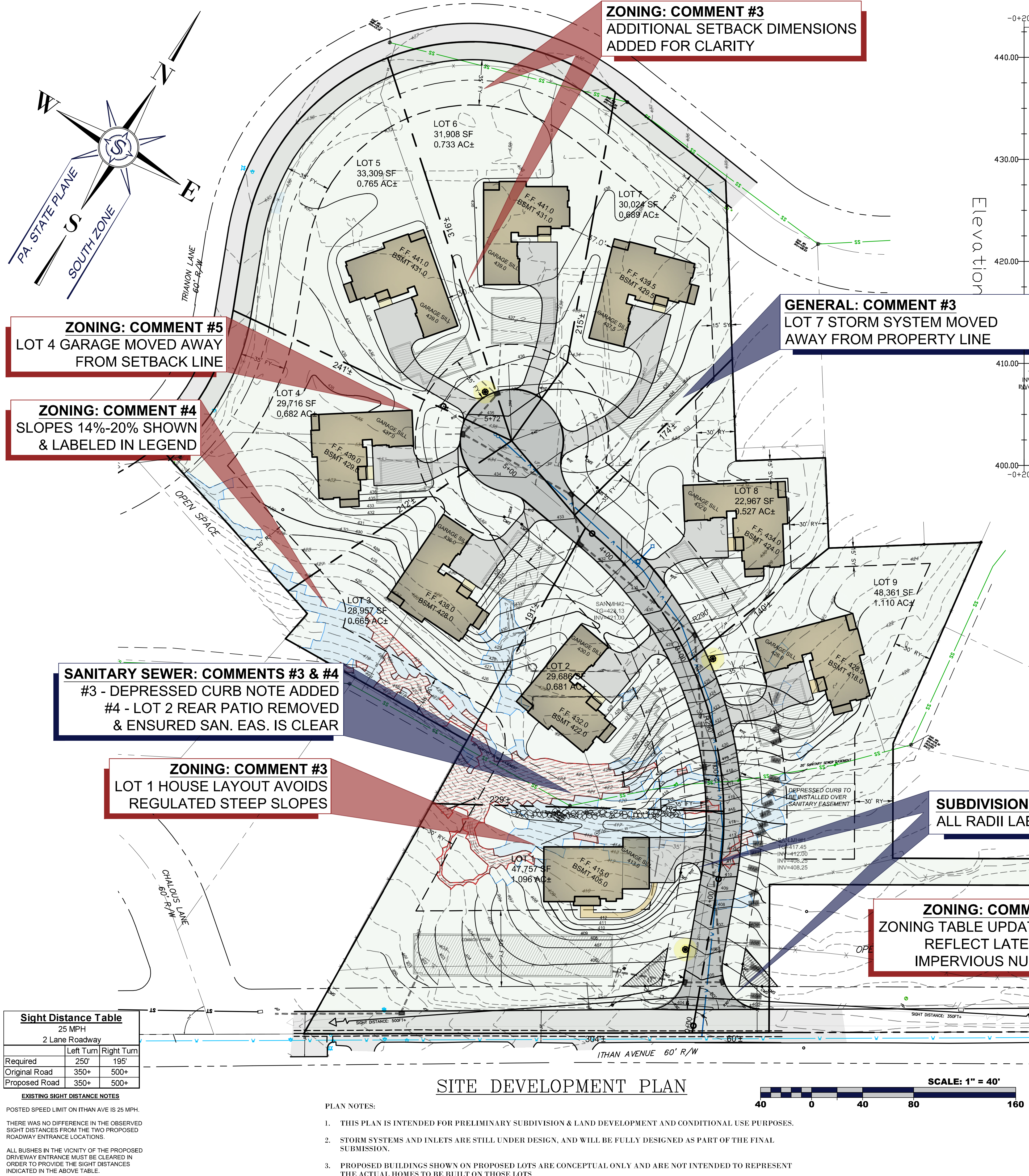


DESIGNER OF RECORD: UTILITIES ON THIS PLAN HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE APPROXIMATE, COMPLETENESS OR ACCURACY OF THE GUARANTEE. THE DEPTH OF ALL STRUCTURES CANNOT BE CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL BEFORE STARTING ANY WORK. THE CONTRACTOR SHALL NOTIFY UNDERGROUND UTILITIES BEFORE STARTING ANY WORK. THIS SYSTEM THREE DAYS PRIOR TO THE START OF ANY WORK.



ZONING: COMMENT #3
ADDITIONAL SETBACK DIMENSIONS
ADDED FOR CLARITY

ZONING: COMMENT #5
LOT 4 GARAGE MOVED AWAY
FROM SETBACK LINE

ZONING: COMMENT #4
SLOPES 14%-20% SHOWN
& LABELED IN LEGEND

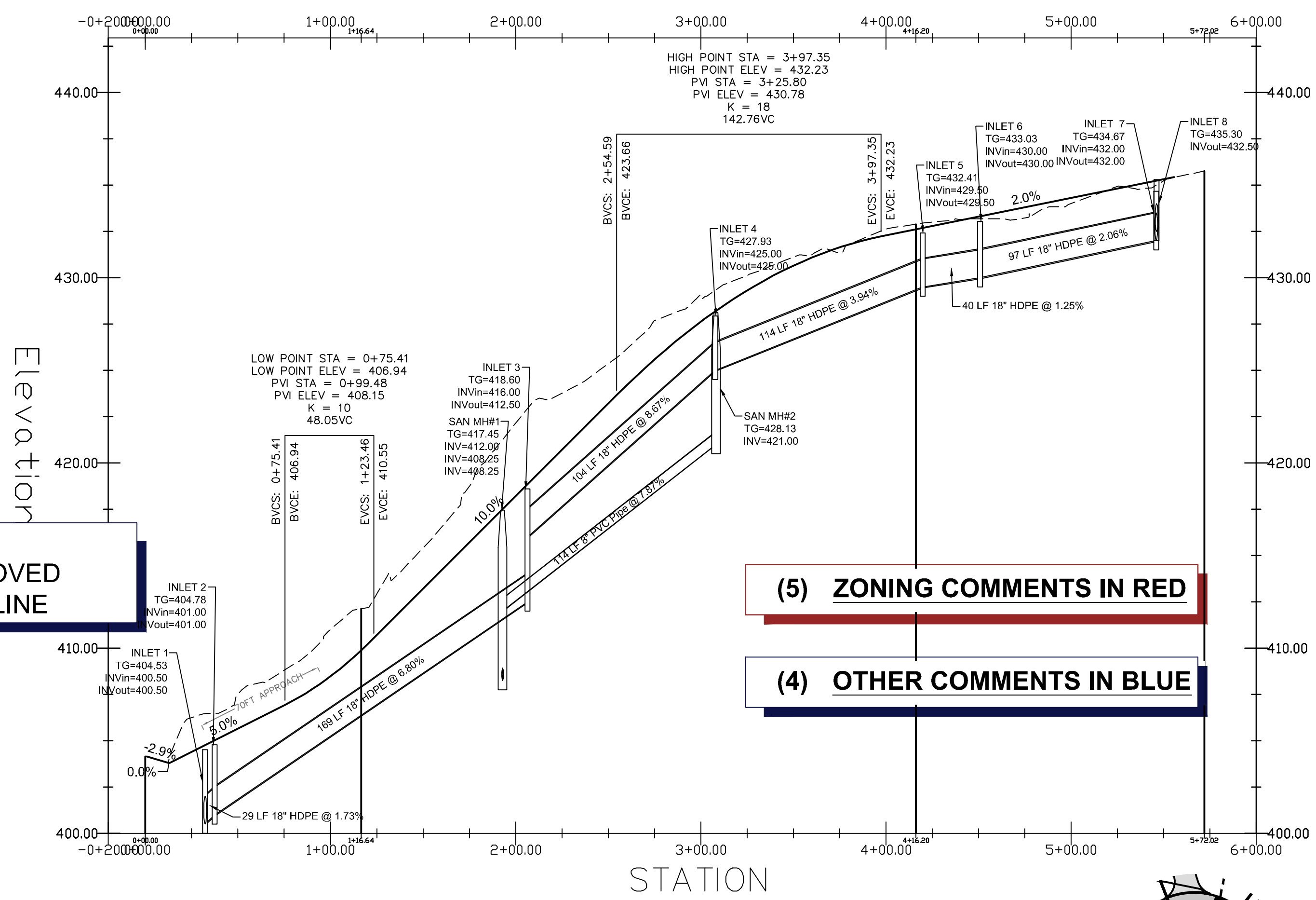
GENERAL: COMMENT #3
LOT 7 STORM SYSTEM MOVED
AWAY FROM PROPERTY LINE

SANITARY SEWER: COMMENTS #3 & #4
#3 - DEPRESSED CURB NOTE ADDED
#4 - LOT 2 REAR PATIO REMOVED
& ENSURED SAN. EAS. IS CLEAR

ZONING: COMMENT #3
LOT 1 HOUSE LAYOUT AVOIDS
REGULATED STEEP SLOPES

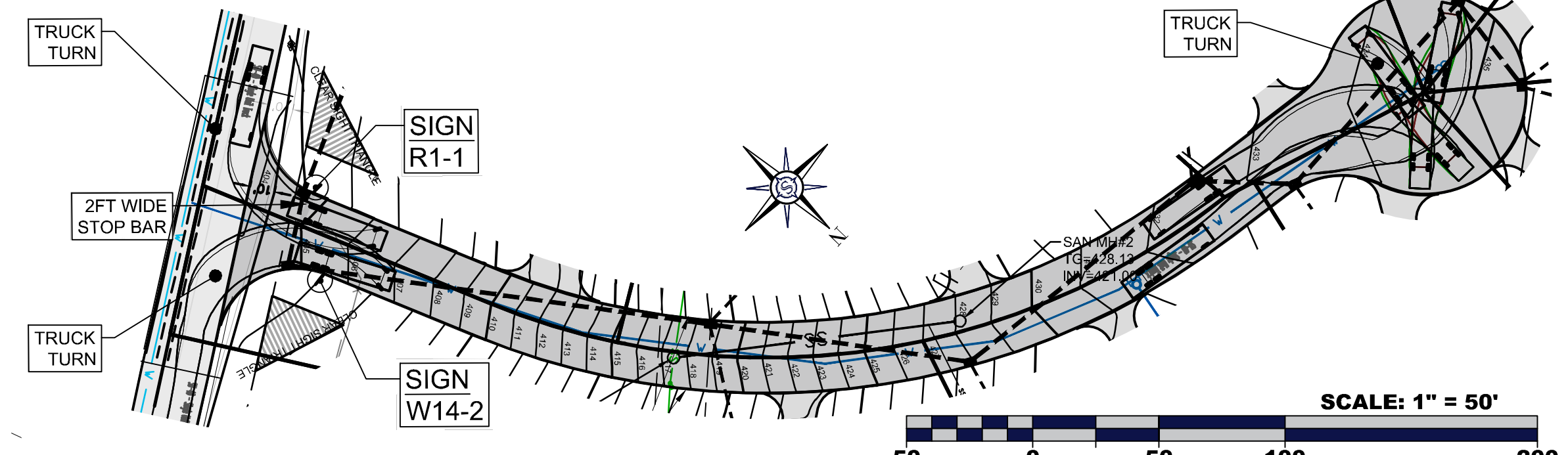
SUBDIVISION: COMMENT #4
ALL RADII LABELED FOR CLARITY

ZONING: COMMENT #1
ZONING TABLE UPDATED TO
REFLECT LATEST LOT
IMPERVIOUS NUMBERS



(5) ZONING COMMENTS IN RED

(4) OTHER COMMENTS IN BLUE



LINETYPE LEGEND

- PROPERTY LINE
- ADJOINER PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK
- CONCRETE EDGE
- ASPHALT EDGE
- PROPOSED BUILDING
- PROPOSED CURB
- PROPOSED CONCRETE
- EXISTING CURB TO REMAIN
- EXISTING ADJACENT BUILDING
- SOILS LINE
- BUILDING
- CONCRETE SIDEWALK
- ASPHALT
- LANDSCAPE
- EASEMENT LINE
- BUILDING SETBACK
- FENCE LINE
- OVERHEAD ELECTRIC
- ELECTRIC LINE
- GAS LINE
- T/C TELECOM LINE
- W WATER LINE
- SS SANITARY LINE
- EXISTING STORM PIPES
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR

SYMBOL LEGEND

- TG TOP OF GRATE ELEV.
- INV. INVERT ELEVATION
- TW TOP OF WALL ELEV.
- BW BOTTOM OF WALL ELEV.
- TBC TOP BACK OF CURB ELEV.
- BC BOTTOM BACK OF CURB ELEV.
- IRON PIN
- CONCRETE MONUMENT
- SANITARY MANHOLE
- WATER VALVE
- BOLLARD
- CLEANOUT
- ELECTRIC BOX
- FIRE HYDRANT
- FIRE VALVE
- GAS VALVE
- EVERGREEN TREE
- STORM INLET
- TELEPHONE BOX
- GAS METER
- ELECTRIC MANHOLE
- POSTED SIGN
- PARKING SPACE COUNT
- LIGHT POLE
- EXISTING SLOPES 14% AND 20%
- EXISTING SLOPES 20% & GREATER
- PROPOSED BUILDING
- PROPOSED DRIVEWAY
- PROPOSED STORMWATER MANAGEMENT SYSTEM
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- PROPOSED STORM PIPE

Sight Distance Table
25 MPH
2 Lane Roadway

	Left Turn	Right Turn
Required	250'	195'
Original Road	350+	500+
Proposed Road	350+	500+

- EXISTING SIGHT DISTANCE NOTES**
- POSTED SPEED LIMIT ON ITHAN AVE IS 25 MPH.
 - THERE WAS NO DIFFERENCE IN THE OBSERVED SIGHT DISTANCES FROM THE TWO PROPOSED ROADWAY ENTRANCE LOCATIONS.
 - ALL BUSHES IN THE VICINITY OF THE PROPOSED DRIVEWAY ENTRANCE MUST BE CLEARED IN ORDER TO PROVIDE THE SIGHT DISTANCES INDICATED IN THE ABOVE TABLE.

PLAN NOTES:

- THIS PLAN IS INTENDED FOR PRELIMINARY SUBDIVISION & LAND DEVELOPMENT AND CONDITIONAL USE PURPOSES.
- STORM SYSTEMS AND INLETS ARE STILL UNDER DESIGN, AND WILL BE FULLY DESIGNED AS PART OF THE FINAL SUBMISSION.
- PROPOSED BUILDINGS SHOWN ON PROPOSED LOTS ARE CONCEPTUAL ONLY AND ARE NOT INTENDED TO REPRESENT THE ACTUAL HOMES TO BE BUILT ON THOSE LOTS

ZONING DISTRICT R-2/D-M:	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9
MIN. LOT AREA (SF)	47,757	29,686	28,957	29,716	33,309	31,908	30,024	22,967	48,361	
MIN. LOT WIDTH	185 FT	201 FT	121 FT	77 FT	61 FT	70 FT	124 FT	129 FT	336 FT	
MIN. FRONT YARD	35 FT	36 FT	35 FT	36 FT	36 FT	59 FT	82 FT	60 FT	43 FT	35 FT
MIN. SIDE YARD	30 FT	62 FT	62 FT	57 FT	57 FT	30 FT	30 FT	37 FT	50 FT	50 FT
MIN. REAR YARD	30 FT	86 FT	52 FT	63 FT	67 FT			31 FT	31 FT	
MAX. BUILDING HEIGHT	35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT
MAX. BUILDING COVERAGE	23%	7.74%	12.46%	12.77%	12.44%	11.10%	11.59%	12.31%	16.10%	7.64%
MAX. IMPERVIOUS COVERAGE	35%	11.02%	16.74%	17.74%	17.38%	17.13%	18.01%	19.87%	21.60%	10.57%
Impervious Totals										
RESIDENCE	-	3,696	3,698	3,697	3,697	3,697	3,697	3,697	3,697	3,697
DRIVEWAY	-	1,151	1,212	1,380	1,409	1,948	1,991	2,209	1,205	1,354
WALKWAYS	-	417	60	60	60	60	60	60	60	60
TOTAL	-	5,264	4,970	5,137	5,166	5,705	5,748	5,966	4,962	5,111

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.