000  
TAX PARCEL NO. 36-04-02344-00  
AREA: 5.880 AC

INFORMATION TAKEN FROM A PLAN TITLED "RECORD PLAN" PREPARED BY MOMENEE-KING ASSOCIATES, CONSULTING ENGINEERS, DATED OCTOBER 22, 1984. LAST REVISED 10/26/86, FILE 85-92



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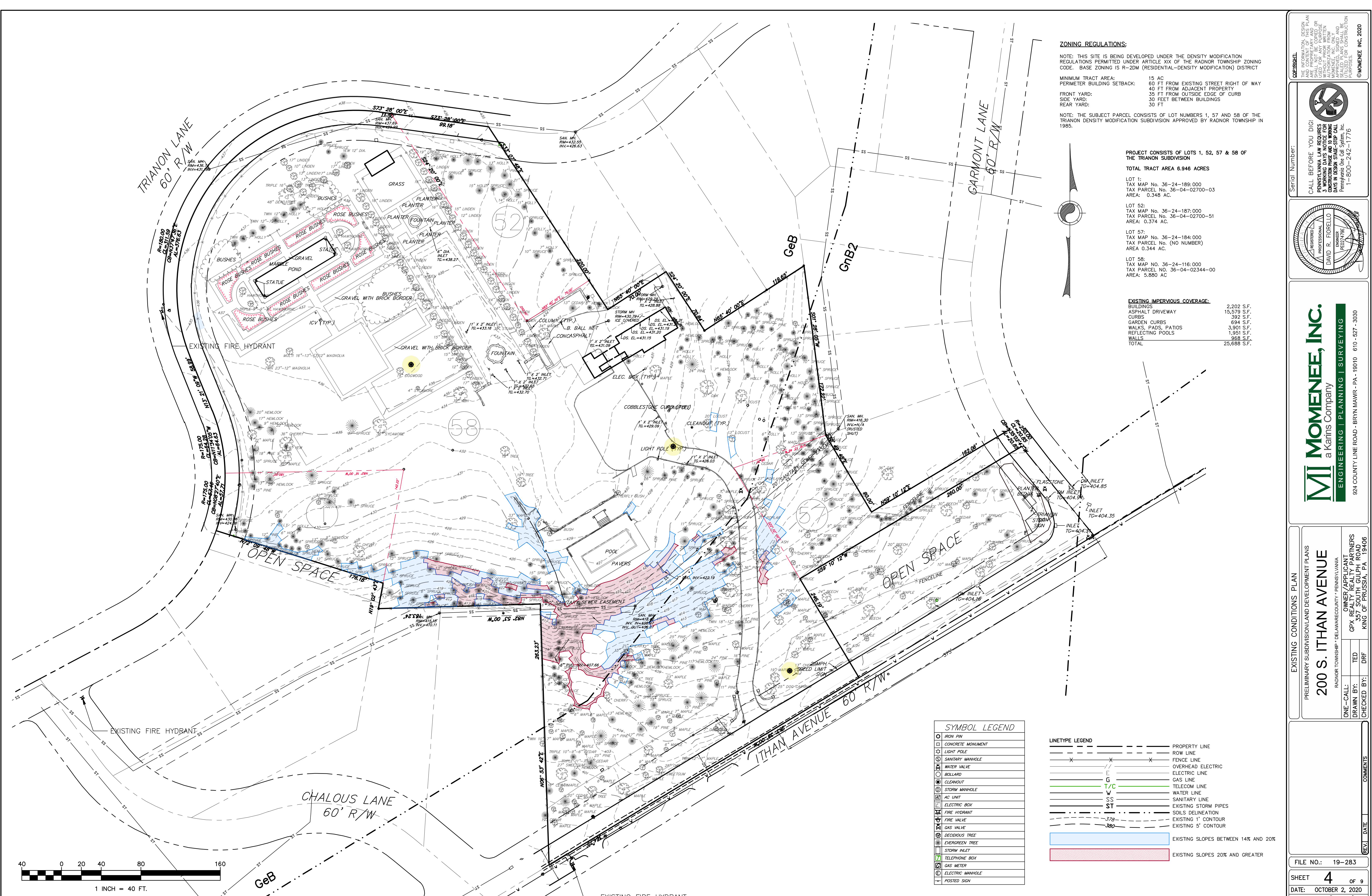
**Professional Engineer:** DAVID R. FIORELLA, PROFESSIONAL ENGINEER, PENNSYLVANIA, LICENSE NO. FE027196

**APPROVED PLAN OF TRIANON**  
 PRELIMINARY SUBDIVISION/LAND DEVELOPMENT PLANS  
**200 S. ITHAN AVENUE**  
 RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA  
 OWNER/APPLICANT: GPX REALTY PARTNERS  
 357 SOUTH GULPH ROAD  
 KING OF PRUSSIA, PA 19406  
 DRAWN BY: TED  
 CHECKED BY: DRF

FILE NO.: 19-283  
 SHEET **3** OF 9  
 DATE: OCTOBER 2, 2020  
 SCALE: 1" = 100'

REVISIONS: REV. DATE COMMENTS





**ZONING REGULATIONS:**

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**TOTAL TRACT AREA 6.946 ACRES**

LOT 1:  
 TAX MAP No. 36-24-189-000  
 TAX PARCEL No. 36-04-02700-03  
 AREA: 0.348 AC.

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 TAX MAP No. 36-24-187-000  
 TAX PARCEL No. 36-04-02700-51  
 AREA: 0.374 AC.

LOT 57:  
 TAX MAP No. 36-24-184-000  
 TAX PARCEL No. (NO NUMBER)  
 AREA: 0.344 AC.

LOT 58:  
 TAX MAP No. 36-24-116-000  
 TAX PARCEL No. 36-04-02344-00  
 AREA: 5.880 AC

**EXISTING IMPERVIOUS COVERAGE:**

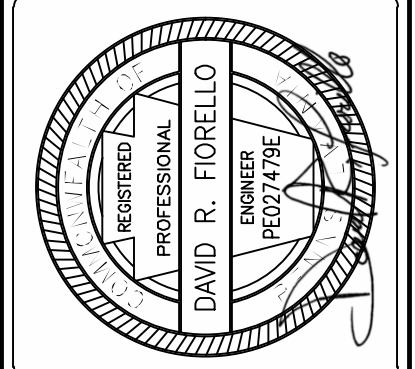
BUILDINGS	2,202 S.F.
ASPHALT DRIVEWAY	15,579 S.F.
CURBS	392 S.F.
GARDEN CURBS	694 S.F.
WALKS, PADS, PATIOS	3,901 S.F.
REFLECTING POOLS	1,951 S.F.
WALLS	988 S.F.
<b>TOTAL</b>	<b>25,688 S.F.</b>

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**EXISTING CONDITIONS PLAN**

PRELIMINARY SUBDIVISION/DEVELOPMENT PLANS

**200 S. ITHAN AVENUE**

RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA

OWNER/APPLICANT: GPX REALTY PARTNERS  
 357 SOUTH GULPH ROAD  
 KING OF PRUSSIA, PA 19406

DRAWN BY: TED  
 CHECKED BY: DRF

FILE NO.: 19-283

SHEET **4** OF 9

DATE: OCTOBER 2, 2020

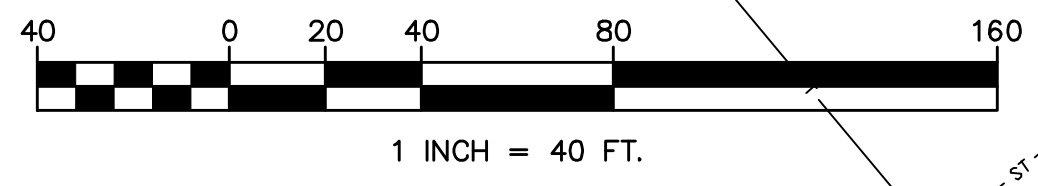
SCALE: 1" = 40'

**SYMBOL LEGEND**

○	IRON PIN
□	CONCRETE MONUMENT
⊙	LIGHT POLE
⊕	SANITARY MANHOLE
⊕	WATER VALVE
⊕	BOLLARD
⊕	CLEANOUT
⊕	STORM MANHOLE
⊕	AC UNIT
⊕	ELECTRIC BOX
⊕	FIRE HYDRANT
⊕	FIRE VALVE
⊕	GAS VALVE
⊕	DECIDUOUS TREE
⊕	EVERGREEN TREE
⊕	STORM INLET
⊕	TELEPHONE BOX
⊕	GAS METER
⊕	ELECTRIC MANHOLE
⊕	POSTED SIGN

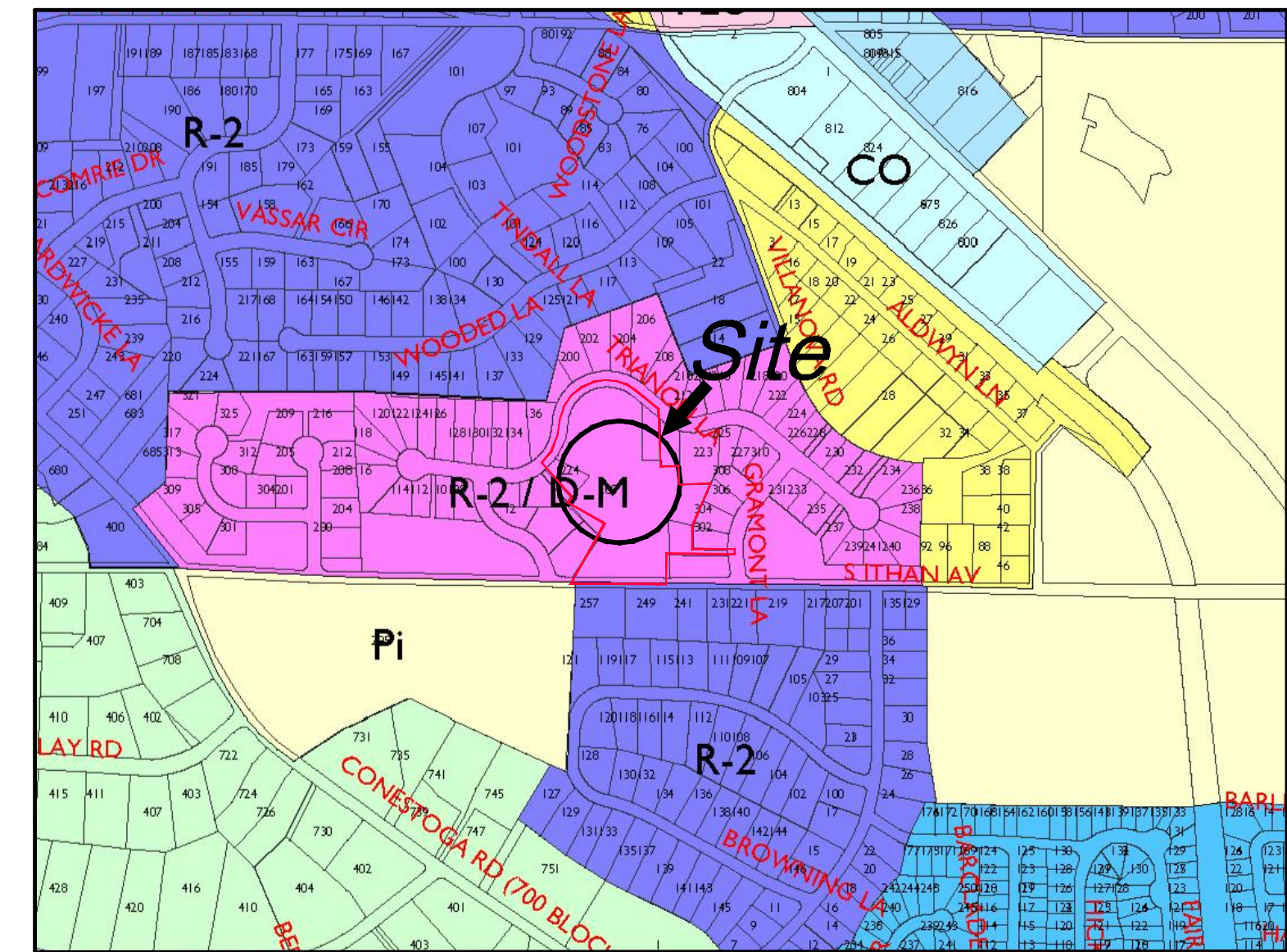
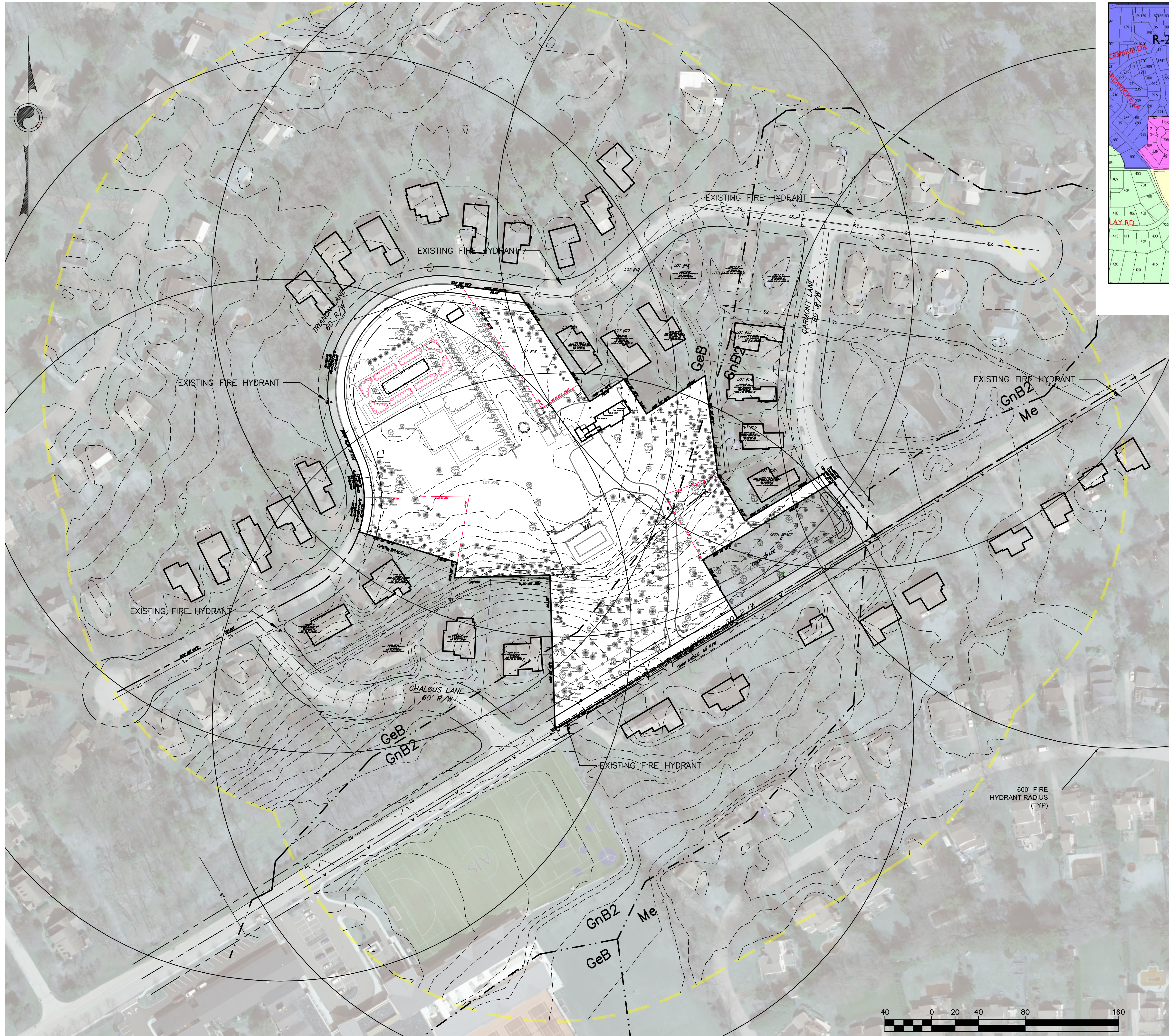
**LINE TYPE LEGEND**

---	PROPERTY LINE
---	ROW LINE
-X-X-	FENCE LINE
-E-E-	OVERHEAD ELECTRIC
-E-E-	ELECTRIC LINE
-G-G-	GAS LINE
-T/C-T/C-	TELECOM LINE
-W-W-	WATER LINE
-S-S-	SANITARY LINE
-ST-ST-	EXISTING STORM PIPES
-S-S-	SOILS DELINEATION
-378-	EXISTING 1' CONTOUR
-380-	EXISTING 5' CONTOUR
Blue Shaded Area	EXISTING SLOPES BETWEEN 14% AND 20%
Red Shaded Area	EXISTING SLOPES 20% AND GREATER



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 PA PROFESSIONAL ENGINEER LICENSE NO. PE02796





LOCATION MAP  
SCALE: 1" = 600'

**GENERAL NOTES:**

1. THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE PREMISES ON FEBRUARY 22, 2020 AND DEPICTS CONDITIONS ON THAT DATE.
2. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
3. THE VERTICAL DATUM SHOWN ON THIS PLAN IS PER NAVD88 OBTAINED VIA GPS.
4. THIS SURVEY AND PLAN WAS COMPLETED WITHOUT THE AVAILABILITY OF A CURRENT TITLE REPORT AND SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE REPORT.
5. IN ACCORDANCE WITH FEMA PANEL NUMBER 42045C00.38F EFFECTIVE DATE NOVEMBER 18, 2009, PREMISES IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAN.

**LOT DATA:**

LOT AREA = 302,573 S.F. OR 6.946 ACRES (GROSS)  
MINUS R.O.W. (33,387 S.F.) = 269,186 S.F. OR 6.180 ACRES (NET)

**SOIL DATA TABLE**

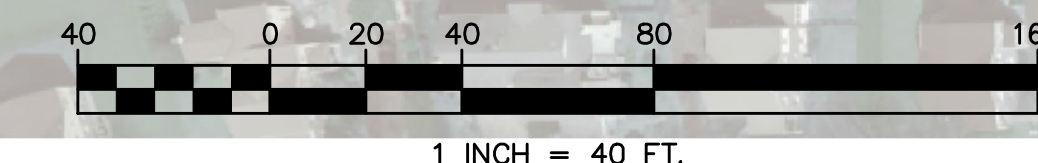
NAME	% SLOPE	DEPTH TO S. H. WATER	DEPTH TO BEDROCK	EROD.	GROUP	HYDRO SOIL LIMITATIONS
GeB Glenside Channery Silt Loom	3-8	5+	3-8	-----	B	-----
GnB2 Glensville Silt Loom	3-8	1.5+	3-6	Moderate	C	Moderate to Severe
Me Modeland schist and gneiss	sloping	3+	4+	-----	B	-----

**SYMBOL LEGEND**

- IRON PIN
- CONCRETE MONUMENT
- ⊗ LIGHT POLE
- ⊕ SANITARY MANHOLE
- ⊕ WATER VALVE
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- ⊕ FIRE VALVE
- ⊕ GAS VALVE
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- ⊕ EVERGREEN TREE
- ⊕ STORM INLET
- ⊕ TELEPHONE BOX
- ⊕ GAS METER
- ⊕ ELECTRIC MANHOLE
- ⊕ POSTED SIGN

**LINETYPE LEGEND**

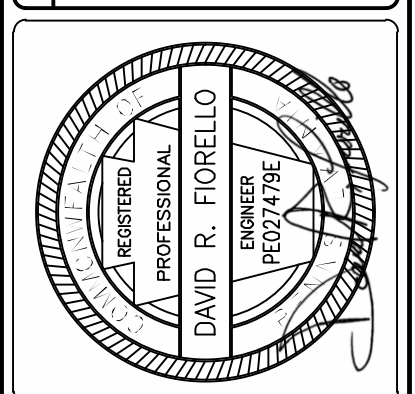
- PROPERTY LINE
- ROW LINE
- - - BUILDING SETBACK
- x - x - FENCE LINE
- / - OVERHEAD ELECTRIC
- / - ELECTRIC LINE
- G - GAS LINE
- T/C - TELECOM LINE
- W - WATER LINE
- SS - SANITARY LINE
- ST - EXISTING STORM PIPES
- 3/8" - EXISTING 2' LIDAR CONTOUR
- 1/8" - 500' OFFSET
- █ EXISTING SLOPES BETWEEN 14% AND 20%
- █ EXISTING SLOPES 20% AND GREATER



1 INCH = 40 FT.

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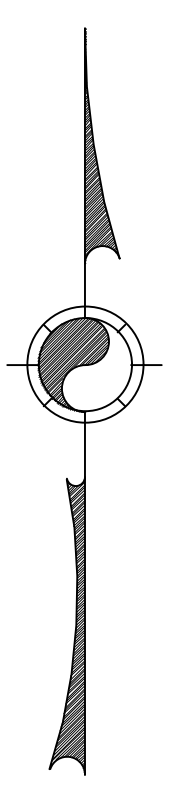
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MOMENEE, INC. 20200901.1715001  
PA PROJECT NO. 2020.10283.MA.001.MMS.18283





TRIANON LANE  
60' R/W

OPEN SPACE

CHALOUS LANE  
60' R/W

OPEN SPACE

ITHAN AVENUE  
60' R/W

**SYMBOL LEGEND**

○ IRON PIN	⊗ DECIDUOUS TREE
□ CONCRETE MONUMENT	⊗ EVERGREEN TREE
⊙ LIGHT POLE	⊕ STORM INLET
⊕ SANITARY MANHOLE	⊕ TELEPHONE BOX
⊕ WATER VALVE	⊕ GAS METER
⊕ BOLLARD	⊕ ELECTRIC MANHOLE
⊕ CLEANOUT	⊕ POSTED SIGN
⊕ STORM MANHOLE	⊕ PROPOSED INLET
⊕ AC UNIT	⊕ PROPOSED SIGN
⊕ ELECTRIC BOX	⊕ PROPOSED SURVEY MONUMENT
⊕ FIRE HYDRANT	⊕ PROPOSED MANHOLE
⊕ FIRE VALVE	⊕ PROPOSED STREETLIGHT
⊕ GAS VALVE	⊕ PROPOSED FIRE HYDRANT

**LINE TYPE LEGEND**

---	PROPERTY LINE
---	ROW LINE
---	BUILDING SETBACK
---	FENCE LINE
---	OVERHEAD ELECTRIC
---	ELECTRIC LINE
---	GAS LINE
---	TELECOM LINE
---	WATER LINE
---	SANITARY LINE
---	EXISTING STORM PIPES
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	EXISTING EASEMENT
---	PROPOSED CENTERLINE
---	PROPOSED GRADING
---	PROPOSED WATER LINE
---	PROPOSED SANITARY LINE
---	PROPOSED STORM PIPE

[Blue Shaded Area]	EXISTING SLOPES BETWEEN 14% AND 20%
[Red Shaded Area]	EXISTING SLOPES 20% AND GREATER
[Brown Shaded Area]	PROPOSED BUILDING
[Grey Shaded Area]	PROPOSED DRIVEWAY
[Hatched Area]	PROPOSED STORMWATER MANAGEMENT SYSTEM

**PROPOSED IMPERVIOUS COVERAGE LOT 1:**

RESIDENCE	3,469 S.F.
PORCHES	229 S.F.
DRIVEWAY	1,350 S.F.
WALKWAY	60 S.F.
PATIOS	0 S.F.
TOTAL	5,108 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 2:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	1,380 S.F.
WALKWAY	60 S.F.
PATIOS	467 S.F.
TOTAL	5,436 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 3:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	1,409 S.F.
WALKWAY	60 S.F.
PATIOS	730 S.F.
TOTAL	5,866 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 4:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	1,409 S.F.
WALKWAY	60 S.F.
PATIOS	1,229 S.F.
TOTAL	6,396 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 5:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	1,948 S.F.
WALKWAY	60 S.F.
PATIOS	1,229 S.F.
TOTAL	6,935 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 6:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	1,991 S.F.
WALKWAY	60 S.F.
PATIOS	1,192 S.F.
TOTAL	6,940 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 7:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	2,209 S.F.
WALKWAY	60 S.F.
PATIOS	528 S.F.
TOTAL	6,794 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 8:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	1,205 S.F.
WALKWAY	60 S.F.
PATIOS	0 S.F.
TOTAL	4,962 S.F.

**PROPOSED IMPERVIOUS COVERAGE LOT 9:**

RESIDENCE	3,469 S.F.
PORCHES	228 S.F.
DRIVEWAY	1,354 S.F.
WALKWAY	60 S.F.
PATIOS	872 S.F.
TOTAL	5,983 S.F.

**ZONING DISTRICT R-2/D-M:**

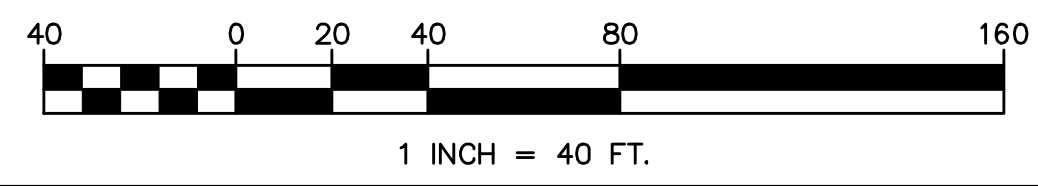
REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9
MINIMUM LOT AREA	43,956 SF	29,250 SF	28,957 SF	29,716 SF	33,309 SF	31,908 SF	33,130 SF	19,805 SF	52,652 SF
MINIMUM LOT WIDTH	185 FT	201 FT	121 FT	77 FT	61 FT	70 FT	124 FT	129 FT	336 FT
MINIMUM FRONT YARD	36 FT	35 FT	36 FT	34 FT	59 FT	62 FT	60 FT	42 FT	36 FT
MINIMUM SIDE YARD	62 FT	62 FT	57 FT	57 FT	30 FT	30 FT	37 FT	50 FT	50 FT
MINIMUM REAR YARD	30 FT	86 FT	52 FT	63 FT	67 FT	<35 FT	<35 FT	31 FT	31 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT
MAXIMUM BUILDING COVERAGE	23%	7.89%	11.86%	11.86%	10.41%	10.87%	10.47%	17.52%	6.59%
MAXIMUM IMPERVIOUS COVERAGE	35%	11.62%	16.99%	17.74%	17.39%	18.01%	18.01%	25.05%	9.71%

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

**INTERSECTION SIGHT DISTANCE - PASSENGER CARS/SU TRUCKS  
ONTO 2-LANE ROAD**

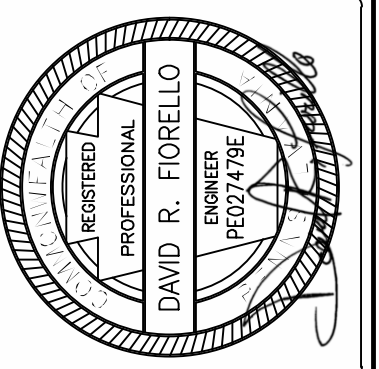
	TURNING LEFT AVAILABLE	TURNING LEFT REQUIRED (25 MPH)	TURNING RIGHT AVAILABLE	TURNING RIGHT REQUIRED (25 MPH)
200 SOUTH ITHAN AVENUE	350'+	250'	500'+	195'

EXISTING SIGHT DISTANCE NOTES:  
POSTED SPEED LIMIT IS 25 MPH.



**CONTRACTOR:**  
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**Serial Number:**  
CALL BEFORE YOU DIG:  
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

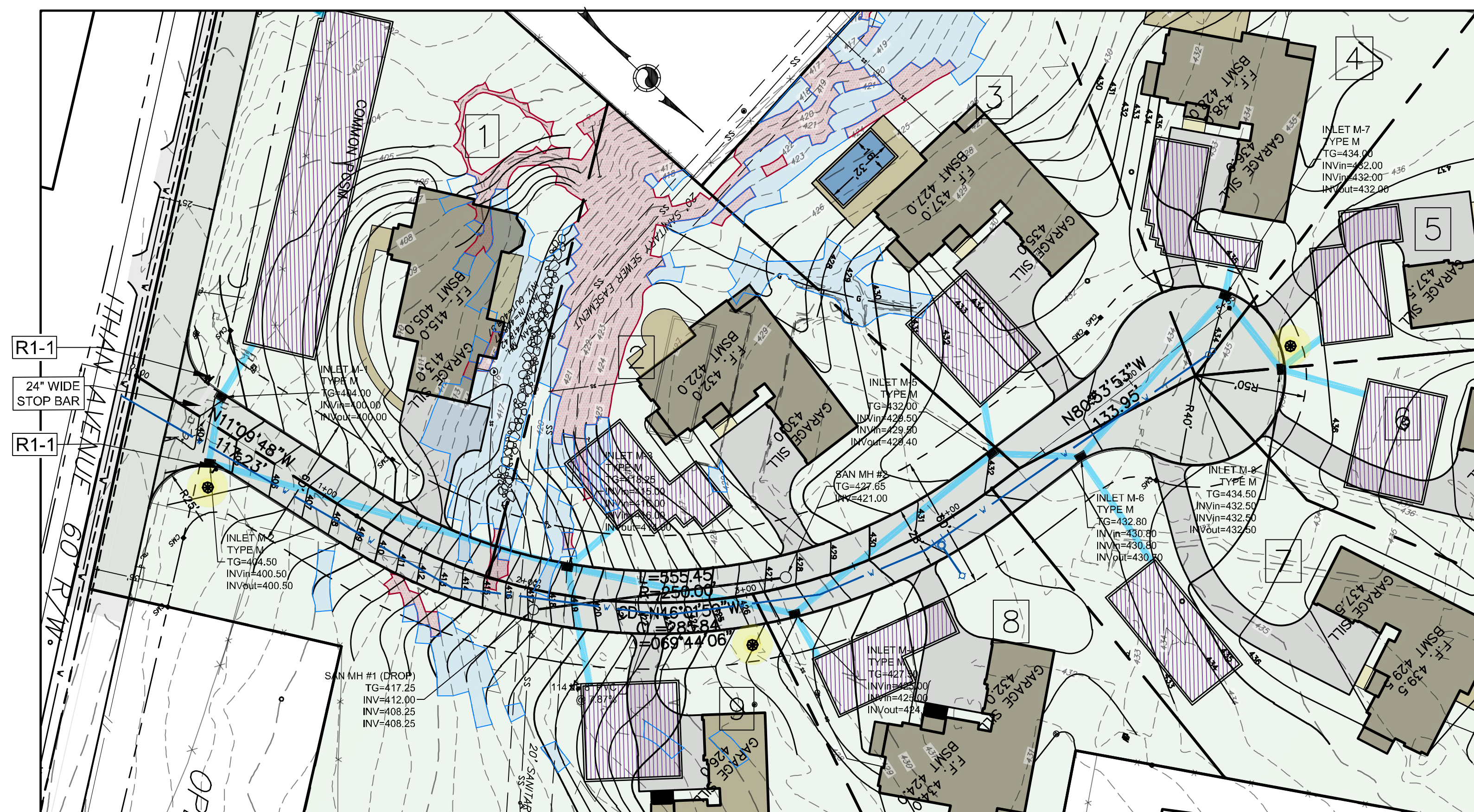


**MOMENEE, INC.**  
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ENGINEERING | PLANNING | SURVEYING  
924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

**DEVELOPMENT PLAN**  
PRELIMINARY SUBDIVISION/LAND DEVELOPMENT PLANS  
**200 S. ITHAN AVENUE**  
RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA  
OWNER/APPLICANT: GPX REALTY REALTY PARTNERS  
357 SOUTH GULPH ROAD  
KING OF PRUSSIA, PA 19406  
ONE-CALL: TED DRF  
CHECKED BY: DRF

FILE NO.: 19-283  
SHEET **6** OF 9  
DATE: OCTOBER 2, 2020  
SCALE: 1" = 40'



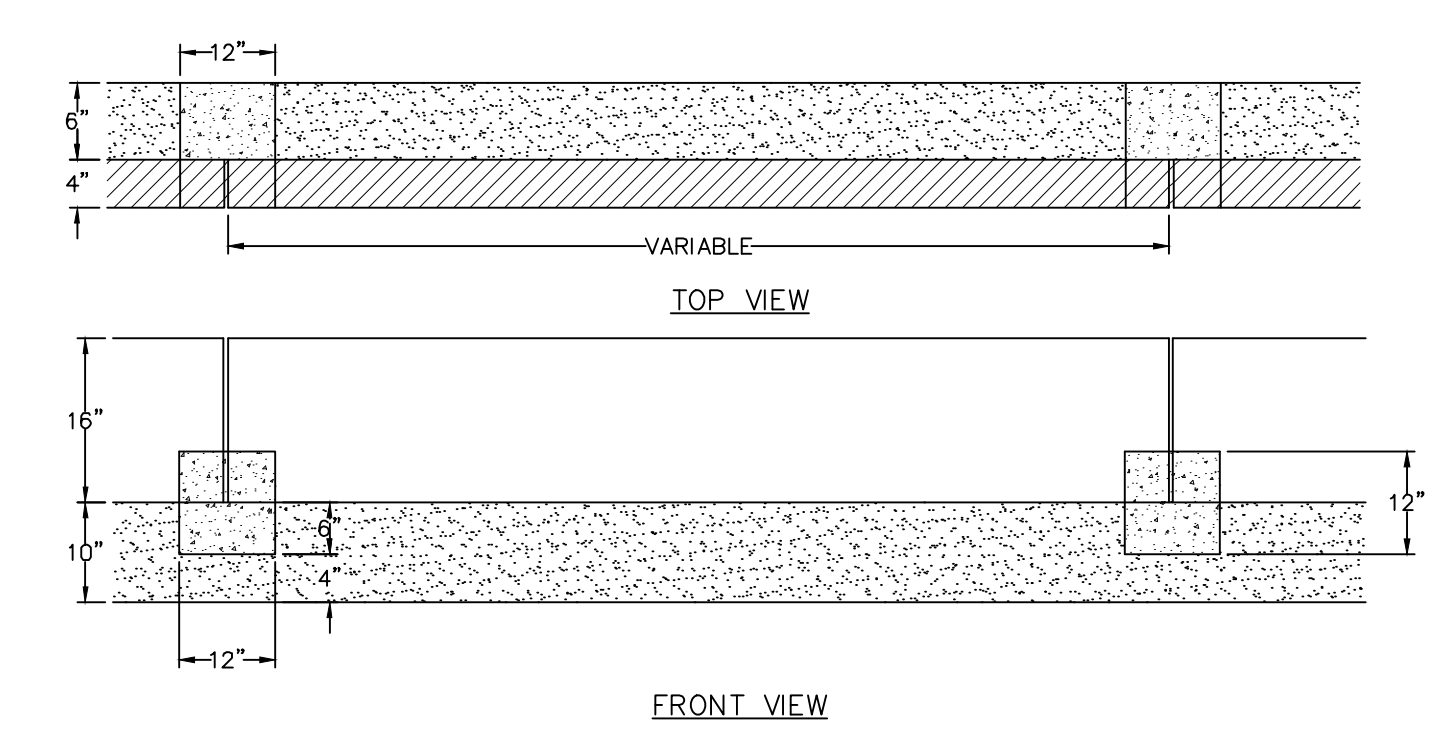
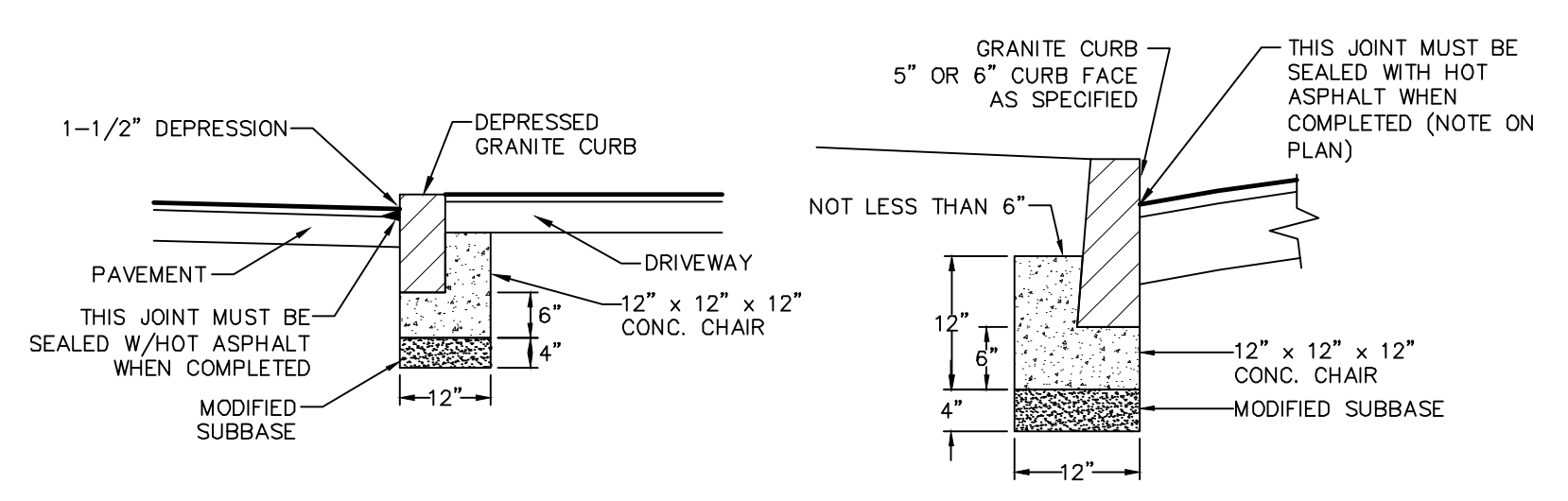


**SYMBOL LEGEND**

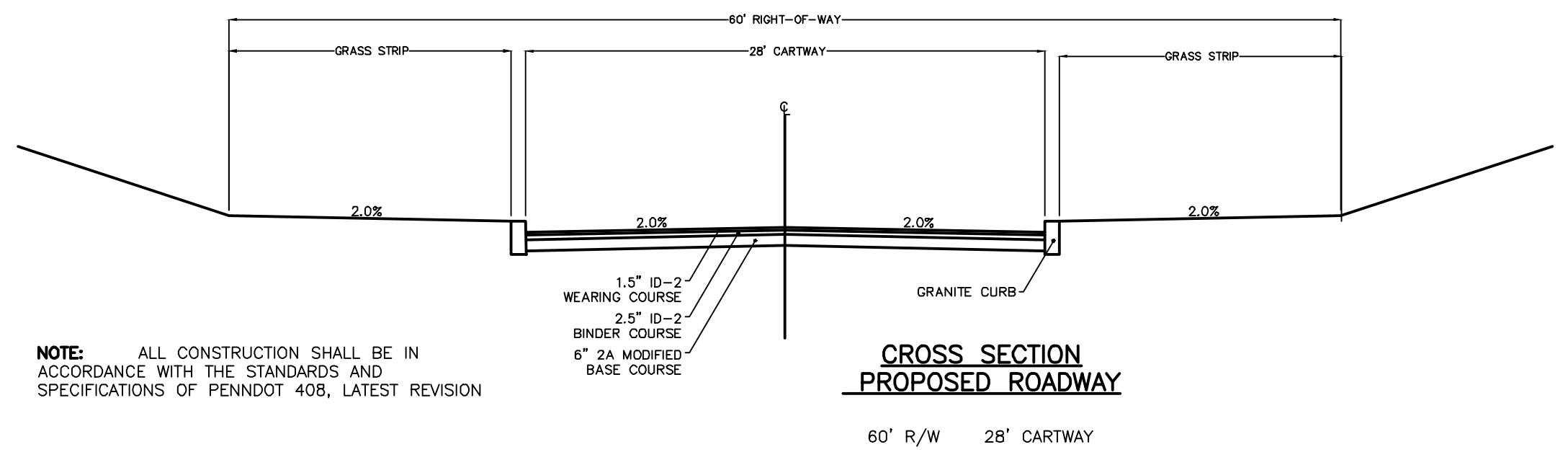
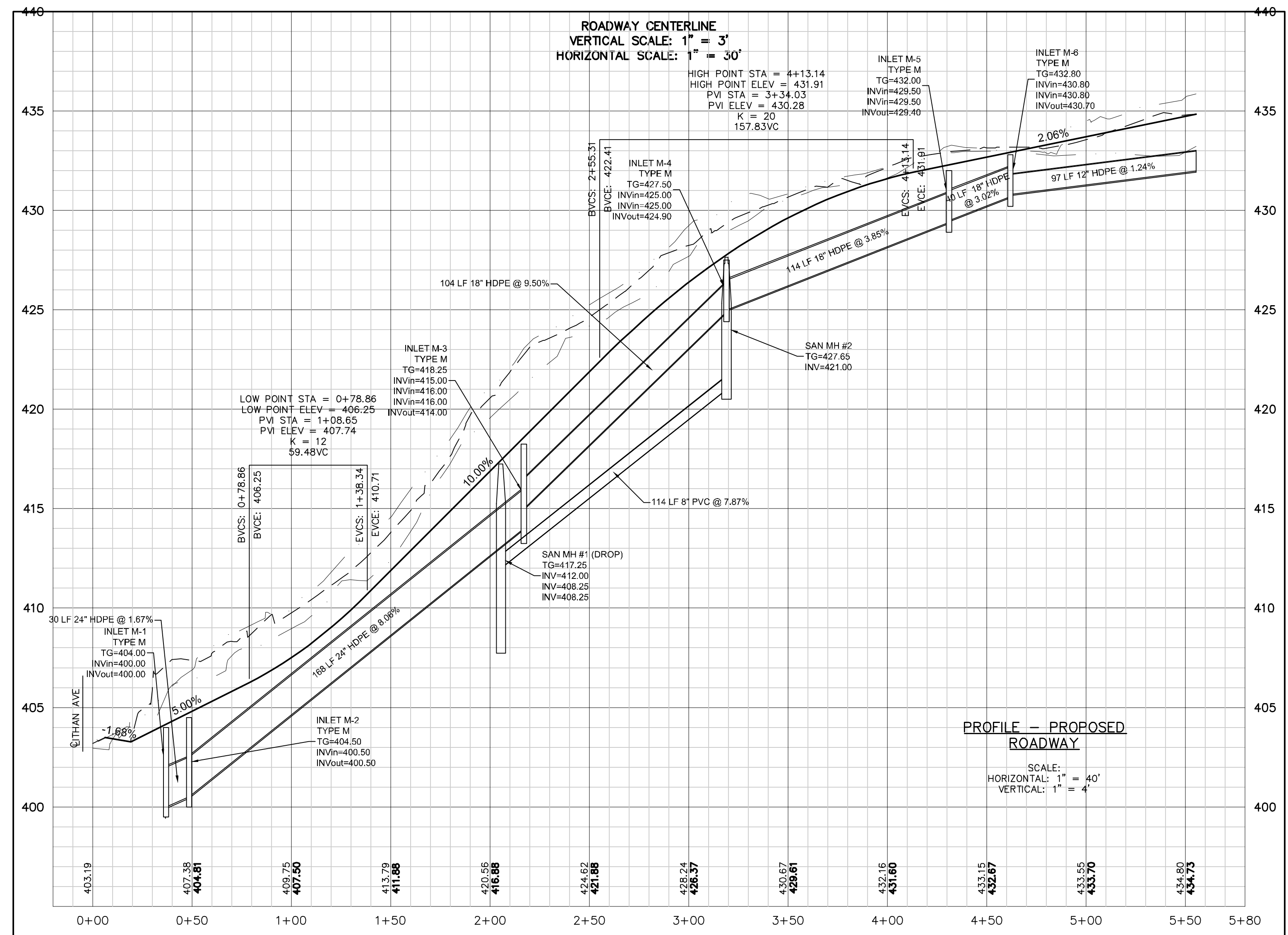
○ IRON PIN	⊕ DECIDUOUS TREE
□ CONCRETE MONUMENT	⊕ EVERGREEN TREE
★ LIGHT POLE	⊕ STORM INLET
⊕ SANITARY MANHOLE	⊕ TELEPHONE BOX
⊕ WATER VALVE	⊕ GAS METER
⊕ BOLLARD	⊕ ELECTRIC MANHOLE
⊕ CLEANOUT	⊕ POSTED SIGN
⊕ STORM MANHOLE	⊕ PROPOSED INLET
⊕ AC UNIT	⊕ PROPOSED SIGN
⊕ ELECTRIC BOX	⊕ PROPOSED SURVEY MONUMENT
⊕ FIRE HYDRANT	⊕ PROPOSED MANHOLE
⊕ FIRE VALVE	⊕ PROPOSED STREETLIGHT
⊕ GAS VALVE	⊕ PROPOSED FIRE HYDRANT

**LINETYPE LEGEND**

---	PROPERTY LINE
---	ROW LINE
---	BUILDING SETBACK
---	FENCE LINE
---	OVERHEAD ELECTRIC
---	ELECTRIC LINE
---	GAS LINE
---	TELECOM LINE
---	WATER LINE
---	SANITARY LINE
---	EXISTING STORM PIPES
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	EXISTING EASEMENT
---	PROPOSED CENTERLINE
---	PROPOSED GRADING
---	PROPOSED WATER LINE
---	PROPOSED SANITARY LINE
---	PROPOSED STORM PIPE
---	EXISTING SLOPES BETWEEN 14% AND 20%
---	EXISTING SLOPES 20% AND GREATER
---	PROPOSED BUILDING
---	PROPOSED DRIVEWAY
---	PROPOSED STORMWATER MANAGEMENT SYSTEM

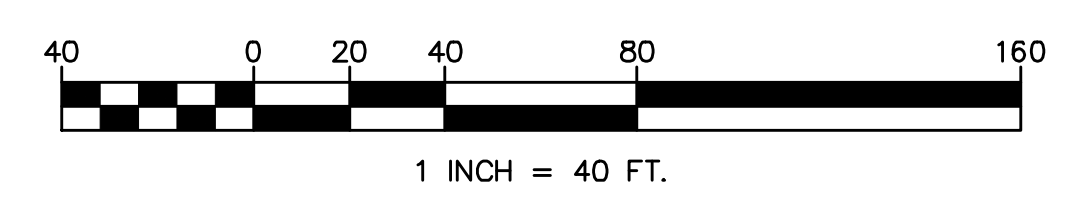


**GRANITE CURB - CONCRETE CHAIRS & MODIFIED SUBBASE**  
N.T.S.



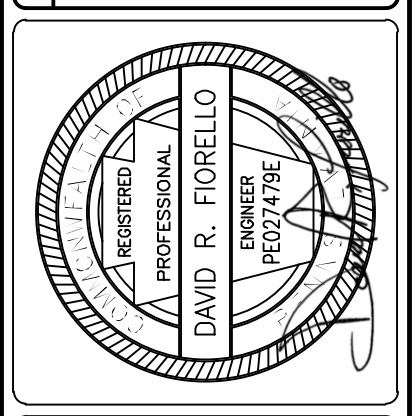
**NOTE:** ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF PENNDOT 40B, LATEST REVISION

**CROSS SECTION PROPOSED ROADWAY**  
60' R/W 28' CARTWAY



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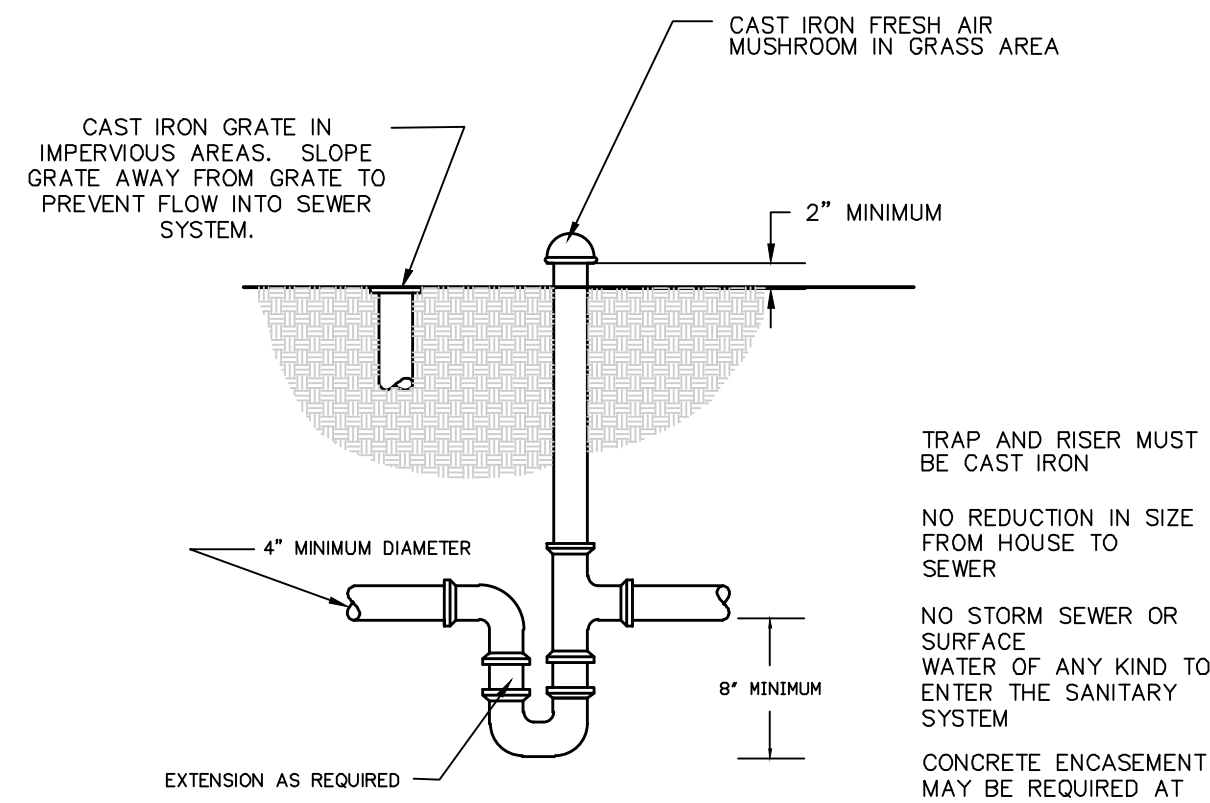


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924 COUNTY LINE ROAD - BRYN MAWR, PA - 19010 610-527-3030

**ROAD PROFILE & DETAILS PLAN**  
PRELIMINARY SUBDIVISION/DEVELOPMENT PLANS  
**200 S. ITHAN AVENUE**  
RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA  
OWNER/APPLICANT: GPX REALTY REALTY PARTNERS  
DRAWN BY: TED DRF  
CHECKED BY: DRF

FILE NO.: 19-283  
SHEET **7** OF 9  
DATE: OCTOBER 2, 2020  
SCALE: 1" = 40'

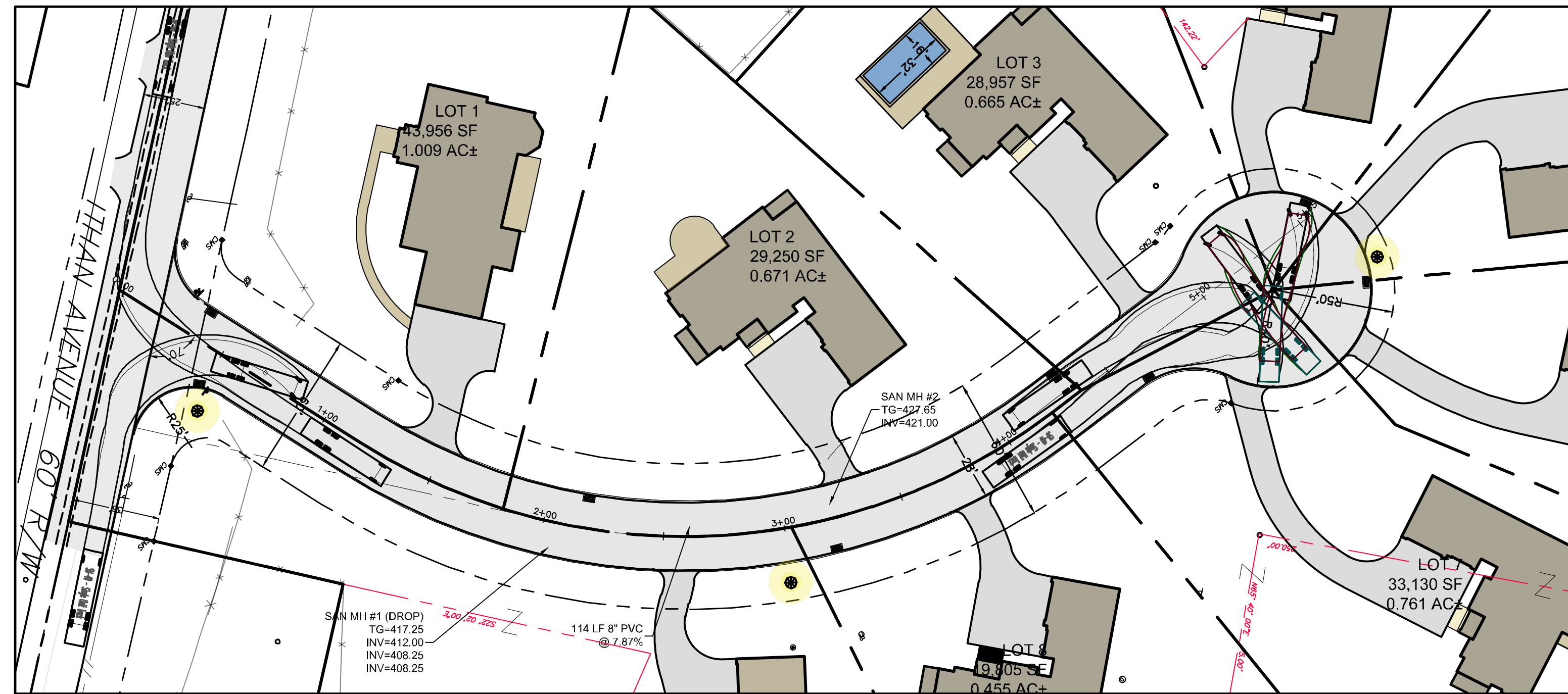




**SANITARY SEWER LATERAL TRAP**

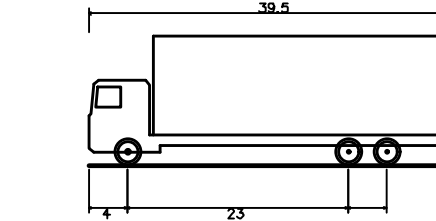
N.T.S.

TRAP AND RISER MUST BE CAST IRON  
NO REDUCTION IN SIZE FROM HOUSE TO SEWER  
NO STORM SEWER OR SURFACE WATER OF ANY KIND TO ENTER THE SANITARY SYSTEM  
CONCRETE ENCASUREMENT MAY BE REQUIRED AT THE DISCRETION OF THE TOWNSHIP ENGINEER

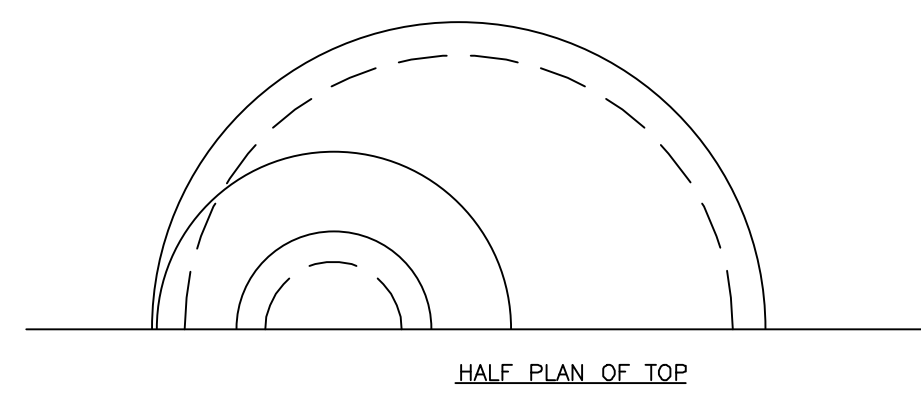


**TRUCK TURNING EXHIBIT**

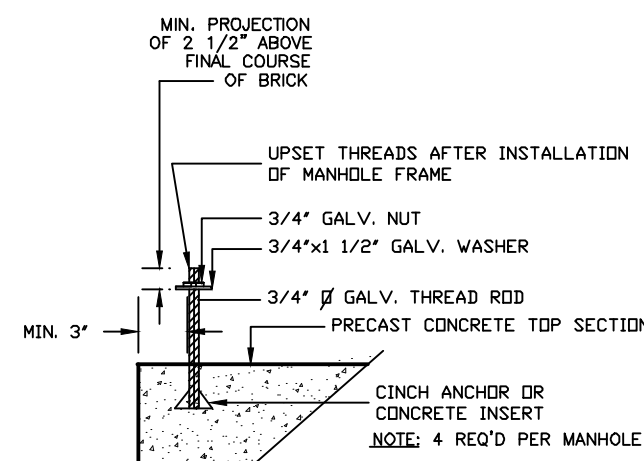
SCALE: 1" = 40'



**SU-40 - SINGLE UNIT TRUCK**

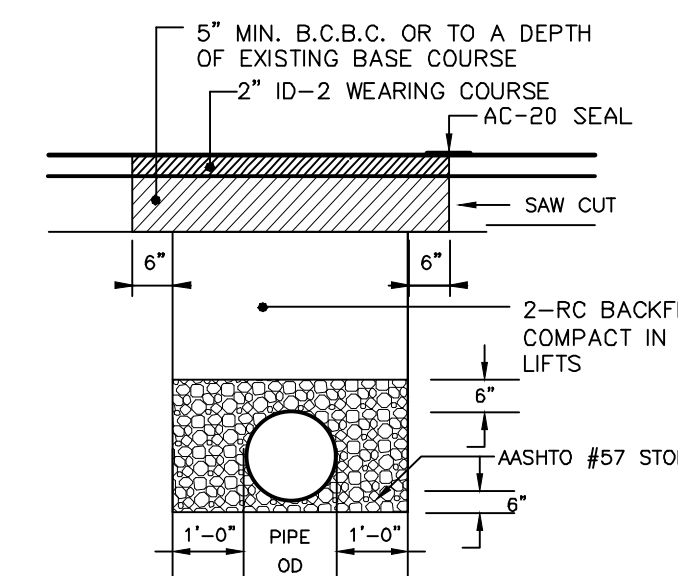


HALF PLAN OF TOP



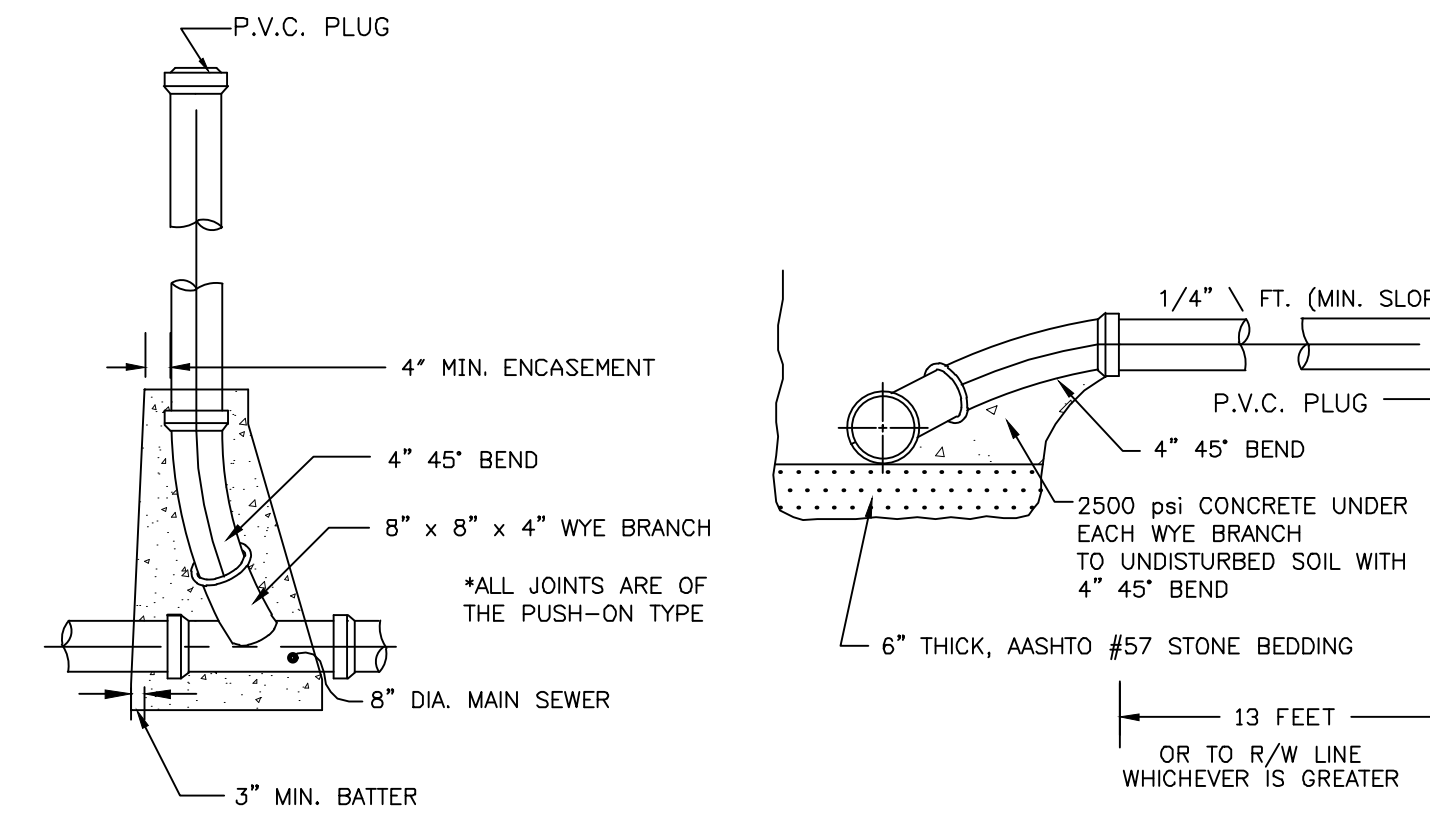
**ANCHOR BOLT DETAIL FOR PRE-CAST MANHOLE**

N.T.S.



**RADNOR TOWNSHIP ROAD RESTORATION**

N.T.S.

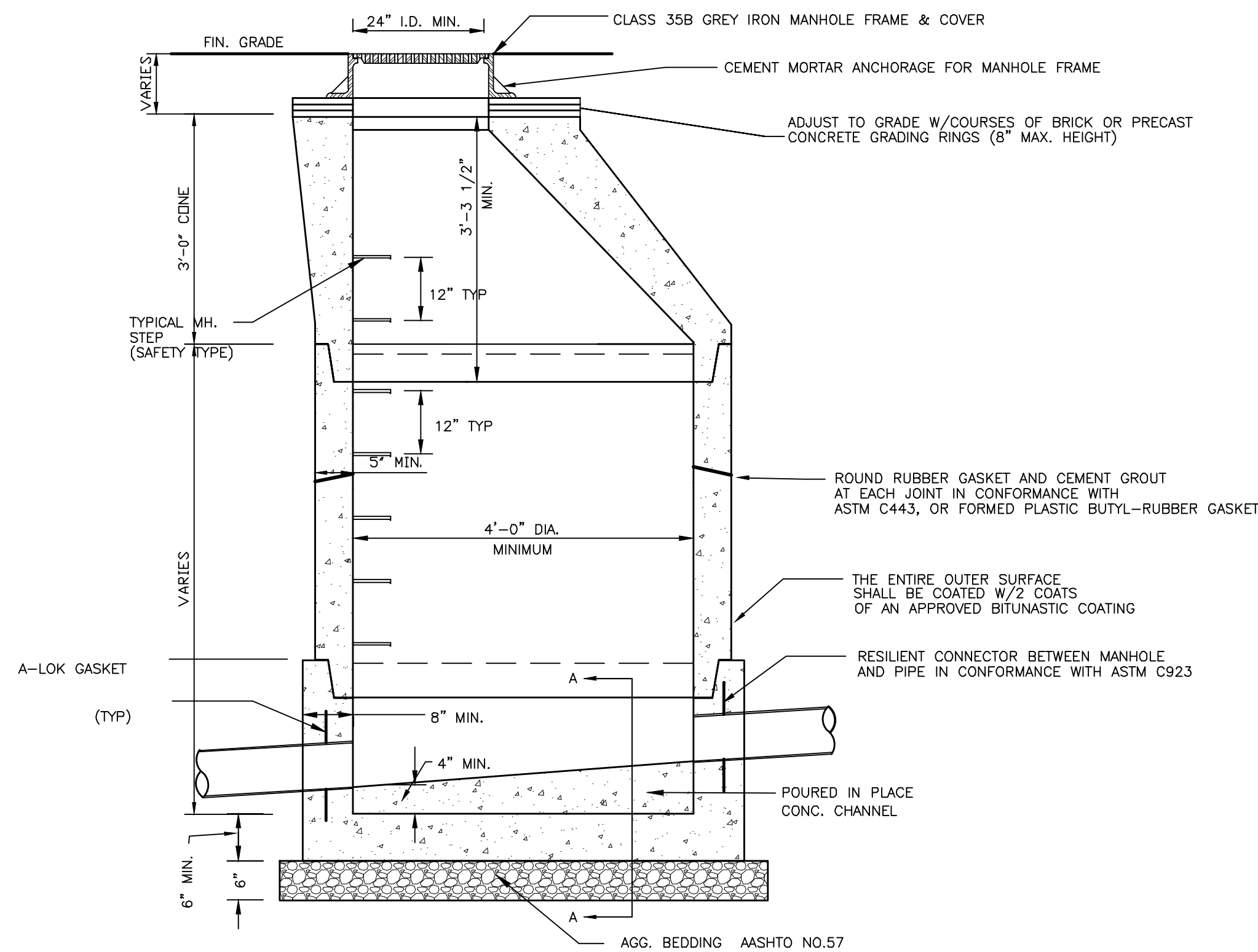


**WYE BRANCH CONNECTION**

N.T.S.

**SANITARY LATERAL NOTES**

- WYE CONNECTIONS AND LATERAL STUBS ARE TO BE INSTALLED AS PART OF THE SEWER MAIN CONSTRUCTION.
- LATERALS ARE TO BE EXTENDED A MINIMUM OF 10-FEET INTO THE AS MEASURED FROM THE R/W LINE OR ADJACENT LOT LINE.
- LATERALS ARE TO BE CAPPED FOR FUTURE CONNECTION BY LOT DEVELOPER AND ENDS OF LATERAL SHALL BE MARKED WITH A 2x4 STAKE.
- CLEANOUTS ARE TO BE PROVIDED AT ALL BENDS ON SANITARY LATERALS.
- THERE SHALL BE A MINIMUM DISTANCE OF 5-FEET BETWEEN LATERALS AND BETWEEN LATERALS AND MANHOLES.

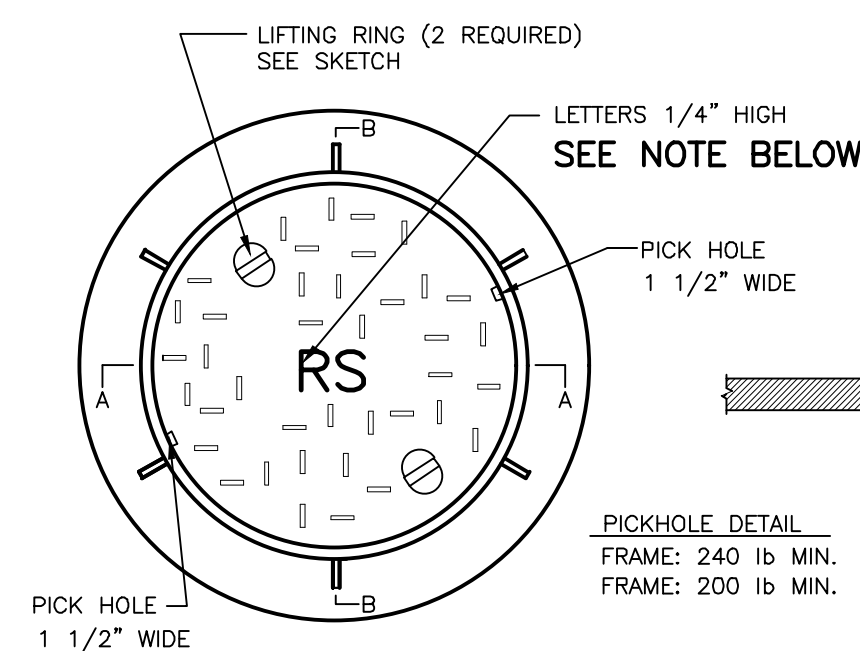


**PRECAST CONCRETE MANHOLE (SANITARY SEWER)**

N.T.S.

**SANITARY SEWER NOTES:**

1. THE CONTRACTOR IS TO VERIFY THE EXISTING SANITARY LINES BEFORE CONSTRUCTION.
2. EXFILTRATION TESTS TO BE PERFORMED ON ALL 8" SANITARY SEWER LINES IN ACCORDANCE WITH PA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
3. CONSTRUCTION IN ACCORDANCE WITH TOWNSHIP STANDARDS AND SPECIFICATIONS.



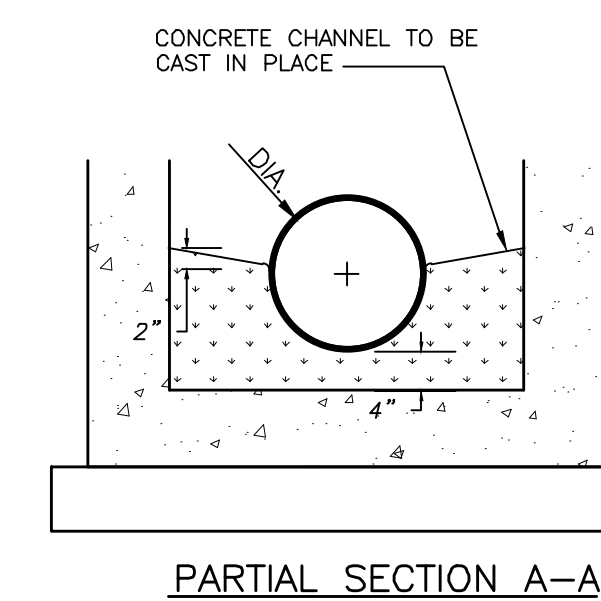
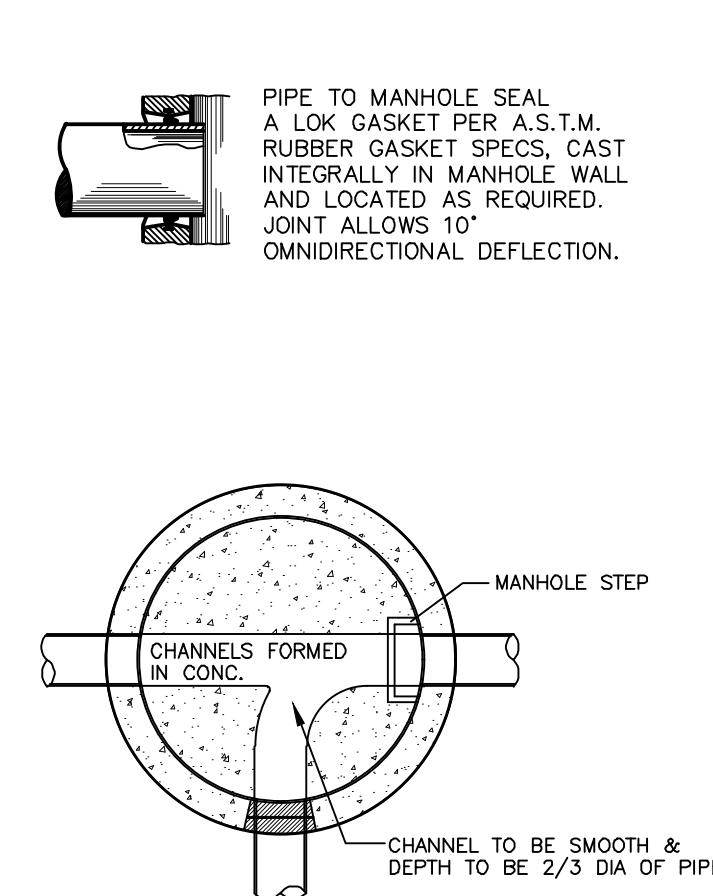
**MANHOLE FRAME AND COVER**

N.T.S.

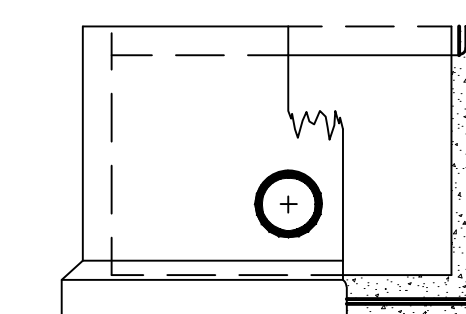
**LETTERING NOTE:**  
ALL NEW SANITARY MANHOLE LIDS TO BE LABELED "RS"

**STANDARD MANHOLE:** NEENAH FOUNDRY COMPANY, TYPE N FRAMED, MANHOLE FRAME AND COVER - CATALOG NUMBER R-1788-A1, SOLID FRAME, HEAVY DUTY. FURNISH WITH FOUR 7/8 INCH ANCHOR HOLES ON 27-15/16 INCH DIAMETER BOLT CIRCLE.

**WATERTIGHT MANHOLE:** NEENAH FOUNDRY COMPANY, CATALOG NUMBER R-1916-D, SOLID FRAME, HEAVY DUTY. FURNISH WITH FOUR 7/8 INCH ANCHOR HOLES ON 27-15/16 INCH DIAMETER BOLT CIRCLE. ALL MANHOLES NOT LOCATED IN PAVED AREAS ARE TO BE EQUIPPED WITH WATERTIGHT FRAMES AND COVERS



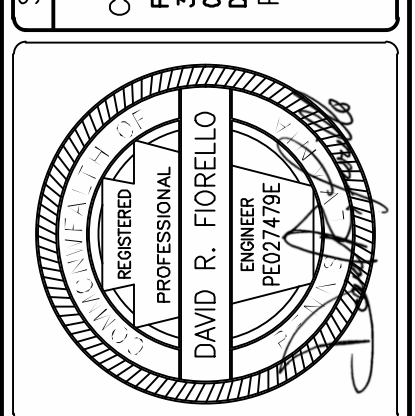
PARTIAL SECTION A-A



MANHOLE DESIGN SPECIFICATIONS CONFORMS TO: PRECAST REINFORCED CONCRETE MANHOLE SECTIONS: A.S.T.M. DESIGNATION C478, LATEST REVISION. DESIGNED TO MEET RESILIENT CONNECTORS REQUIREMENTS OF A.S.T.M. C-923.

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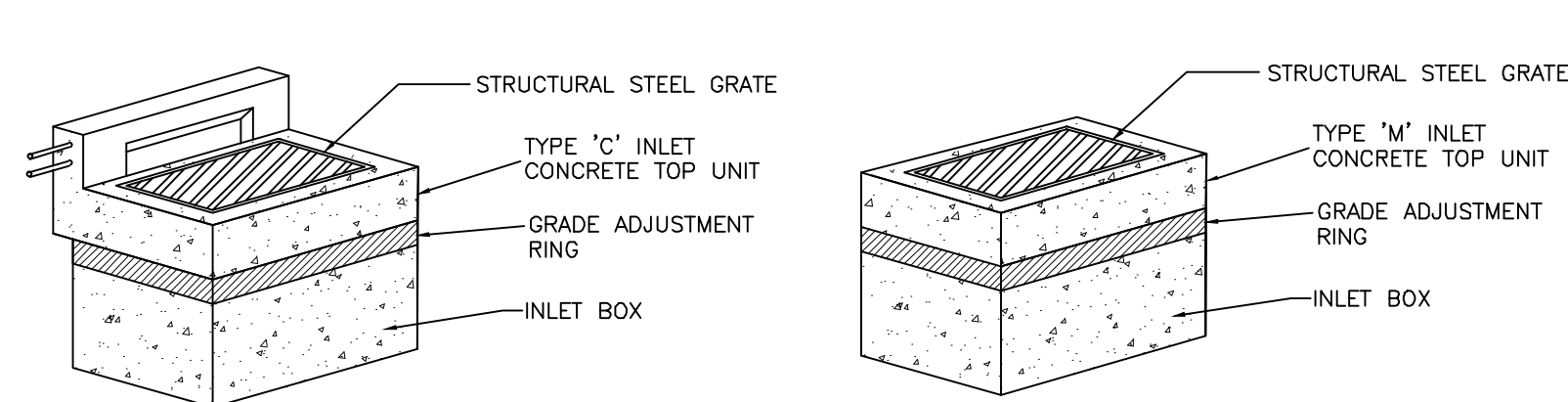


**MOMENEE, INC.**  
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ENGINEERING | PLANNING | SURVEYING  
924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

**CONSTRUCTION DETAILS**  
PRELIMINARY SUBDIVISION/DEVELOPMENT PLANS  
**200 S. ITHAN AVENUE**  
RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA  
OWNER/APPLICANT: GPX REALTY REALTY PARTNERS  
357 SOUTH GULPH ROAD  
KING OF PRUSSIA, PA 19406  
DRAWN BY: TED DRF  
CHECKED BY:

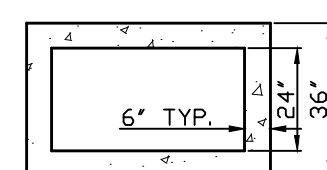
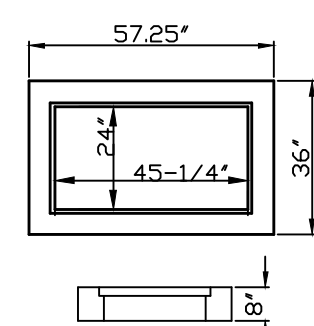
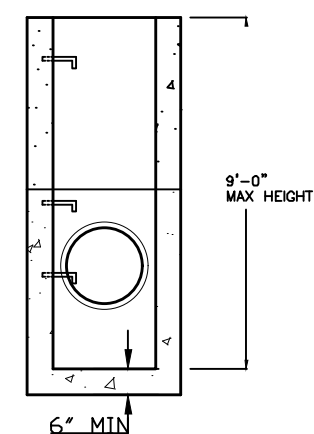
FILE NO.: 19-283  
SHEET 8 OF 9  
DATE: OCTOBER 2, 2020  
SCALE: AS NOTED





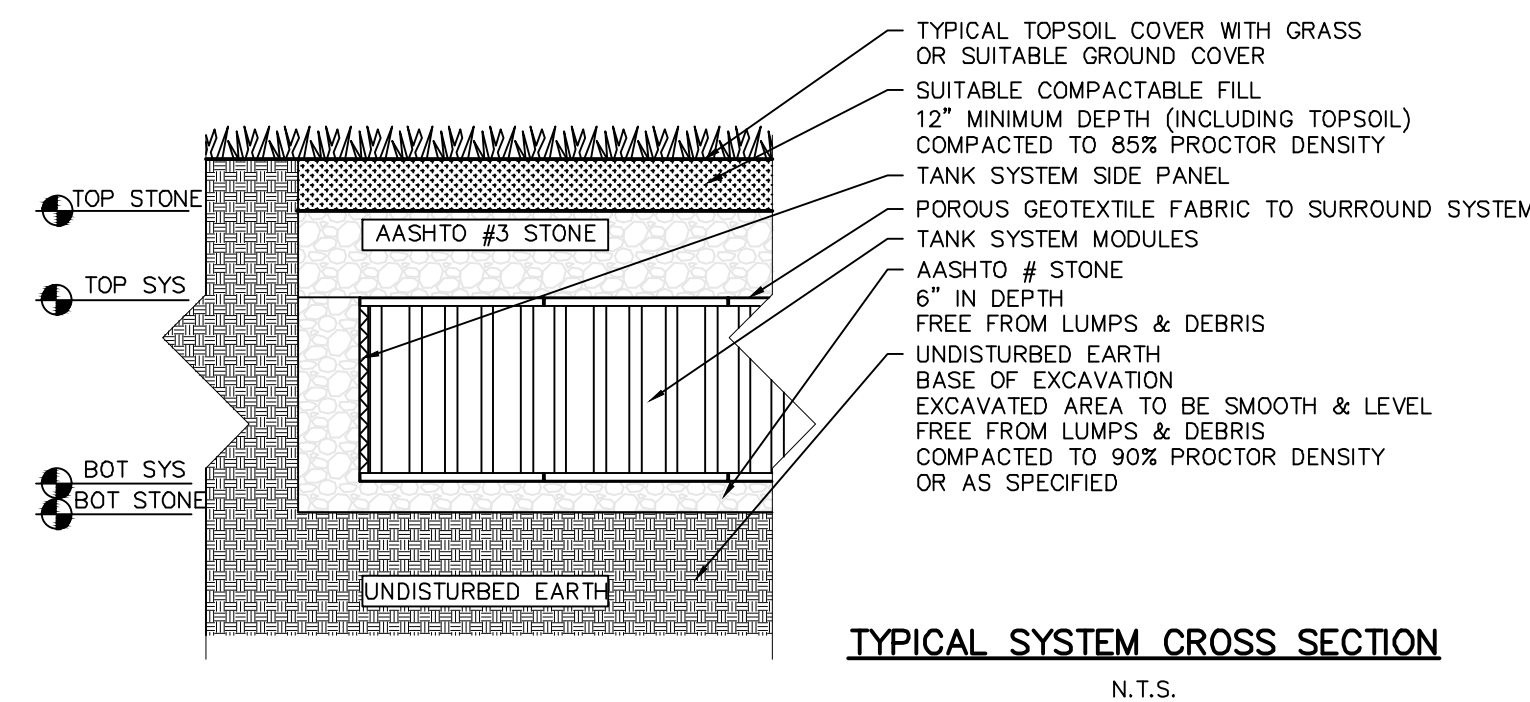
TYPE "C" INLET TOP

TYPE "M" INLET TOP

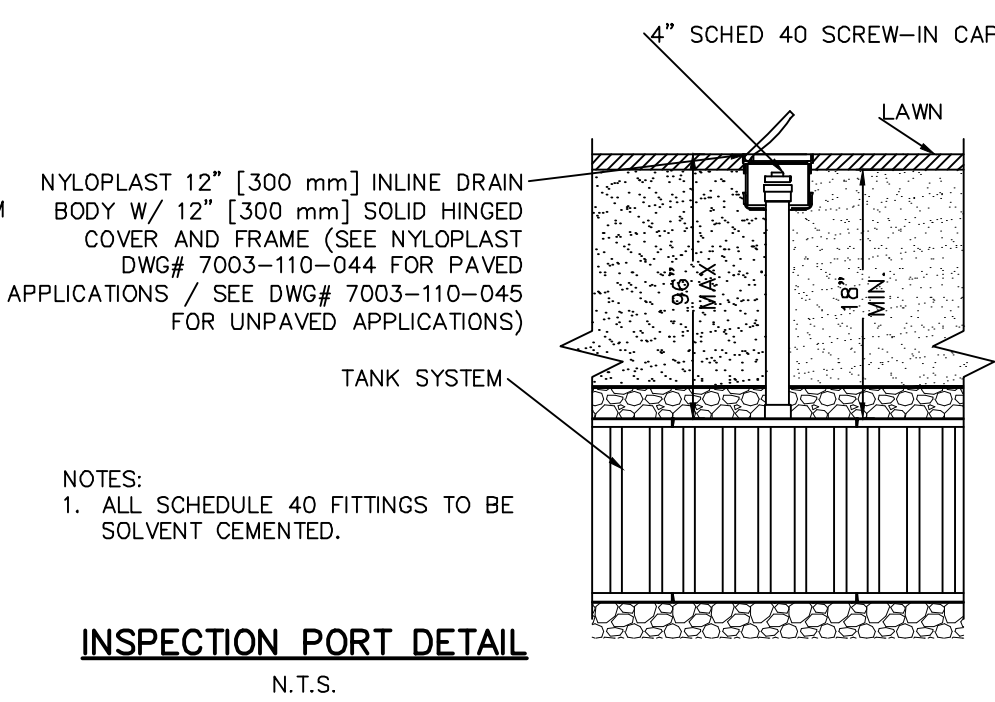


**SPECIFICATIONS:**  
 - CONCRETE STRENGTH: 4000 PSI MIN @ 28 DAYS  
 - REINFORCING STEEL: CONFORMS TO ASTM A615 & A185  
 - TOP AND PIPES TO BE GROUTED IN PLACE ON SITE BY CONTRACTOR  
 - DESIGN: TRAFFIC LOADS, HS-20 LOADING  
 - SPECIAL ORDERS ARE PROVIDED WITH HOLES TO MEET REQUIREMENTS  
 - M.A. IND. STEPS PROVIDED AS REQUIRED

- NOTES:**
1. BASE PREPARATION SHALL BE A MINIMUM OF 6" OF COMPACTED 2A SUBBASE MATERIAL.
  2. PROVIDE STRUCTURAL STEEL GRATES WITH TYPE 'C' & 'M' INLET TOPS.
  3. PROVIDE ALL INLET BOTTOMS WITH 1" SUMP AND HOLES TO DRAIN INLET BOTTOM.
  4. INSTALL NEW TYPE 'C' INLET TOP UNIT AND NEW BICYCLE SAFE STRUCTURAL STEEL GRATE ON EXISTING INLET AND PROPOSED INLET ALONG PROPERTY FRONTAGE ON LANCASTER AVENUE, MATCH EXISTING ROAD GRADES.
  5. INLET GRATES TO BE DEPRESSED 1" AT BACK UNLESS NOTED OTHERWISE
  6. COAT ALL SURFACES WITH ANTI-SPALLING COMPOUND.
  7. MORTAR GROUT INLET FRAME TO BASIN.
  8. AN 8" MAXIMUM LEVELING COURSE MAY BE USED WITH PRECAST INLETS.
  9. INLET BOX CONSTRUCTION AS PER PENN-DOT SPECIFICATIONS.
  10. CONCRETE BLOCK CONSTRUCTION IS NOT ALLOWED.
  11. CAST IN PLACE CONCRETE, PRECAST CONCRETE, AND BRICK ARE THE ONLY APPROVED METHODS OF INLET BOX CONSTRUCTION.

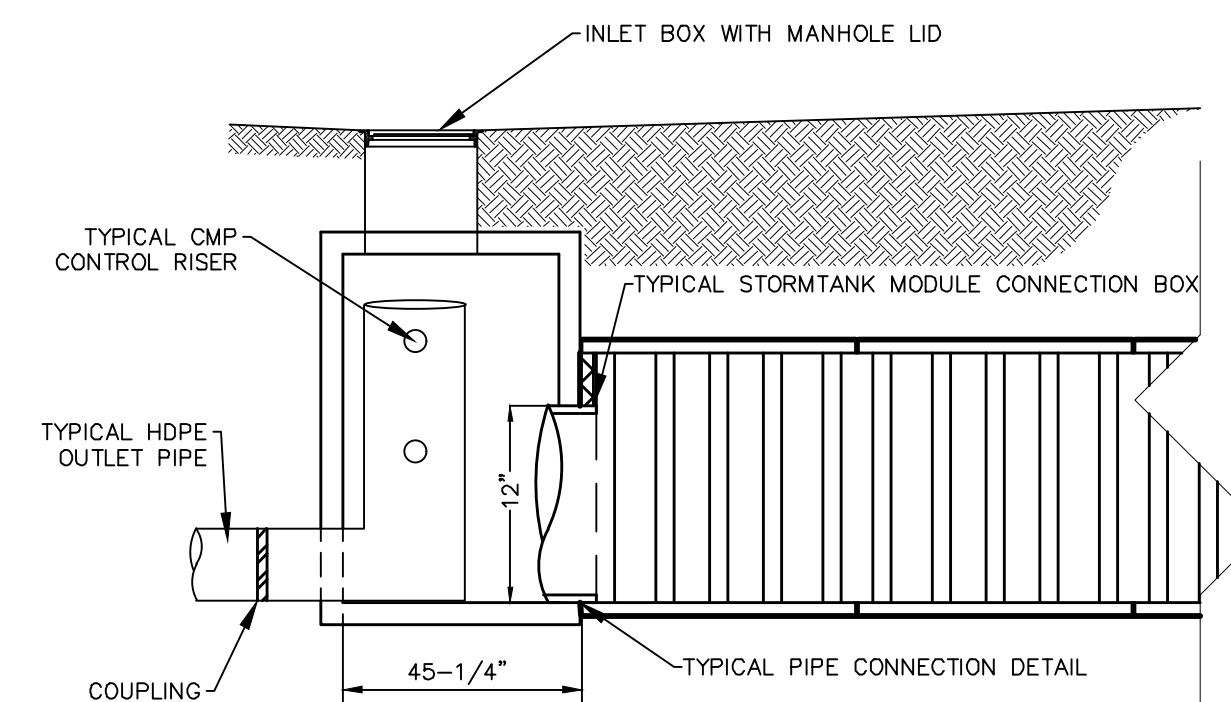


TYPICAL SYSTEM CROSS SECTION  
N.T.S.

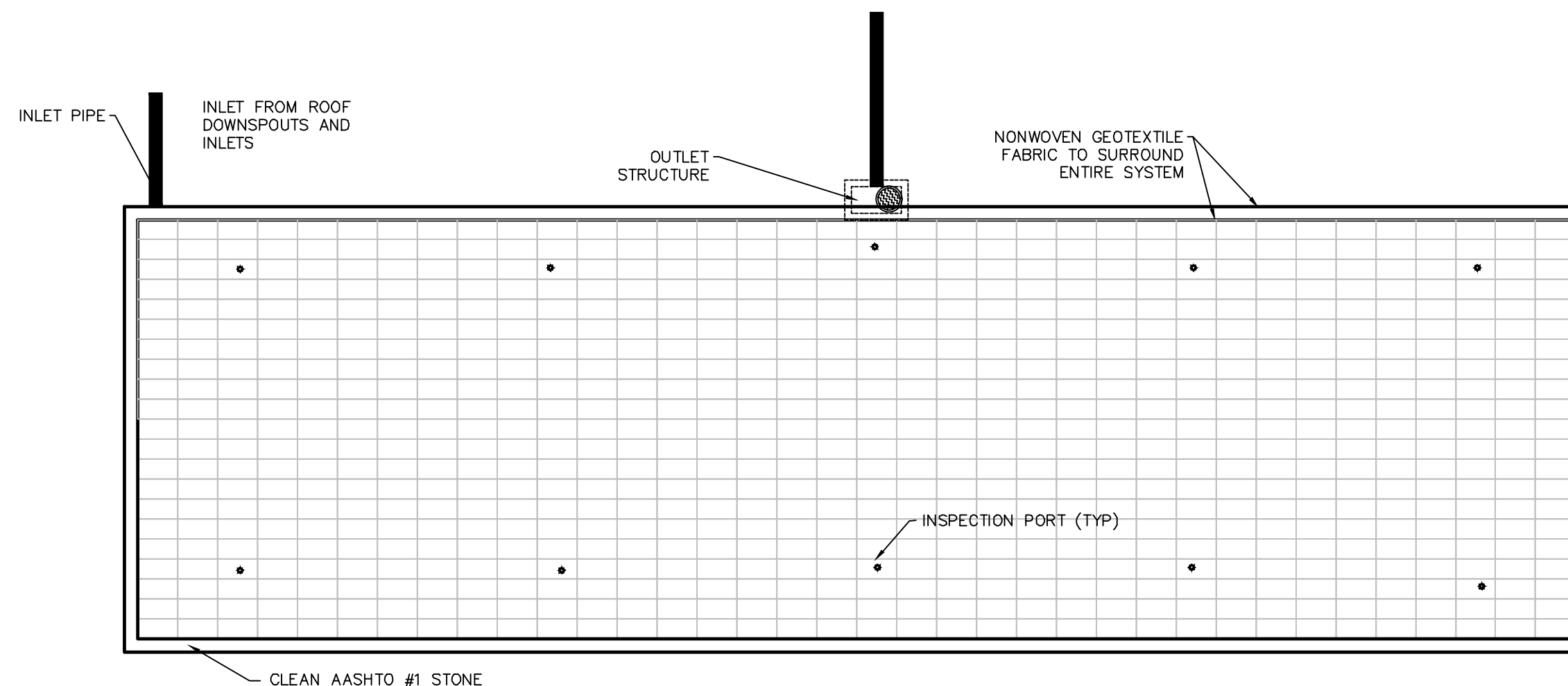


INSPECTION PORT DETAIL  
N.T.S.

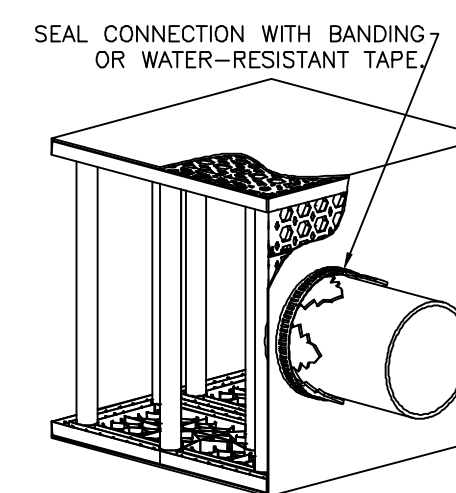
- NOTES:**
1. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



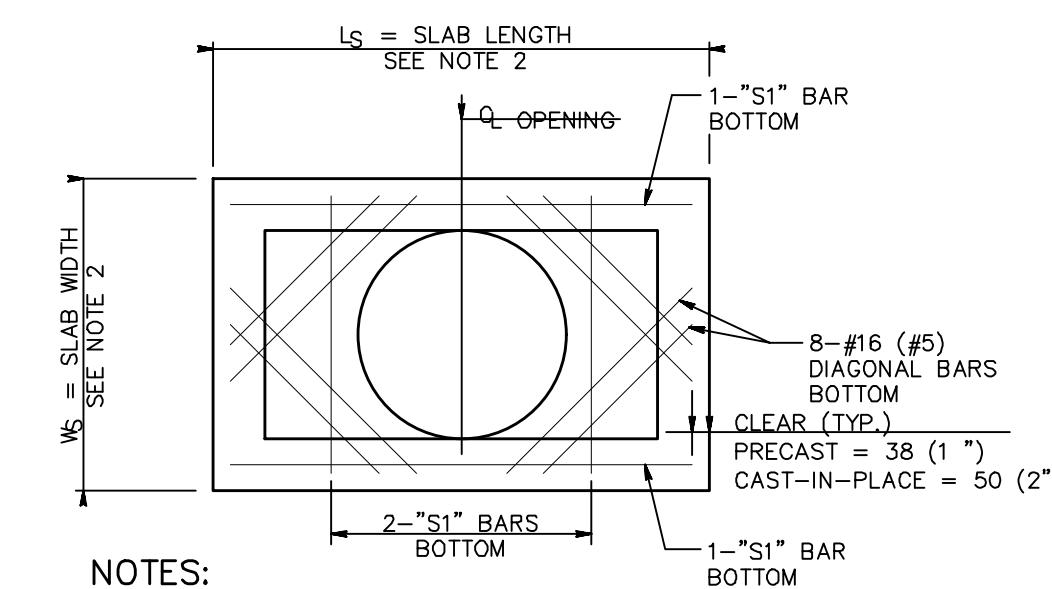
TYPICAL OUTLET STRUCTURE CONNECTION  
N.T.S.



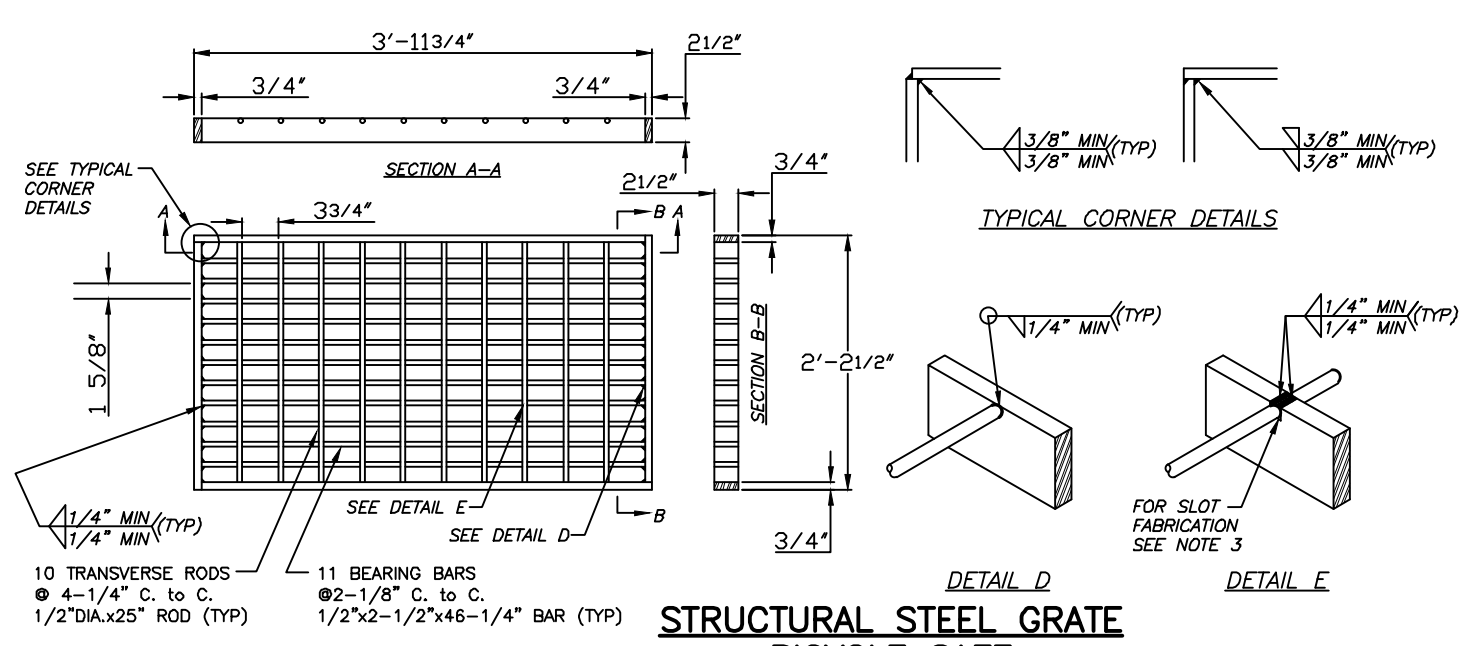
TYPICAL ON-LOT STORMWATER MANAGEMENT DETAIL  
 1.5'x3.0'x3.0' ST-36 STORMTANK CHAMBERS IN A STONE BED  
 1.0' OF STONE ON EITHER SIDE OF SYSTEM  
 0.5' OF STONE BENEATH SYSTEM  
 1.0' OF STONE ON TOP OF SYSTEM  
 CONFIGURATION WILL BE DIFFERENT ON EACH LOT AND IN ACCORDANCE WITH FINAL DESIGN CALCULATIONS



PIPE CONNECTION DETAIL  
N.T.S.

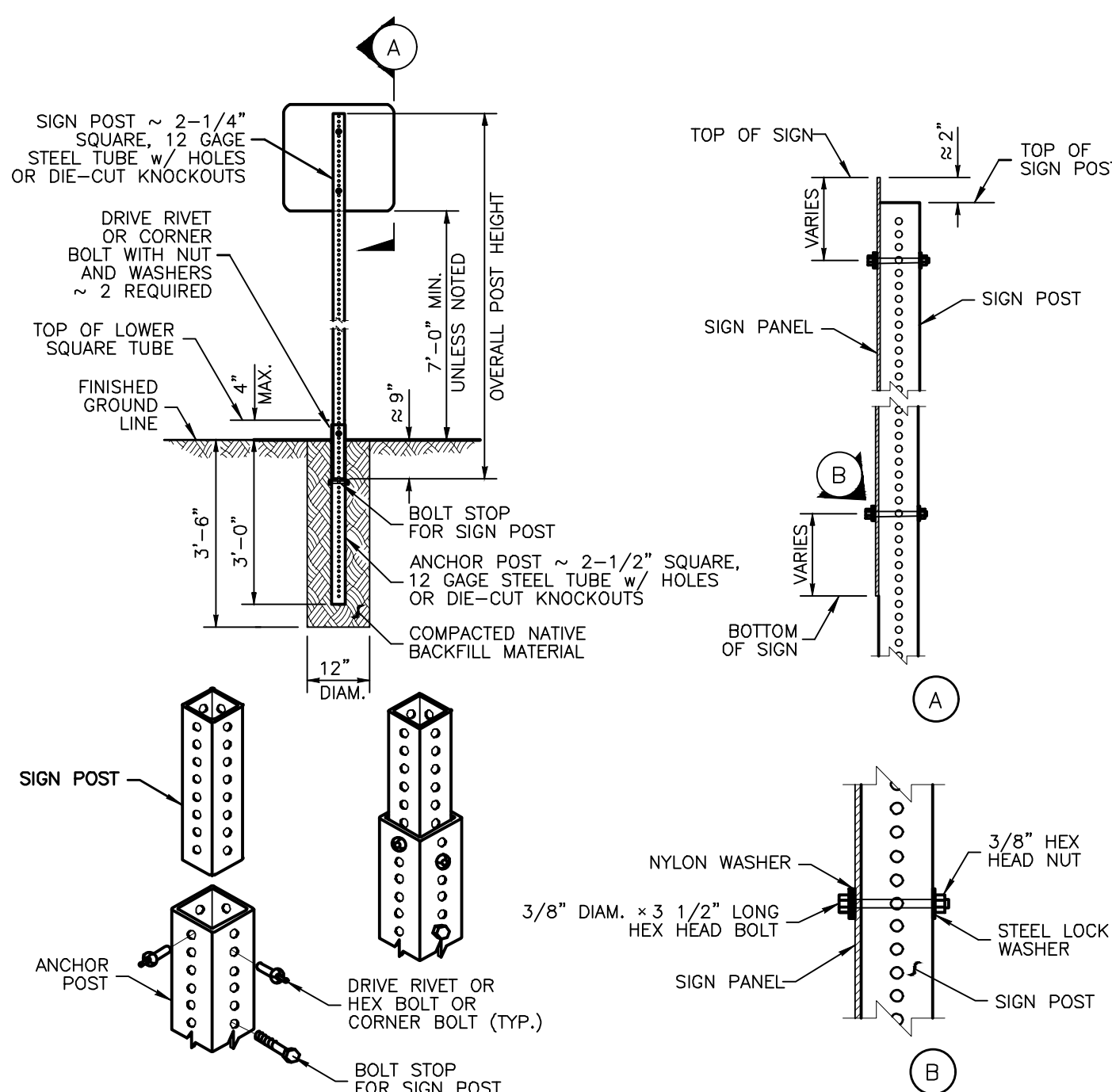


NOTES:  
 1. OUT TO OUT DIMENSIONS OF TOP SLABS TO MATCH SIZE OF INLET BOX.  
 FOR STANDARD INLET BOX



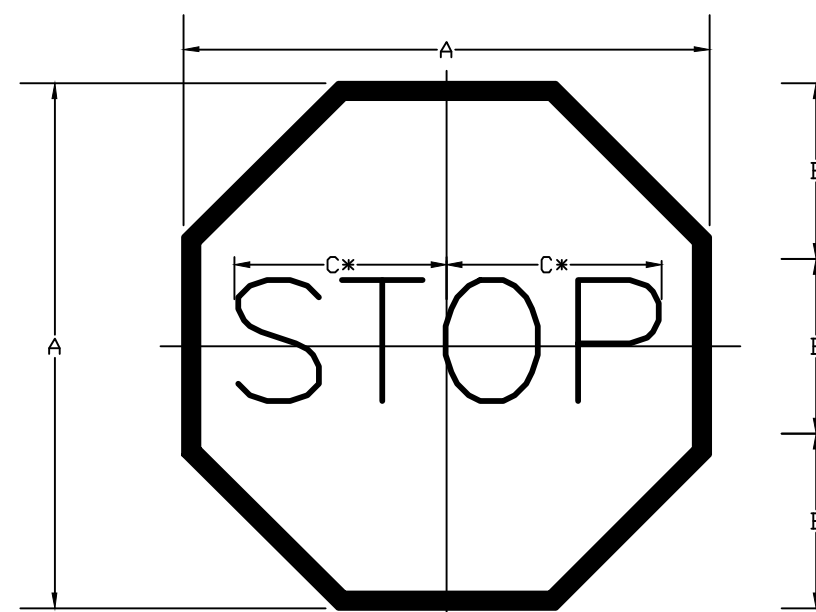
STRUCTURAL STEEL GRATE BICYCLE SAFE

- NOTES:**
1. WELD STRUCTURAL STEEL GRATES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 1105.03(R). WELDING SHOPS ARE NOT REQUIRED TO BE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) CERTIFIED.
  2. PROVIDE TRANSVERSE RODS, MEETING THE REQUIREMENTS OF AASHTO-M227 OR M255, GRADE 70, 75, OR 80, FLUSH WITH THE GRATE SURFACE.
  3. FABRICATE SLOTS BY BURNING, DRILLING, SHEARING OR PUNCHING. HAVE THE BOTTOM OF ALL BURNED OR DRILLED SLOTS CONFORM TO THE SHAPE OF THE ROD.
  4. REFER TO RC-34, SHEET 3 OF 9 FOR COMPLETE COMPLIANCE WITH DETAIL AND NOTES.



- INSTALLATION INSTRUCTIONS:**
1. DETERMINE THE PROPER POST LENGTH.
  2. DRIVE THE ANCHOR POST INTO THE GROUND, USING A DRIVE CAP, UNTIL ONLY THREE HOLES REMAIN ABOVE THE FINISHED GRADE.
  3. SLIDE A MINIMUM OF 12" OF THE SIGN POST INTO THE ANCHOR POST.
  4. ATTACH THE SIGN POST TO THE ANCHOR POST WITH TWO CORNER BOLTS AND NUTS (OR ALTERNATELY TWO BOLTS AND NUTS OR TWO DRIVE RIVETS) THROUGH THE TOP TWO HOLES OF THE ANCHOR SLEEVE.
  5. TIGHTEN THE BOLTS AND NUTS BY THE TURN-OF-NUT METHOD. BRING NUT TO A SNUG CONDITION TO ENSURE THAT ALL PARTS ARE BROUGHT TOGETHER INTO FULL CONTACT WITH EACH OTHER, THEN TIGHTEN AN ADDITIONAL 1/2 TURN.
  6. ALL BOLTS AND/OR DRIVE RIVETS SHALL BE CADMIUM PLATED STEEL.

TRAFFIC SIGN POST DETAIL



COLOR : LEGEND AND BORDER WHITE (REFLECTORIZED)  
 BACKGROUND RED (REFLECTORIZED)

\* REDUCE SPACING 40%

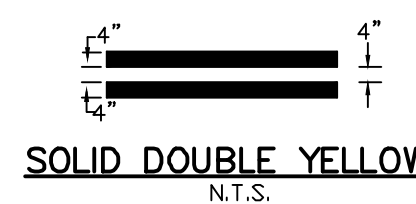
SIGN SIZE	DIMENSIONS			SERIES	BORDER	BLANK STD.
	A	B	C			
30x30	30	10	12.5	C	3/4	B1-30

STOP SIGN (R1-1)

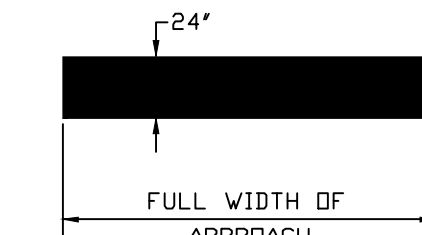


W14-2  
 750 mm x 750 mm

NO OUTLET SIGN (W14-2)  
N.T.S.



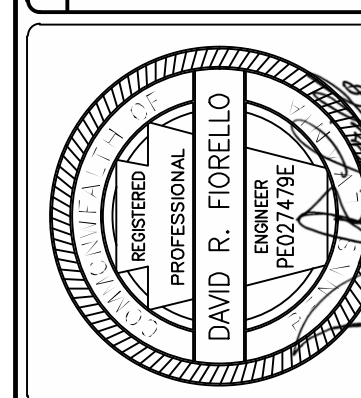
SOLID DOUBLE YELLOW  
N.T.S.



SOLID WHITE STOP BAR  
N.T.S.

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**Serial Number:**  
 CALL BEFORE YOU DIG!  
 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776



**MOMENEE, INC.**  
 a Karmas Company  
 ENGINEERING | PLANNING | SURVEYING  
 924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

**CONSTRUCTION DETAILS**  
 PRELIMINARY SUBDIVISION/DEVELOPMENT PLANS  
**200 S. ITHAN AVENUE**  
 RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA  
 OWNER/APPLICANT: GPX REALTY REALTY PARTNERS  
 357 SOUTH GULPH ROAD KING OF PRUSSIA, PA 19406  
 DRAWN BY: TED  
 CHECKED BY: DRF

FILE NO.: 19-283  
 SHEET 9 OF 9  
 DATE: OCTOBER 2, 2020  
 SCALE: AS NOTED





**LEGEND**

**TREES TO BE REMOVED**

- ⊗ Heritage Tree
- ⊗ 19"-29" DBH
- ⊗ 6"-18" DBH
- ⊗ <5" DBH
- ⊗ Hazard
- ⊗ Invasive

**TREES TO BE PRESERVED**

- Deciduous Tree
- Evergreen Tree

**PROPOSED TREES**

- ⊕ Canopy Tree - 5" Cal.
- ⊕ Canopy Tree - 2.5" Cal.
- ⊕ Flowering Tree
- ⊕ Evergreen Tree

Tree Replacement Plant Schedule		Preliminary
BOTANICAL NAME		COMMON NAME
<i>Acer rubrum</i> 'October Glory'		October Glory Red Maple
<i>Acer rubrum</i> 'Armstrong'		Armstrong Red Maple
<i>Acer saccharum</i> 'Green Mountain'		Green Mountain Sugar Maple
<i>Betula nigra</i> 'Heritage'		Heritage River Birch
<i>Cercis canadensis</i>		Redbud
<i>Crataegus viridis</i>		Winter King Hawthorn
<i>Cryptomeria japonica</i> 'Yoshino'		Yoshino Inscense Cedar
<i>Gymnocladus dioica</i> 'Espresso'		Kentucky Coffeetree
<i>Halesia carolina</i>		Carolina Silverbell
<i>Ilex opaca</i>		American Holly
<i>Liquidambar styraciflua</i> 'Rotundiloba'		Sweetgum
<i>Liriodendron tulipifera</i>		Tulip Poplar
<i>Magnolia acuminata</i>		Cucumber Magnolia
<i>Magnolia grandiflora</i>		Southern Magnolia
<i>Magnolia virginiana</i>		Sweetbay Magnolia
<i>Malus</i> 'Prariefire'		Prariefire Crabapple
<i>Nyssa sylvatica</i>		Black Gum
<i>Picea abies</i>		Norway Spruce
<i>Picea amorika</i>		Serbian Spruce
<i>Pinus strobus</i>		Eastern White Pine
<i>Platanus occidentalis</i> 'Exclamation'		Exclamation Plane Tree
<i>Quercus alba</i>		White Oak
<i>Quercus bicolor</i>		Swamp White Oak
<i>Quercus phellos</i>		Willow Oak
<i>Taxodium distichum</i>		Bald Cypress
<i>Thuja</i> 'Green Giant'		Green Giant Arborvitae

Number Removed	TREE REMOVALS		
	Size/Quality	Replacement Requirement: total trees	number of total replacements which must be canopy trees
6	Heritage Tree (30"+)	36	24
18	19-29" DBH	54	36
134	6-18" DBH	134	0
3	<5" DBH	0	0
41	Norway Maple	41	0
71	Hazards/ >30% Dead	0	0
<b>Total</b>		<b>Total</b>	<b>Total</b>
<b>273</b>		<b>265</b>	<b>60</b>
Count	REPLACEMENT TREES		
	Type	Required	Size
32	Canopy Tree - 5" Cal.*	*	5" cal.*
26	Canopy Tree - 2.5" Cal.	60	
98	Evergreen Tree		6-8'
78	Flowering Tree		6-8'
<b>234</b>	<b>*Total</b>	<b>265</b>	

\*5" caliper shade trees will count in lieu of two 2.5" caliper trees to meet best horticultural practices, to achieve township requirements.

NOTES:  
 DRAWING IS TO ILLUSTRATE THE WORK TO BE DONE.  
 THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR  
 THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND  
 SCHEDULES OF CONSTRUCTION, AND NOTHING ON THIS  
 DRAWING EXPRESSED OR IMPLIED CHANGES THIS  
 CONTRACTOR'S OBLIGATION TO KNOW HOW TO AFFECT THE WORK. THE  
 SUBMITTAL OF A BID TO PERFORM THIS WORK IS AN  
 ACCEPTANCE OF THE BID PRICE. NO CLAIMS FOR EXTRA  
 WORK OR FOR PRICE ADJUSTMENTS WILL BE  
 FORTCOMING.

**JONATHAN LANDSCAPE  
 ALDERSON ARCHITECTS, LLC**  
 Post Office Box 661, Wayne, Pennsylvania 19087-0661  
 (610) 341-9925 Fax: (610) 341-9926  
 e-mail: Information@jonathanalderson.com

**200 SOUTH ITHIAN AVENUE**  
**RADNOR TOWNSHIP  
 PENNSYLVANIA**

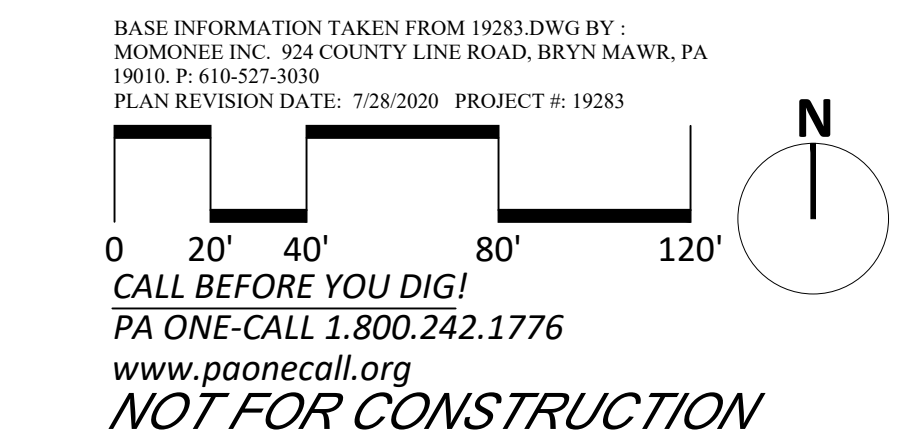
ISSUED:  
 Preliminary Review 7/30/2020

DATE: 2020-07-30  
 CHECKED BY: JA  
 DRAWN BY: JF  
 PROJECT #: 0668

SHEET: 1 OF 01

**L401**  
**Planting Plan**

SCALE: 1" = 40'



File: H:\GPN PROPERTIES\_06688\CAD\GPN\_ITHIAN-2020-07-30.dwg Layout: Title: L401-REMOVALS REPLACEMENT Title Date: 7/30/2020 1:55 PM User: jason