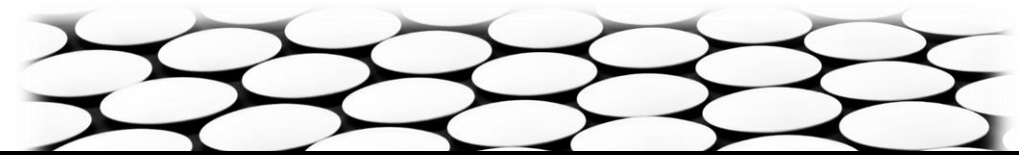


FENIMORE WOODS IMPROVEMENT PROJECT

Board of Commissioners Community Development Subcommittee Meeting

Wednesday, June 23, 2021

Project Summary



The Fenimore Woods Park Project is a comprehensive revisioning project designed to enhance the vibrant, natural beauty of this popular park along with establishing safety, accessibility, and the active and passive functionality for all residents to experience and enjoy for generations to come.

These park improvements were authorized by the Board of Commissioners in 2015 per Ordinance 2015-18 which approved funding for several parks and trail improvement projects, with Fenimore Woods distinctly allocated a priority project. This funding was allocated after 20+ years of discussion as part of the Township Capital Budget Planning Process.

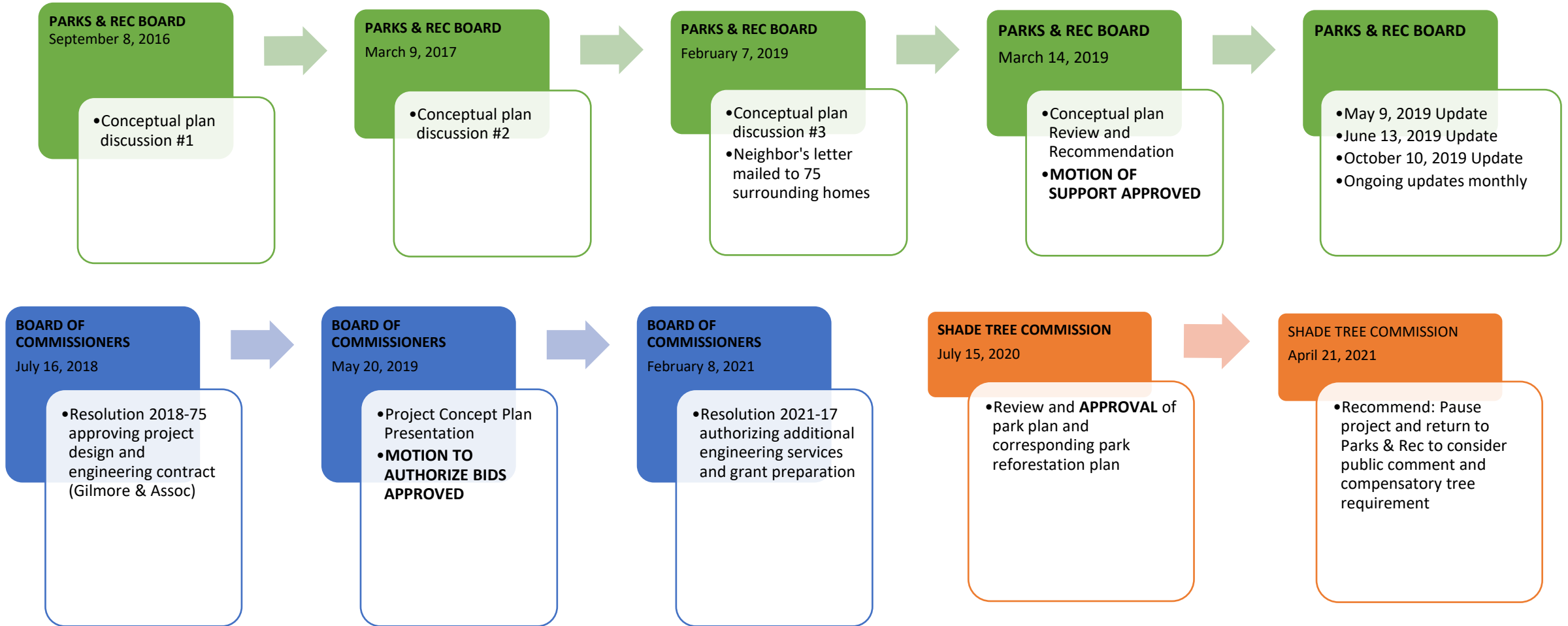
Thank you to the Radnor Township Board of Commissioners, Parks & Recreation Board & residents who have participated in this process.

Project Budget & Funding History

PROJECT BUDGET	STATUS	AMOUNT
2016 Bond Allocation	Received	\$2,027,000
DCED Keystone Communities Project (Received)	Received	50,000
DCNR Community Conservation Partnership Program (DCNR C2P2)	Applied For	250,000
DCED Greenways, Trail, and Recreation Program	On Hold	125,000 +/-
Total (Does not include grants that have not been awarded yet)		\$2,077,000

Project Timeline

- Dating back to 2016, this project has been discussed in detail at eleven (x11) public meetings.
- Parks & Recreation Board + Board of Commissioners + Shade Tree Commission.
- Individually met with residents who were unable to attend public meetings.
- 20 Years Capital Budget Planning and Review that included the amenities at Fenimore Woods



Note: The project was delayed a year from summer 2017 to summer 2018 due to a change in design firms.



- Township Acquired Two-Parcel 'Moss Agnew' Tract in 1973 Containing House & Stable
- Township razed House, Retained Stable
- Approximately 11.5 Acres
- Contains a 2.2-acre pond
- Gulph Creek bisects site
- Contains both 100- and 500-year floodplains and designed floodway
- Significant slopes and grade changes throughout site
- Destination for Active & Passive Recreational Amenities for Wide-Range of Interests
- Two distinct points of park ingress/egress – Upper & Lower Park Areas
- Neighbors Cabrini and Eastern Universities and residential homes

SITE CONTEXT MAP



Aging Infrastructure Safety Aesthetics

- Deteriorated Stable Building
- Former Park Bathroom Space / Closed to Public Access in 2010 – Replaced with Portable Toilets
- Structurally Unsound - Unsafe Space to Enter
- Lack of Sanitary Sewer System



Aging Infrastructure Safety Aesthetics

- Extensive Water Damage – Exterior & Interior
- Building Systems Compromised
- Hazardous / Environmental Conditions
- Unsafe Location for Park Users Relative to Park Gathering Spaces
- Inconspicuous Space / Attractive Nuisance



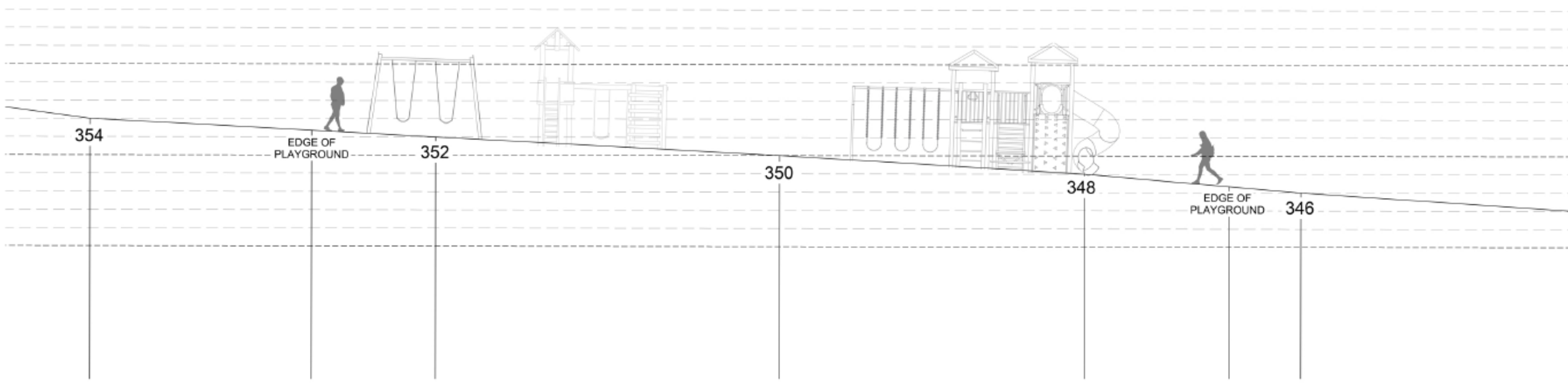
Aging Infrastructure Safety Accessibility

- Pavilion with picnic tables (Over 30 Years Old)
- Pavilion Deterioration / Failing Roof Structure / Moss
- Cracked / Uneven Concrete Surface
- Proximity to Trees / Falling Limbs
- No Accessibility or Defined Access Route from parking lots
- No Sanitary Bathroom Access - Portable toilettes



Safety Accessibility Aging Infrastructure

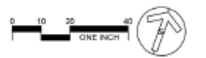
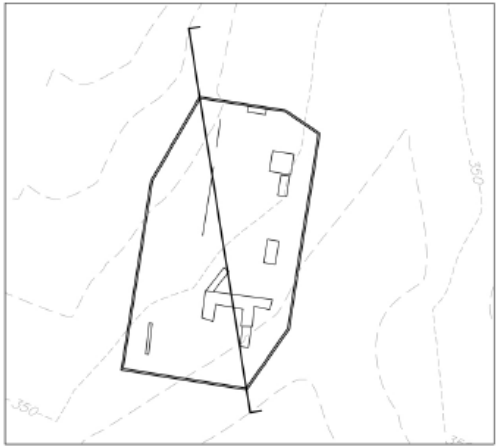
- Playground constructed in 2002 (Equipment breakdowns occurring across park system)
- Proximity to Paul Road
- Excessive Grade Change across playground 6'+
- Does not meet ADA / No Accessibility
- Lacks Inclusive Play Features



FENIMORE WOODS - EXISTING PLAYGROUND SECTION



SECTION CUT LOCATION





Site Access / Parking Safety Accessibility

- Lower Parking Lot Access – Dangerous Intersection where park entrance, Paul Road, Walnut Avenue Converge
- Undefined Parking Configuration & Entrance to Upper Park
- Mixed Surfaces / Potholes / Eroding Lot Border
- No Accessibility / Does not meet ADA
- Steep 'Step Down' to Access Pond



Site Access / Parking Safety Accessibility

- Necessary Parking to Accommodate the Usage
- Upper Parking Lot - Undefined Parking Configuration and Traffic Flow
- No Accessibility to Pavilion
- Steep 'Step Down' to Access Open Space Area



No Stormwater Management

- No Control of Run Off from Existing Park Amenities & Surfaces or to Gulph Creek
- Exposed Tree Root Systems / Trip Hazards
- Pond Walking Path Deterioration
- Site Erosion Impacts and Increases to Grades Over Time

- Kevin Selger – Director of Landscape Architecture and Planning, Registered Landscape Architect
- TJ McIntyre – Registered Landscape Architect



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
BUILDING ON A FOUNDATION OF EXCELLENCE

John Rockwell Hosbach Jr., Urban Forester

Registered Consulting Arborist #483

ISA Certified Arborist PD-0372

ISA Tree Risk Assessment Qualified

Consultants | Urban Foresters | Planners | Forensic Arborist





Tree Safety

- Near-Misses to User Groups with large branches falling onto / near the recreational spaces
- Mitigation Efforts Needed Related to Safety
- Exposed Tree Root Systems due to Site Erosion

















PROJECT DESIGN ELEMENTS



- ✓ STRATEGIC PLANNING
 - ✓ ANALYSIS OF EXISTING CONDITIONS
 - ✓ PROFESSIONAL RESPONSIBILITY
 - ✓ INDUSTRY BEST PRACTICES
-

Park Usage

Pavilion - Meaningful Community Rentals

- 40+ rentals per year average / Majority of weekends April to October / 150+ hours of formal usage
- 1,600+ people annually formal rental usage
- Annual Groups - *Sons of the American Revolution, Central Nursery, St. Katharine of Siena School, Enterprise Rentals*
- Annual Family Reunions, Birthday Parties
- School, Team, & Organization Celebrations
- Scouts & Civic Group Meetings
- Company/Business Retreats
- Wayne Senior Center, Wayne Art Center Programs
- Township Programming & Events
- Day-Picnics / Scenic Gatherings

Playground

- Playdate Groups
- Preschools / Elementary Schools

Pond

- Fishing, Walking Path, Exploration



Project Design Elements



- ❑ **Address Aging & Hazardous Infrastructure Across the Park Site**
 - **Stable Building Removal**
 - **Pavilion Replacement with New Structure / Adjacent Bathrooms / Picnic Table Seating**
 - **Playground Replacement and Relocation for Safety and Proximity to Pavilion / Bathrooms**

- ❑ **Create Interior, Central Location for Park Features**
 - **Safety, Accessibility, Experiences**
 - **Best Practices in Park Design Approach**

- ❑ **Accessibility and Inclusivity**
 - **Meet ADA Requirements to Park Amenities**
 - **Create Equity for ALL Park Visitor by Establishing Clear Routes to the Park Amenities for Enjoyment**





How the ADA Standards are Enforced

DOJ's and DOT's ADA Standards are not a building code, nor are they enforced like one. They constitute design and construction requirements issued under a civil rights law. The ADA's mandates, including the accessibility standards, are enforced through investigations of complaints filed with federal agencies, or through litigation brought by private individuals or the federal government. There is no plan review or permitting process under the ADA. Nor are building departments required or authorized by the ADA to enforce the ADA Standards (some building departments even include a disclaimer on their plan checks indicating that ADA compliance is not part of their approval process). Entities covered by the law ultimately are responsible for ensuring compliance with the ADA Standards in new construction and alterations.

State and Local Access Codes

Building design and construction, including safety and accessibility, is largely regulated and enforced by states and local jurisdictions. The ADA does not intrude upon the authority these governmental entities have traditionally exercised over the built environment. Most states and many local jurisdictions have laws or ordinances that address access to the built environment. Several states have their own accessibility codes, while others have implemented requirements based on those of the ADA or adopted access provisions contained in model building codes. The ADA Standards apply nationally *in addition to* any applicable state or local access requirements or codes. An occupancy permit issued by a local jurisdiction (or a building inspection) does not ensure ADA compliance. Although local building departments sometimes can waive building code requirements, a local waiver does not affect the entity's obligation to comply with the ADA Standards.

Do the ADA Standards override state or local requirements?

No, both the ADA Standards and all applicable state and local requirements must be satisfied. Where there is a difference, the standard that provides greater accessibility must be followed.

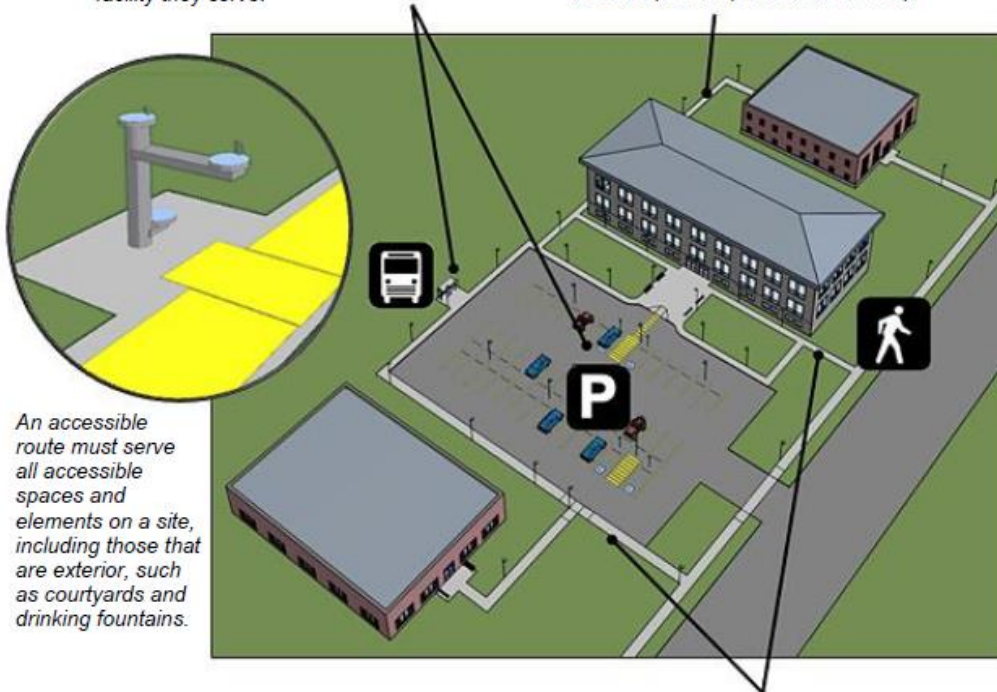
Accessible Routes within a Site [§206.2.2]

At least one accessible route within the boundary of the site originating from site arrival points must connect all accessible buildings, facilities, elements, and spaces on a site.

Accessible Routes (Exterior) within a Site

An accessible route must connect site arrival points such as accessible parking spaces, passenger loading zones, and transportation stops to each accessible facility they serve.

An accessible route within the boundary of the site must connect each facility on a site (except those connected only by a vehicular way that does not provide pedestrian access).



An accessible route must serve all accessible spaces and elements on a site, including those that are exterior, such as courtyards and drinking fountains.

An accessible route from public streets and sidewalks must connect directly or indirectly to all accessible facilities and elements on a site.

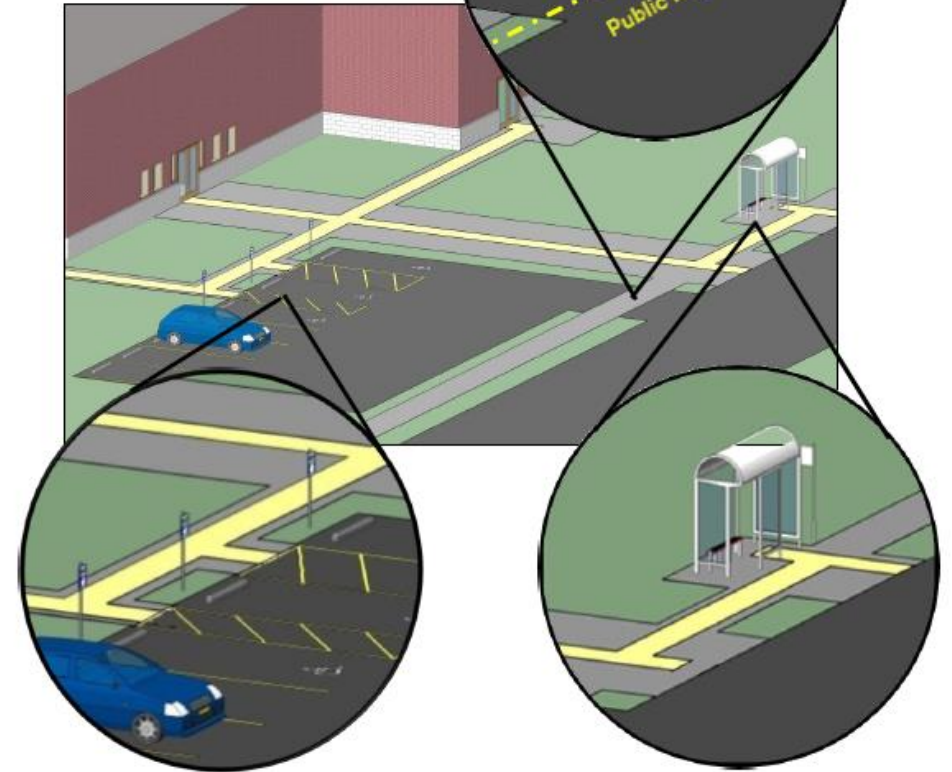


An accessible route is not required where the only means of access between buildings, facilities, or elements is a vehicular way not providing pedestrian access (§206.2.2, Ex.).

Accessible routes must coincide with, or be in the same area as, circulation paths. This promotes equivalency and precludes accessible routes that are obscure, hard to find, or that diverge from circulation paths more than is necessary (§206.3).

Public Streets and Sidewalks

Requirements for accessible routes apply within site boundaries (i.e., property lines or designated portions of public rights-of-ways). Connecting accessible routes to public streets and sidewalks may require coordination with local jurisdictions.



Parking and Passenger Loading Zones

Accessible routes must connect to access aisles serving accessible parking spaces and accessible passenger loading zones. It is advisable, though not required, to locate accessible routes in front of parking spaces instead of behind them. Accessible routes that cross or overlap vehicular ways are not required to be marked as a crossing (but access aisles at accessible parking spaces and passenger loading zones must be marked).

Public Transportation Stops

Accessible routes serving public transportation stops must connect to boarding and alighting areas and, if bus shelters are provided, to the clear floor space required within shelters.

Conceptual Plan Development

- New Dry Stream
- New Accessible Path w/bridge
- New Pavilion with Restrooms
- New Playground (2-12 Combined)
- New Parking W/ Drop Off (20 Spaces)
- Existing Bridge
- New Accessible Path to Pond

- Existing Parking Setback (20')
- New Stone Parking Lot (24 Spaces)
- Existing Tree (Typ.)
- New Trash Enclosure W/Dumpster
- New Canopy Tree (Typ.)
- New Understory Tree (Typ.)
- New Stone Path w/Retaining Wall
- Existing Wetland Setback (30')
- Gulph Creek



Fenimore Woods Park
Radnor Township, Pa





- New Dry Stream
- New Accessible Path w/Boardwalk
- New Pavilion with Restrooms
- New Playground (2-12 Combined)
- New Timber Boardwalk
- New Rain Garden
- New Parking (14 Spaces)
- Existing Bridge

- Existing Parking Setback (20')
- New Stone Parking Lot (25 Spaces)
- New Rain Garden
- Existing Tree (Typ.)
- New Trash Enclosure W/Dumpster
- New Canopy Tree (Typ.)
- New Understory Tree (Typ.)
- Existing Wetland Setback (30')
- Gulph Creek



Fenimore Woods Park
Radnor Township, Pa



Project Design Elements



❑ Establish Stormwater Management

- Address Run Off and Establish Erosion Control from all Impervious Surfaces and Structures
- Dry Stream with New Boardwalk
- Rain Gardens & Planting Swales
- Township Ordinance Compliance
- Create Education & Stewardship Signage

❑ Establish Native Tree Planting & Landscaping Plan

- Balance Preservation and Address Declining Trees
- Create Safety in and around Key Park Areas

❑ Improved Park Access

- Establish Safe Points of Ingress & Egress
- Restore & Reconfigure Parking Lots with Functionality and Accessibility / Crushed Stone Materials
- New Walking Trail throughout Upper Area of the Park / Crushed Stone Materials and Asphalt
- Reconstruct Walking Trail around Pond with Crushed Stone
- Bridge Replacement to Access Pond

Drainage Concept Plan

- Swales
- Vegetated Swales
- Rain Gardens
- Underground Stormwater Storage/Controlled Release



EAGLE ROAD (SR 1042)

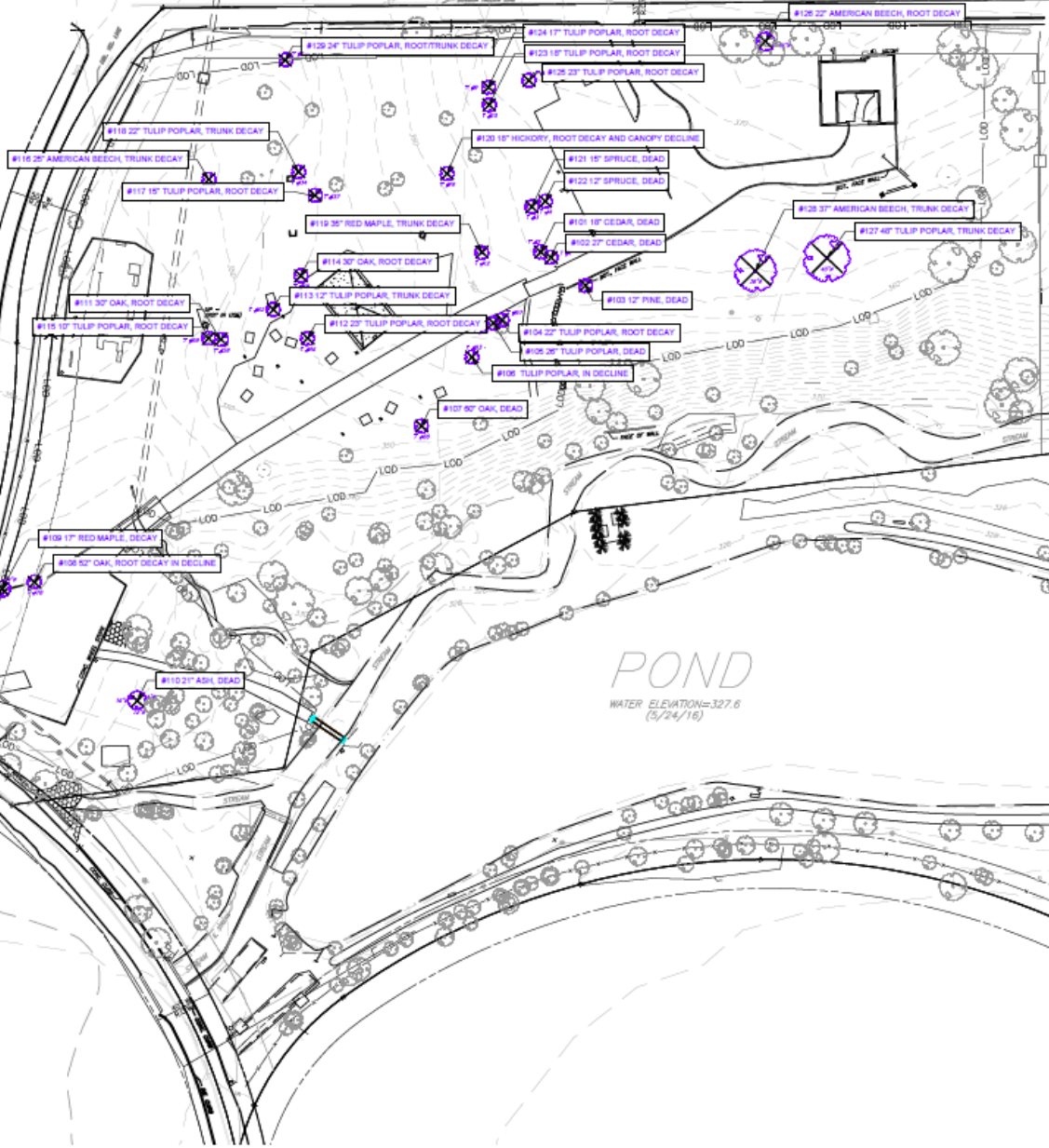
LEGEND: TREE REMOVAL



EXISTING TREE TO BE REMOVED

PAUL ROAD

POND
WATER ELEVATION=327.6
(5/24/16)



NOTE:

1. PRUNE ALL EXISTING TREES TO CLEAN OUT DEAD LIMBS 1" DIAMETER AND GREATER. PERFORM SELECTIVE THINNING AND LATERAL REDUCTION TO ENCOURAGE A STRONG BRANCHING STRUCTURE. LOW LIMBS SHOULD BE ELEVATED TO A HEIGHT OF 15FTMS TO ALLOW CLEARANCE FOR PLAY STRUCTURES. PRUNING SHOULD BE DONE UNDER SUPERVISION OF SOMEONE WHO IS A BOARD CERTIFIED MASTER ARBORIST.
2. SEE SHEET L-2.2 FOR TREE PROTECTION FENCING DETAIL.

GILMORE & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS & CONSULTANTS
1000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202
TEL: 303.733.1111 FAX: 303.733.1112
WWW.GILMOREANDASSOCIATES.COM



JOB NO.	TULAMP PARCEL NO.
MUNICIPAL FILE NO.	
DATE	DATE
SCALE	SCALE
DATE	DATE

OWNER	TOTAL AREA	SCALE	DATE
RENOVATIONS FOR FENMORE WOODS PARK	ACRES	DATE	DATE

RENOVATIONS FOR FENMORE WOODS PARK
PROJECT LOCATION: DENVER COUNTY, FENMORE WOODS PARK

DATE	DATE	DATE
DATE	DATE	DATE



SHEET NO. L-2.1

AT RISK TREE REMOVAL

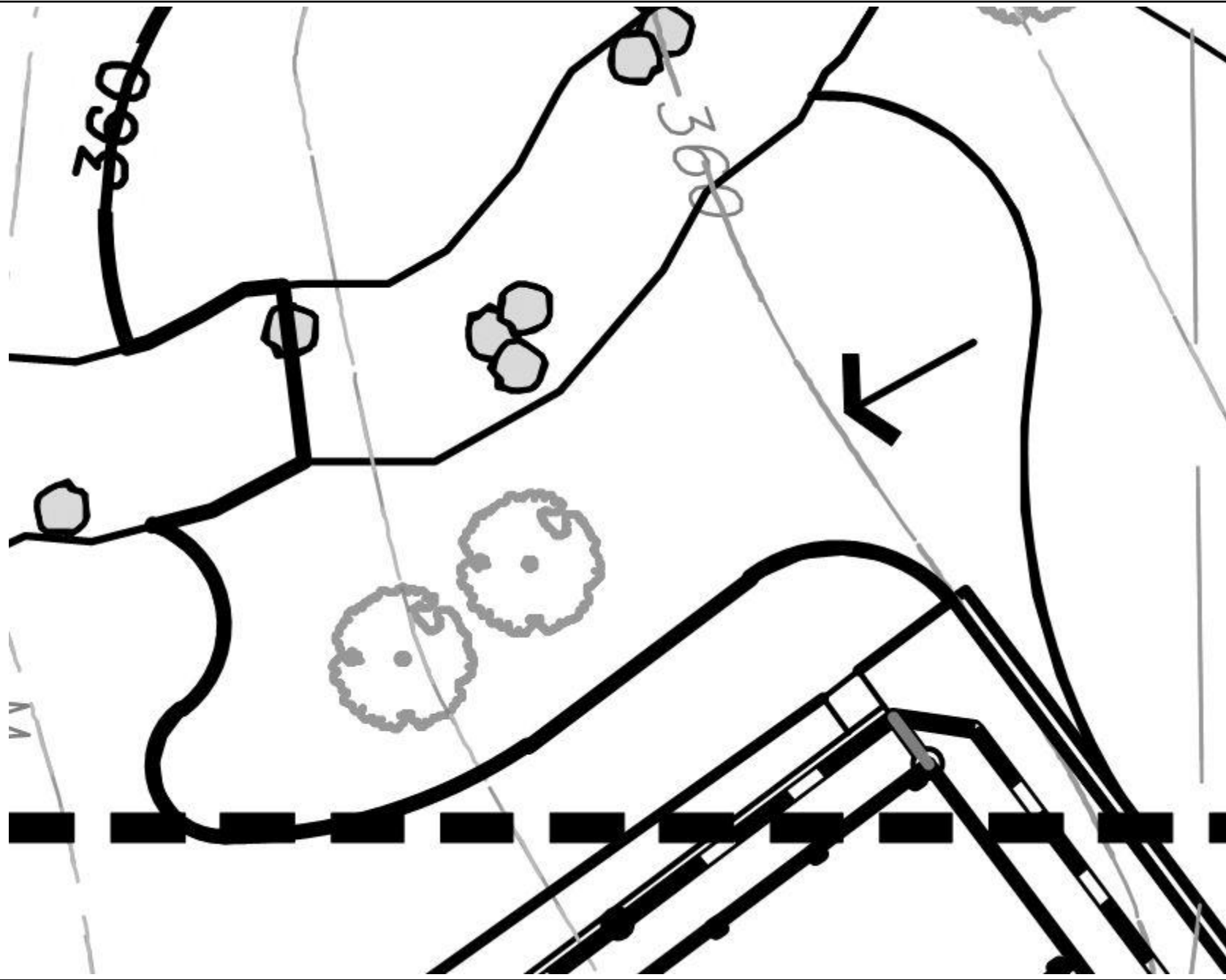
TAG #	SPECIES	SIZE	REASON FOR REMOVAL
101	Cedar	18"	Dead
102	Cedar	27"	Dead
103	Pine	12"	Dead
104	Tulip Poplar	22"	Root Decay
105	Tulip Poplar	26"	Dead
106	Tulip Poplar		Dead
107	Oak	60"	Dead
108	Oak	52"	Root Decay in Decline
109	Red Maple	17"	Decay
110	Ash	21"	Dead
111	Oak	30"	Root Decay
112	Tulip Poplar	23"	Root Decay
113	Tulip Poplar	12"	Trunk Decay
114	Oak	30"	Root Decay
115	Tulip Poplar	10"	Root Decay
116	American Beech	25"	Trunk Decay
117	Tulip Poplar	15"	Root Decay
118	Tulip Poplar	22"	Trunk Decay
119	Red Maple	35"	Trunk Decay
120	Hickory	18"	Root Decay and Canopy Decline
121	Spruce	15"	Dead
122	Spruce	12"	Dead
123	Tulip Poplar	18"	Root Decay
124	Tulip Poplar	17"	Root Decay
125	Tulip Poplar	23"	Root Decay
126	American Beech	22"	Root Decay
127	Tulip Poplar	48"	Trunk Decay
128	American Beech	37"	Trunk Decay
129	Tulip Poplar	24"	Root/Trunk Decay

Tree Table *(as presented to Shade Tree Committee July 2020)*

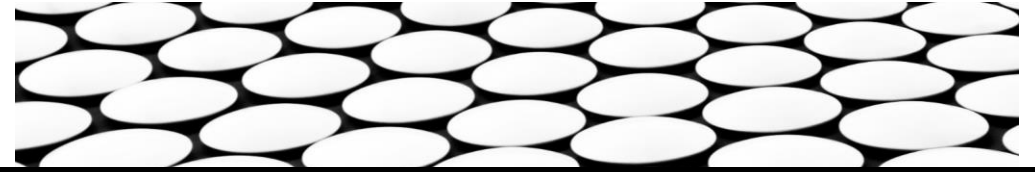
Proposed Tree Removal - Sizes	Quantity to be Removed	Compensatory Trees Required
6-18" DBH (1 Compensatory Tree Required)	91 (17 Trees in Decline/Risk/Defect)	74
19-29" DBH (3 Compensatory Trees Required)	47 (9 Trees in Decline/Risk/Defect)	114
30"+ DBH (6 Compensatory Trees Required)	5	30
Total Compensatory Trees Required = 218 (2-2.5" Caliper)		

Tree Table *(revised)*

Proposed Tree Removal - Sizes	Quantity to be Removed	Compensatory Trees Required
6-18" DBH (1 Compensatory Tree Required)	57 (11 Trees in Decline/Risk/Defect)	46
19-29" DBH (3 Compensatory Trees Required)	42 (11 Trees in Decline/Risk/Defect)	93
30"+ DBH (6 Compensatory Trees Required)	12 (7 Trees in Decline/Risk/Defect)	42
Total Compensatory Trees Required = 181 (2-2.5" Caliper)		



Project Summary & Benefits



- ✓ **Restore Safety & Functionality of Park Features**
- ✓ **Re-Establish the Park as an Accessible, Welcoming Space for ALL Residents to Enjoy**
- ✓ **Capture and Enhance the Park's Natural Beauty for Future Generations**
- ✓ **Enable Park Circumnavigation & Ability to Provide a Comprehensive Park Experience**
- ✓ **Provide Improved Site Ingress/Egress and Definition to Traffic Flow**
- ✓ **Construct Updated, State of the Art Facilities for Vast Park User Base**
- ✓ **Provide Native Tree & Landscaping Plan to bring about Park Vibrance**
- ✓ **Institute Stormwater Management throughout the Park Site**
- ✓ **Increase Park Stewardship and Environmental Education**
- ✓ **Incentivize Active & Passive Recreation / Health & Wellness**
- ✓ **Catalyst for Neighborhood Prosperity**

In-Kind Replacement Considerations & Challenges

- ***Pavilion Replacement***
- ***Stable Building***
- ***Playground***
- ***Parking lots***
- ***Walkways***
- ***Stormwater Management***
- ***Other Considerations***

Thank You to the Radnor Township Board of Commissioners, Parks & Recreation Board & residents who have participated in this process.