

# PRELIMINARY LAND DEVELOPMENT PLAN 208 NORTH ABERDEEN AVENUE TOWNHOUSES WAYNE, PA

ADJOINING PROPERTIES:

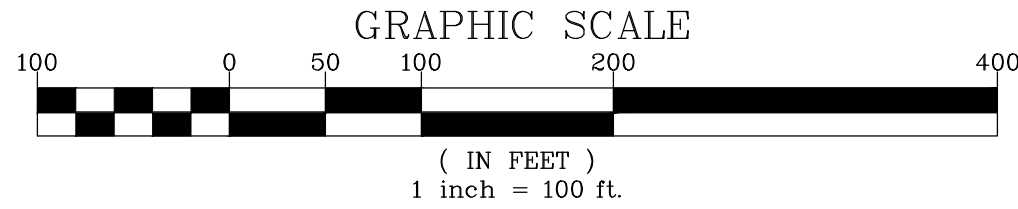
- LANDS N/F:\*
1. JASON JAKIELASZEK  
202 N. ABERDEEN AVE  
36-13-277  
DB 5922 PG 1494
  2. CNP SELECT REALTY LLC  
205 PENNSYLVANIA AVENUE  
36-13-278  
DB 6169 PG 1435
  3. NICHOLAS MASCANTONIO  
205 PENNSYLVANIA AVENUE  
36-13-279  
DB 5578 PG 341
  4. SUE SHERYL LLC  
201 PENNSYLVANIA AVENUE  
36-13-280  
DB 5467 PG 1208
  5. SUE SHERYL LLC  
0 N ABERDEEN AVENUE  
36-13-281  
DB 5467 PG 1208
  6. 210 N ABERDEEN ASSOCIATES  
208 N. ABERDEEN AVE  
36-13-278  
DB 6130 PG 669
- \*FROM PUBLIC PROPERTY RECORDS FOR DELAWARE COUNTY



VICINITY MAP INCLUDING STRUCTURES WITHIN 500' OF SITE  
AUTODESK GEOLOCATIONS SERVICES, 2020 DIGITAL GLOBE MAPS

DRAWING SCHEDULE

1. COVER SHEET
2. EXISTING FEATURES PLAN, E&SC PLAN & DEMO PLAN
3. PRELIMINARY LAND DEVELOPMENT PLAN & PCSM PLAN (SHEET 1 OF 1 TO BE RECORDED)
4. DETAILS & PROFILES
5. L-1, PRELIMINARY LANDSCAPE PLAN, PREPARED BY ANNE F WALTERS COMPANY, WEST CHESTER, PA
6. L-2, DETAILS & SPECIFICATIONS, PREPARED BY ANNE F WALTERS COMPANY, WEST CHESTER, PA



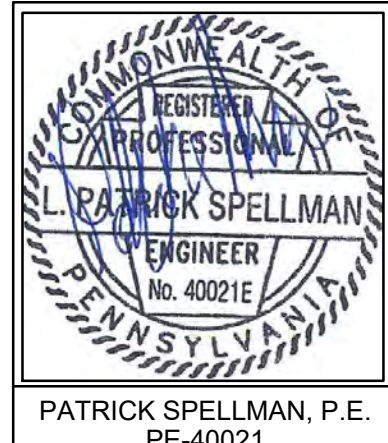
NUM.	DATE	REVISION
1.	9/11/2020	REVISED PER TOWNSHIP REVIEW MEMOS DATED 6.8.20 & 6.26.20

PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399

P: 610-240-0450      F: 610-240-0451      E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**210 N ABERDEEN ASSOCIATES, LLC**  
208 NORTH ABERDEEN AVENUE  
WAYNE, PA 19087

RADNOR TOWNSHIP      DELAWARE COUNTY      PENNSYLVANIA



**COVER SHEET**

**SHEET  
1 of 6**

CIVIL ENGINEER:  
SITE ENGINEERING CONCEPTS, LLC

ATTN: PATRICK SPELLMAN, P.E.  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399  
P: (610) 523-9002  
E: PSPELLMAN@SITE-ENGINEERS.COM

APPLICANT/OWNER:  
210 N ABERDEEN ASSOCIATES, LLC

C/O ROCKWELL CUSTOM HOMES  
ATTN: GREG LINGO  
126 E. STATE STREET  
MEDIA, PA, 19063

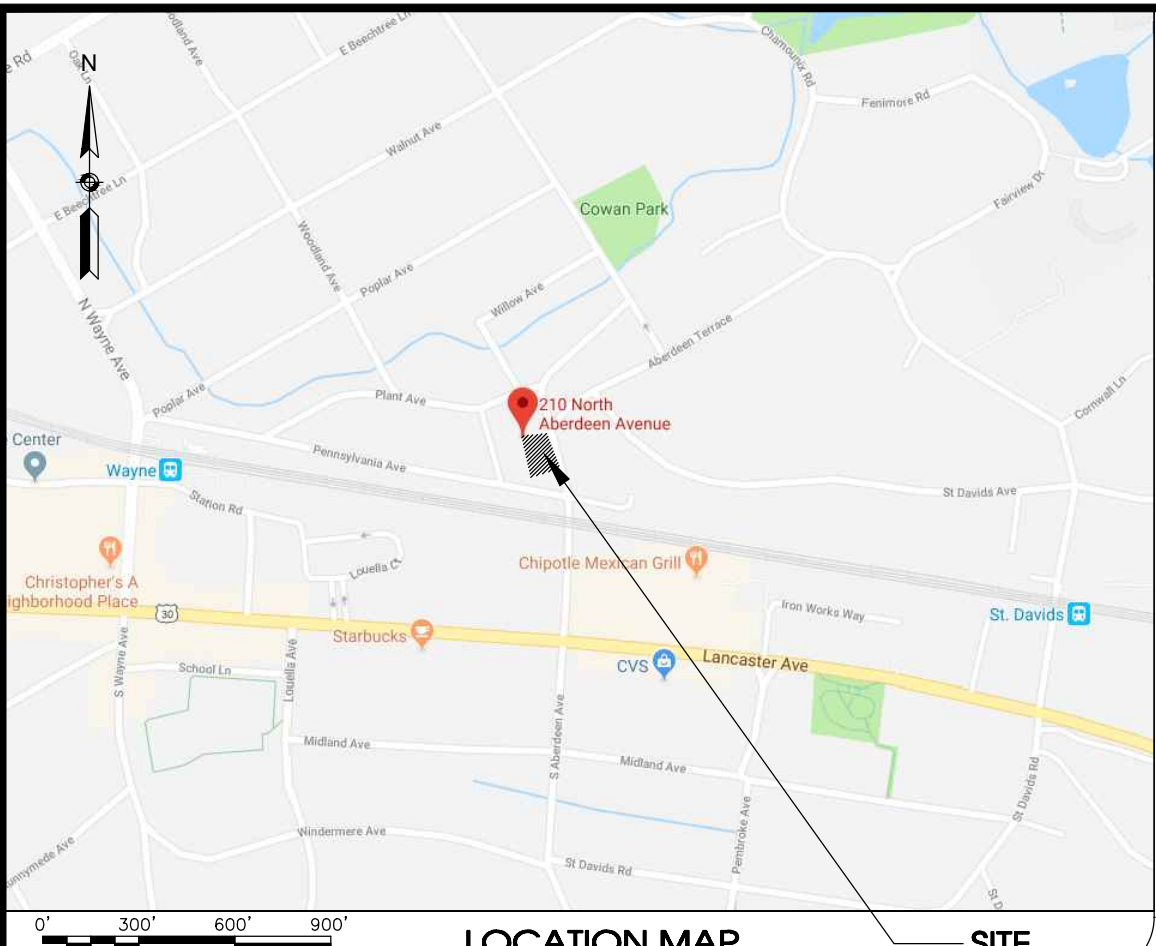
PATRICK SPELLMAN, P.E.  
PE-40021

SCALE: 1" = 100'









**NOTE:** THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

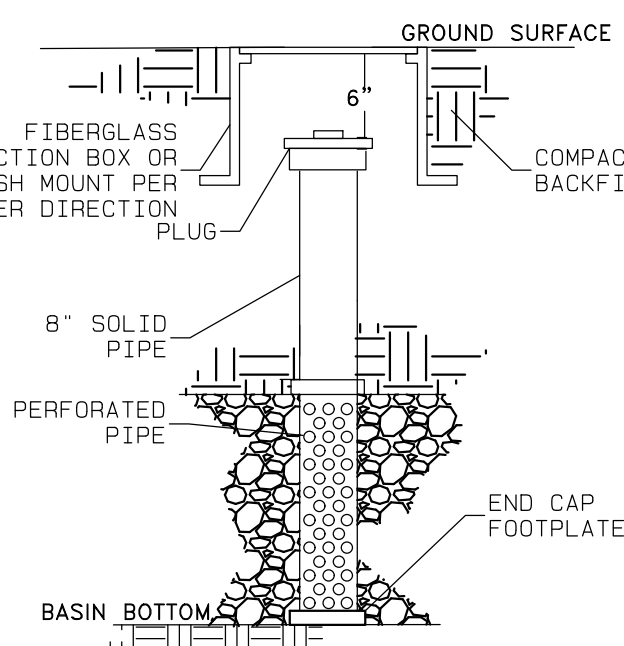
DESIGN S/N: 20182293339

**SURVEYOR NOTES**  
 1. SEE SHEET 2 FOR SURVEYOR NOTES.

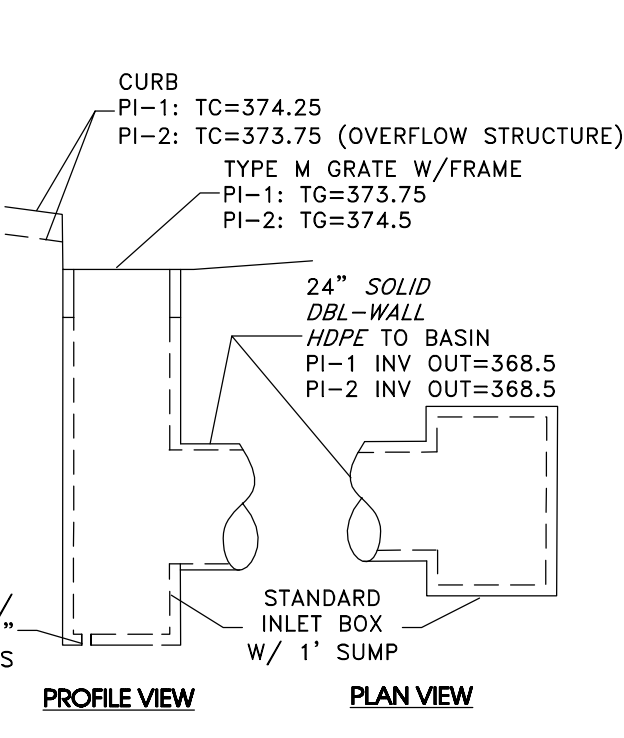
**SEWAGE PLANNING MODULE APPROVAL REQUIRED**  
 PLANNING MODULES HAVE BEEN SUBMITTED TO AUTHORITIES FOR SIGNATURE AND WILL BE FORWARDED TO THE PADEP WHEN COMPLETE. THE PADEP MUST APPROVE THE REQUIRED SEWAGE PLANNING MODULES BEFORE ANY GRADING OR BUILDING PERMITS WILL BE ISSUED.



THE OBSERVATION PORT SHOULD BE LOCATED WITHIN THE STONE PORTION OF THE INFILTRATION BASIN. SHOULD BE PERFORATED WITHIN THE STONE TO THE BOTTOM OF THE INFILTRATION BASIN, AND SHOULD HAVE A REMOVABLE CAP.



**OBSERVATION PORT**



**INLET & OUTLET STRUCTURE DETAIL**

**PLAN LEGEND**

BOLD LINES: PROPOSED  
 FADED LINES: EXISTING

- 1" INTERVAL CONTOUR
- 5" INTERVAL CONTOUR
- ST- STORM SEWER PIPING
- S- SANITARY SEWER PIPING
- G- GAS MAIN
- W- WATER MAIN / SERVICE
- E- UNDERGROUND ELECTRIC
- OHW- OVERHEAD WIRES
- EDGE OF LANDSCAPING
- EDGE OF PAVEMENT
- FENCE LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- PIN MONU (F&H) (T&S)
- BUILDING SETBACK LINE
- LIMIT OF DISTURBANCE LINE

EXISTING PROPOSED

- BUILDINGS
- ASPHALT
- WALKS & PADS
- WALLS

**FUTURE IMPERVIOUS**

THE STORMWATER MANAGEMENT SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE AN ADDITIONAL 77 SF OF PROPOSED IMPERVIOUS NOT SHOWN ON THIS PLAN. THE PROPOSED DESIGN ANTICIPATES FUTURE IMPERVIOUS BYPASS THE CONTROL STRUCTURES. A SEPARATE GRADING PERMIT SUBMISSION WILL BE REQUIRED TO CONSTRUCT THE ADDITIONAL IMPERVIOUS AND FOR ANY OTHER FUTURE IMPROVEMENTS AT THE SITE IN ACCORDANCE WITH THE APPLICABLE ORDINANCES IN FORCE AT THAT TIME.

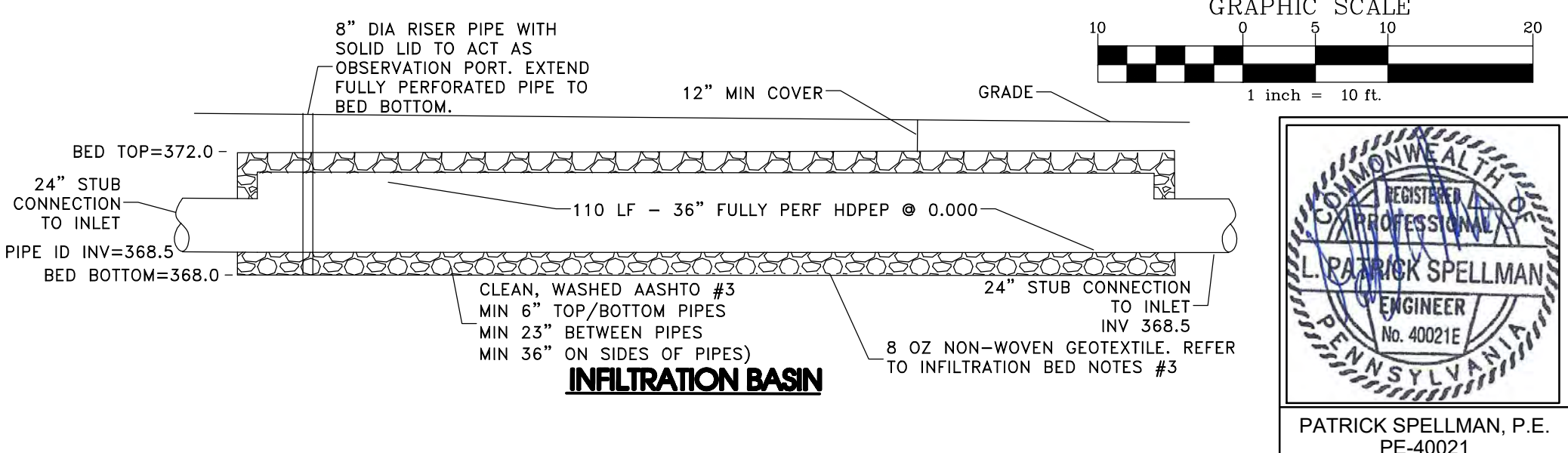
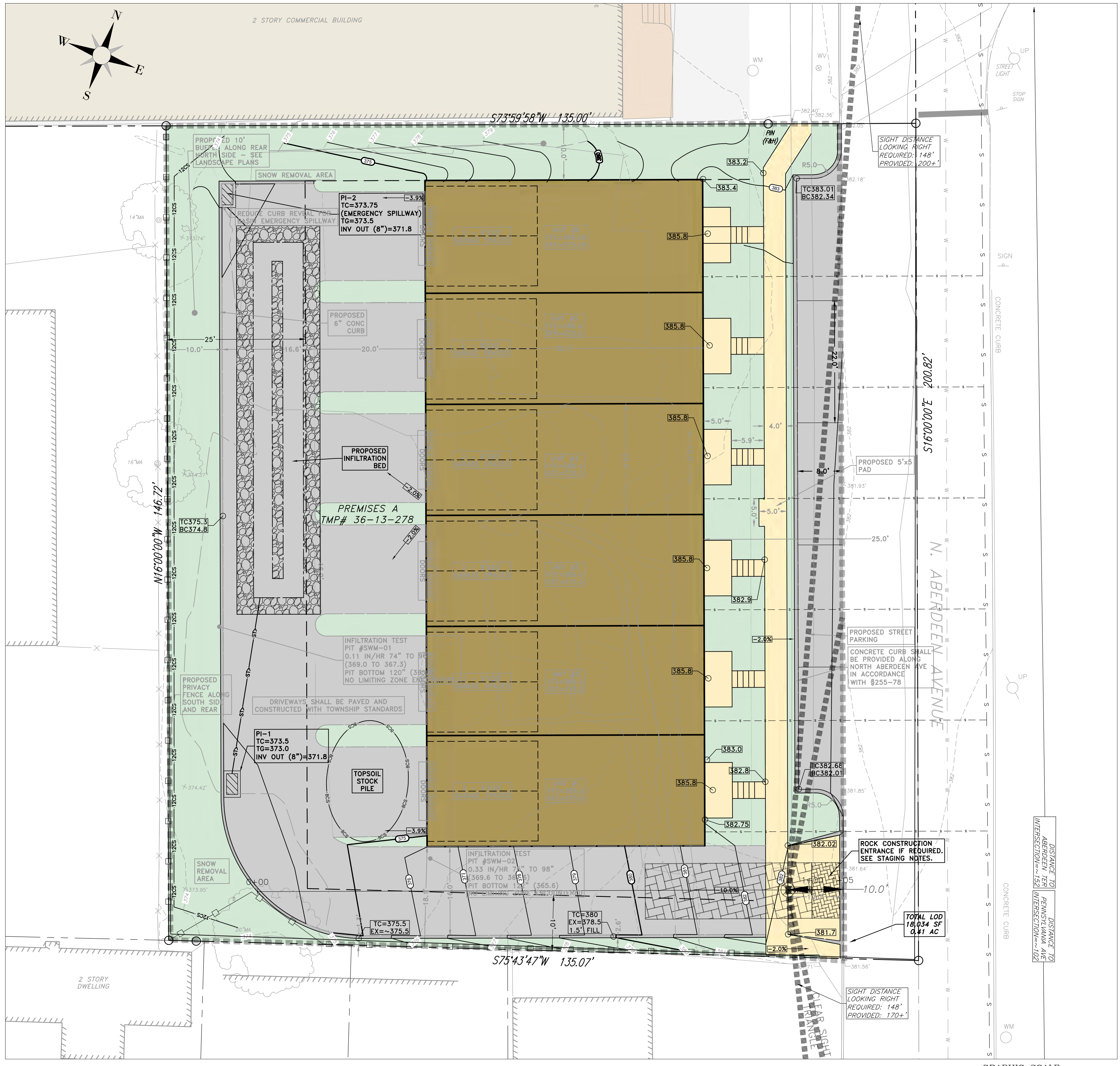
**STORMWATER INFILTRATION BED NOTES**

- PERFORATIONS SHALL MEET AASHTO CLASS II PATTERN FOR PIPE DIAMETER.
- ENTIRE BED, SIDES TOP AND BOTTOM, SHALL BE WRAPPED IN TENGATE MIRAFI 180N NON-WOVEN GEOTEXTILE OR ENGINEER APPROVED EQUAL. PROVIDE A MINIMUM 1" OVERLAP AT ALL SEAMS AND JOINTS OF THE GEOTEXTILE.
- CARE SHOULD BE TAKEN IN THE PLACING OF STONE ATOP THE GEOTEXTILE SO AS TO AVOID TEARING OR RIPPING OF THE LINER AND FABRIC. STONE SHOULD NOT BE DUMPED UNTIL A 6" LAYER OF STONE IS IN PLACE.
- THE STORMWATER SYSTEM IS NOT DESIGNED TO ACCEPT FLOW FROM SUMP PUMPS AND/OR FOUNDATION DRAINS. SUMP PUMPS AND/OR FOUNDATION DRAINS CAN NOT BE CONNECTED TO THE DETENTION BED UNLESS ALLOWED BY LOCAL ORDINANCE. THE BED IS RE-DESIGNED TO ACCOMMODATE THE ADDITIONAL FLOWS AND IS APPROVED BY THE TOWNSHIP ENGINEER.
- GUTTER LEAF GUARDS OR OTHER DEBRIS COLLECTORS SHOULD BE PROVIDED FOR THE RUNOFF ENTERING THE DETENTION BED. INVISIFLOW SELF-CLEANING DOWNSPOUT FILTERS OR EQUIVALENT WOULD BE AN ACCEPTABLE ALTERNATIVE.
- ALL INLETS AND DRAIN BASINS THAT DRAIN DIRECTLY TO INFILTRATION BEDS SHALL SUMPED AND CLEANED PER O&M REQUIREMENTS.

OUTER DIMENSIONS OF BED = 72" x 15" W x 4.4' D  
 BED DIMENSIONS BASED ON 36" OF STONE AROUND PIPE PERIMETER AND LANE DESIGN GUIDANCE MANUAL FOR INTERNAL PIPE SPACING TO PROVIDE SUFFICIENT FOOTPRINT SF TO MEET DEWATERING REQUIREMENTS.

PROPOSED ELEVATION  
 XXX.XX SPOT ELEVATION  
 DXXX.XX DOOR SILL  
 GSXXX.XX GARAGE SILL  
 WY WATER VALVE  
 WM WATER METER  
 SAN VENT SANITARY VENT  
 SAN CO SANITARY CLEAN OUT  
 SAN MH SANITARY MANHOLE  
 GM GAS METER  
 GGV GAS VALVE  
 STRM MH STORMWATER MANHOLE  
 INLET STORMWATER INLET  
 CO STORMWATER CLEAN OUT  
 DOWNSPOUT

AL ALLANTHUS  
 AS ASH  
 AV ARBORVITAE  
 BE BEECH  
 BR BIRCH  
 CD CEDAR  
 CH CHESTNUT  
 CY CHERRY  
 DW DOWWOOD  
 EM ELM  
 FR FRUIT  
 HB HACKBERRY  
 HK HICKORY  
 HM HEMLOCK  
 HY HOLLY  
 MA MAPLE  
 KD KOUSA DOGWOOD  
 MB MULBERRY  
 MAK MACKENZIE  
 J MAPLE  
 P PINE  
 S SASSAPARILLA  
 SA SWEETGUM  
 SP SPRUCE  
 SW SOUTHWOOD  
 SY SYCAMORE  
 TU TULIP  
 W WALNUT  
 WI WILLOW  
 WP WHITE PINE



**ZONING SUMMARY**

ORDINANCE ITEM	C-3 TOWNHOUSE REQUIREMENT	EXISTING	PROPOSED
MIN. LOT AREA	19,500 SF (3,250 SF/UNIT)	20,083 SF	20,083 SF (3,347 SF/DWELLING AVG)
MIN. LOT WIDTH FOR GROUP	100 FT	200 FT	200 FT
MIN. LOT WIDTH INDIVIDUAL UNIT	20 FT	N/A	20 FT
MIN. SETBACKS			
FRONT FROM CURB LINE	25 FT	34 FT	25 FT
SIDE FOR END UNITS (MIN/WARD)	10 FT/ 25 FT	4 FT/103 FT	10 FT/ 28 FT
SIDE BETWEEN BUILDINGS	10 FT	N/A	N/A
REAR	25 FT	15 FT	46 FT
MAX. BUILDING HEIGHT	35 FT	NR	<35 FT
MAX. BUILDING COVERAGE	35%	13.0%	29.9%
MAX. IMPERVIOUS COVERAGE	60%	53.4%	59.4%

\* PER DRAFT ORDINANCE 2019-15, DATED FEBRUARY 19, 2020

**IMPERVIOUS SUMMARY (SQ. FT.)**

LOT AREA CLEAR OF R/W	20,083		20,083	
	EXISTING	TO BE REMOVED	TO BE ADDED	PROPOSED
BUILDINGS	2,607	2,607	6,000	6,000
WALKWAYS/SIDEWALKS	65	65	362	362
PATIO, DECKS	0	0	0	0
DRIVEWAY	7,179	7,179	5,568	5,568
OTHER	878	878	0	0
TOTAL BUILDING COVERAGE	2,607	2,607	6,000	6,000
TOTAL BUILDING PERCENTAGE	13.0%			29.9%
TOTAL IMPERVIOUS COVERAGE	10,729	10,729	11,930	11,930
TOTAL IMPERVIOUS PERCENTAGE	53.4%			59.4%

**PARKING SUMMARY**

USE	SPACES	PER UNIT	AMOUNT	SPACES REQUIRED
RESIDENTIAL	2	1 DWELL	6 UNITS	12
TOTAL REQUIRED				12
REAR LOADING GARAGES				SPACES PROVIDED
				12
TOTAL SPACES PROVIDED				12

\*NOTE: 3 ON-STREET PARKING SPACES INCLUDED IN ADDITION TO ON-SITE PARKING

COMMONWEALTH OF PENNSYLVANIA,  
 COUNTY OF \_\_\_\_\_

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_, WHO ACKNOWLEDGED \_\_\_\_\_

TO BE A MEMBER OF THE OWNER OF THE PROPERTY SHOWN ON THE PLAN, BEING AUTHORIZED TO DO SO, ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF THE PROPERTY SHOWN THEREON, SITUATED IN THE TOWNSHIP OF \_\_\_\_\_ COUNTY, PENNSYLVANIA, AND DESCRIBED THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

REPRESENTATIVE \_\_\_\_\_

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID

NOTARY PUBLIC: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

DELAWARE COUNTY PLANNING COMMISSION STAMP

DELAWARE COUNTY RECORDER OF DEEDS STAMP

1.	9/11/2020	REVISED PER TOWNSHIP REVIEW MEMOS DATED 6.8.20 & 6.26.20
NUM.	DATE	REVISION

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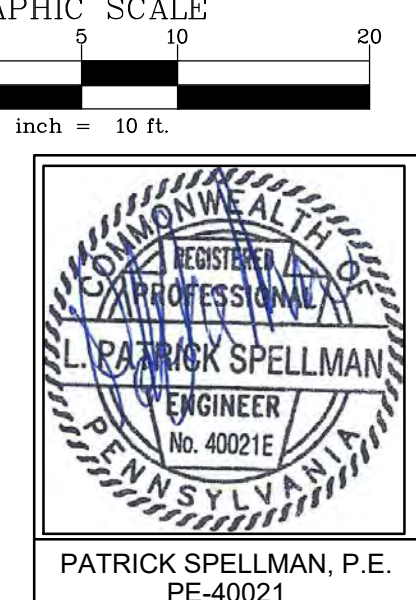
PLAN PREPARED FOR:

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 208 NORTH ABERDEEN AVENUE  
 WAYNE, PA 19087

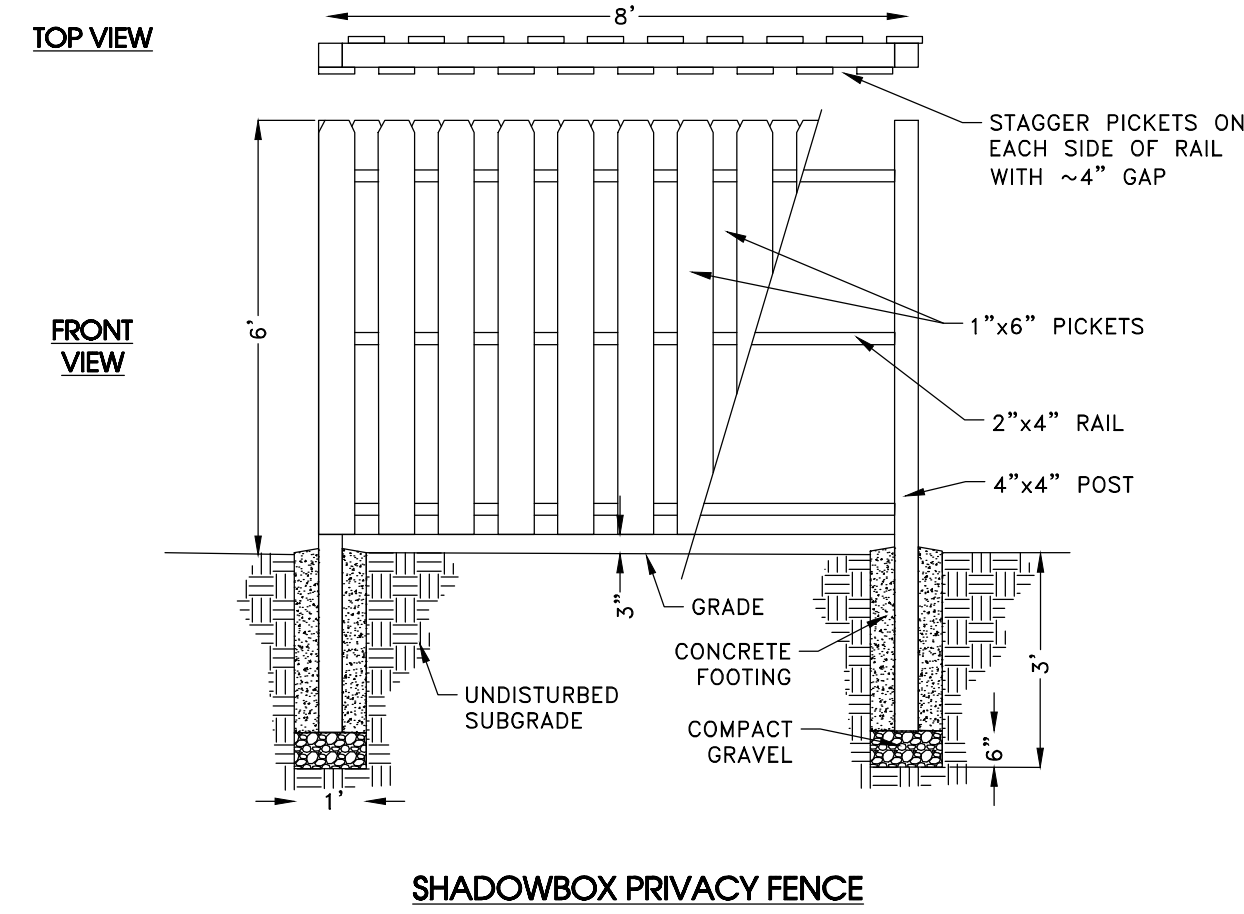
RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
 SEPT 11, 2020

**PROPOSED LAND DEVELOPMENT PLAN**  
 (SHEET 1 OF 1 TO BE RECORDED)

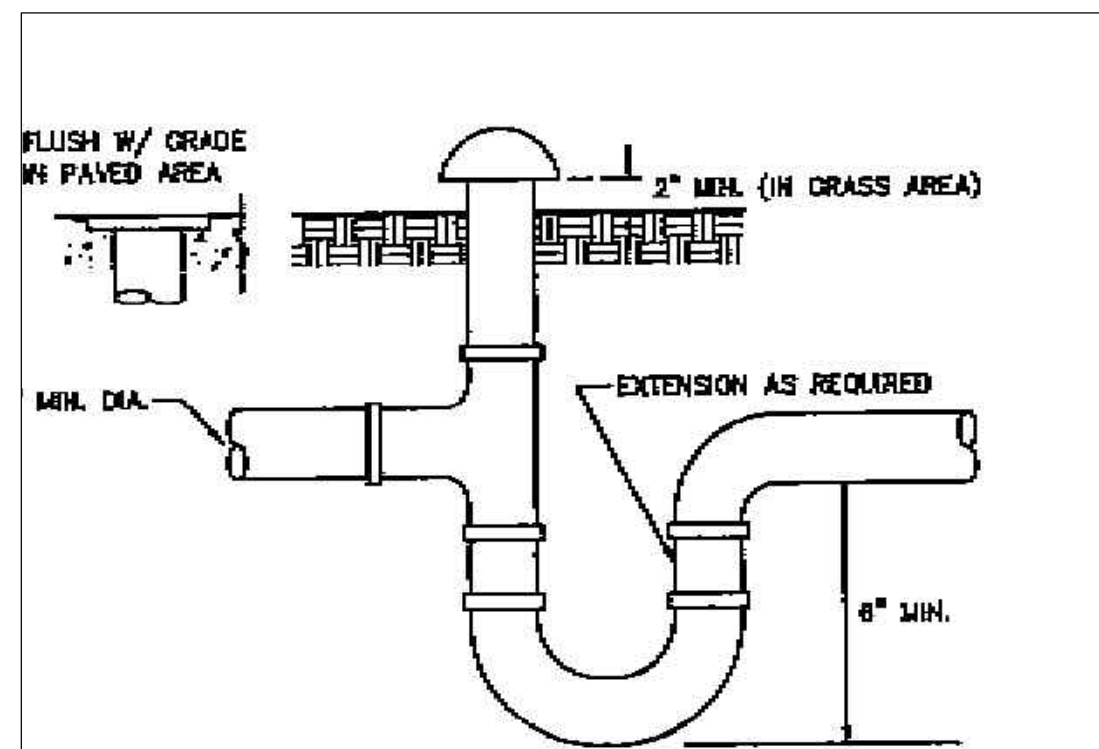
**SHEET 3 of 6**  
 SCALE: 1" = 10'







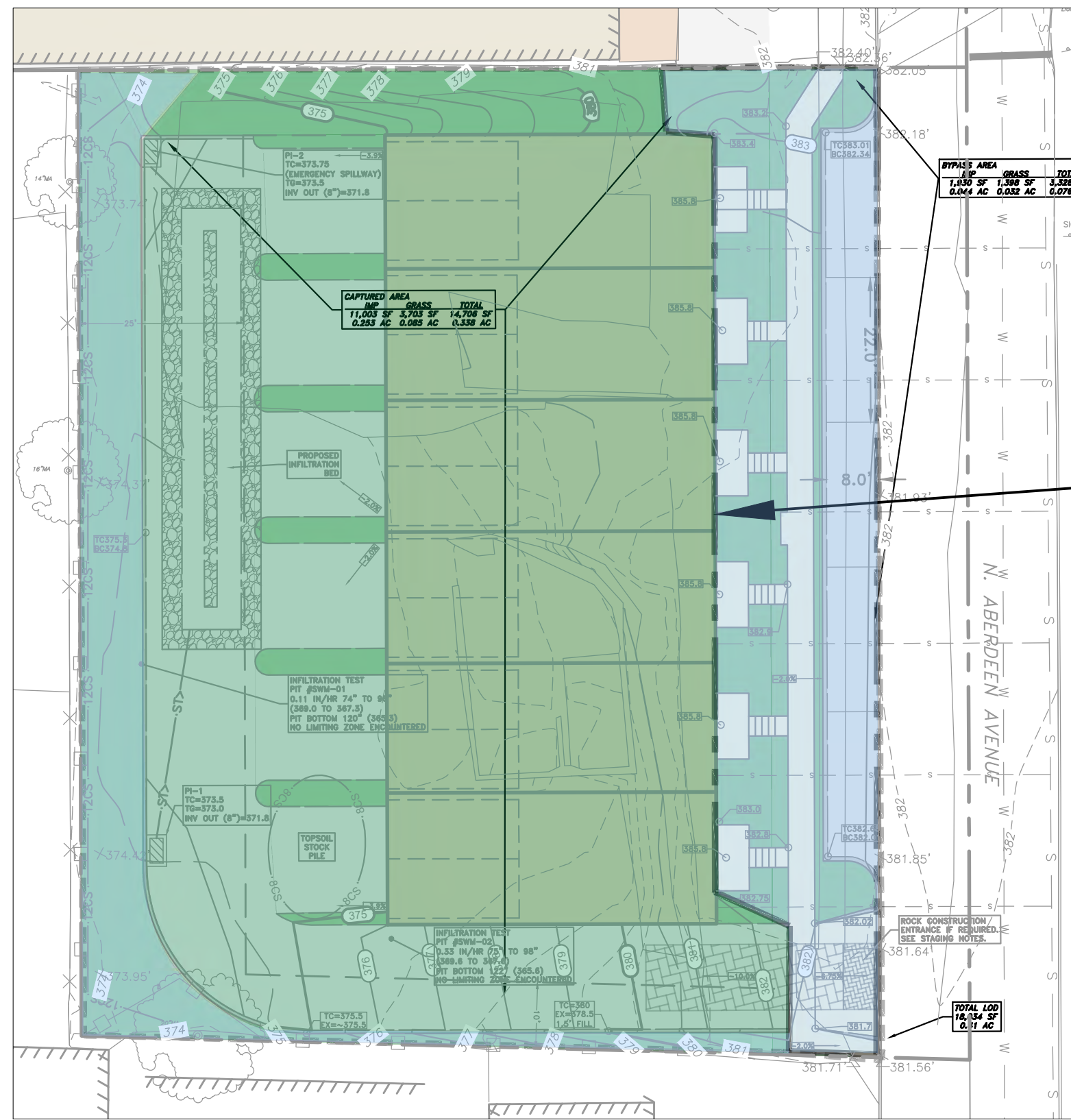
SHADOWBOX PRIVACY FENCE



LATERAL CONNECTION DETAIL  
N.T.S.

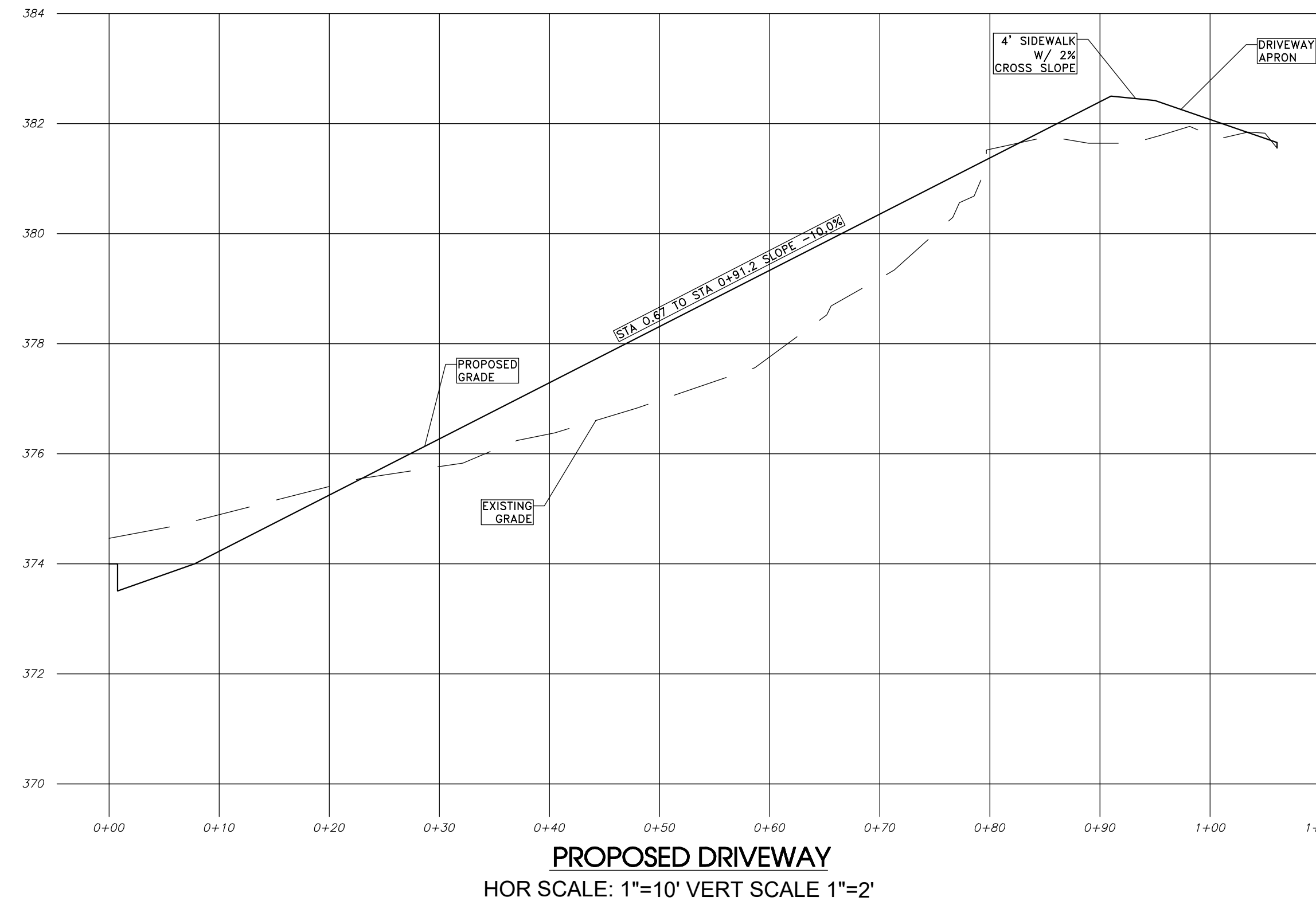
NOTES

1. TRAP AND RISER MUST BE CAST IRON.
2. NO REDUCTION IN SIZE FROM HOUSE TO SEWER.
3. NO STORM SEWER OR SURFACE WATER OF ANY NATURE SHALL BE PERMITTED TO ENTER THE SANITARY SYSTEM.
4. CONCRETE ENCASEMENT MAY BE REQUIRED AT THE DISCRETION OF THE TOWNSHIP ENGINEER.

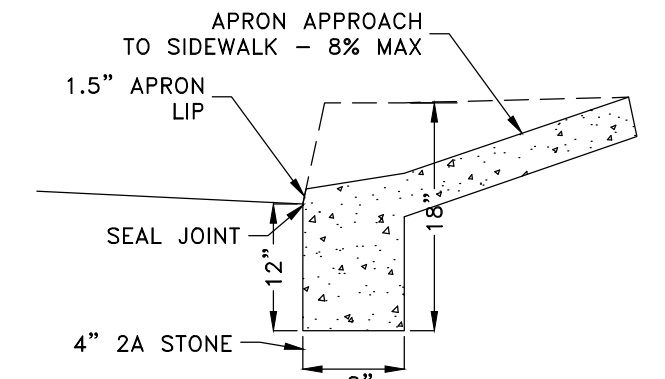


DRAINAGE AREAS

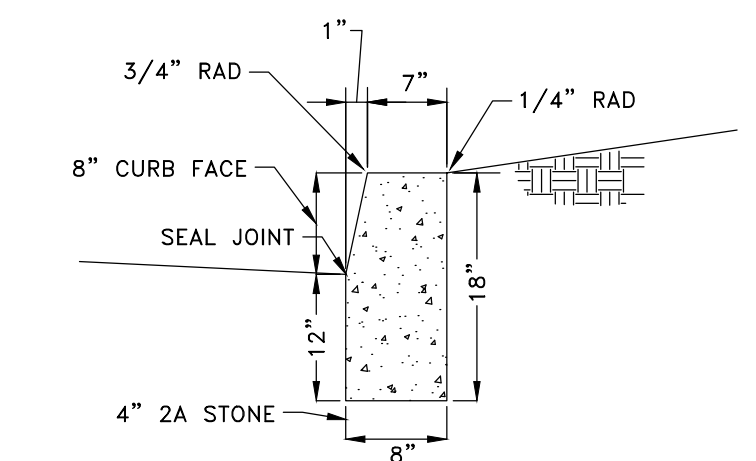
- CAPTURED POST-DEV AREA
- POST-DEV BYPASS AREA



PROPOSED DRIVEWAY  
HOR SCALE: 1"=10' VERT SCALE 1"=2'



TYPICAL DRIVEWAY DEPRESSION IN CONCRETE CURB



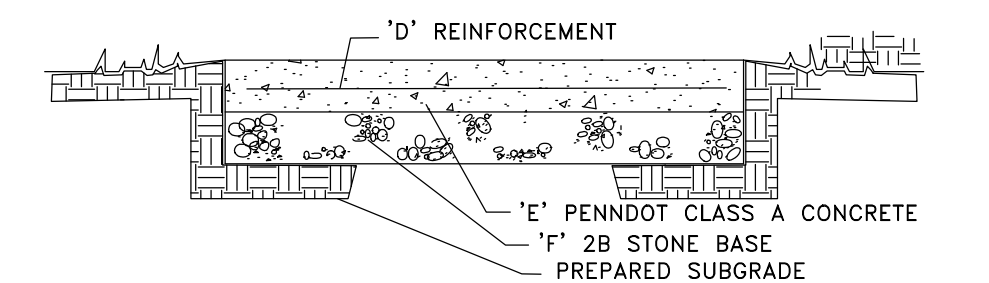
1. CURB TO BE PLACED IN 10' SECTIONS WITH 1" EXPANSION JOINT.
2. USE 10% FLARE ALONG WALKING SURFACE TO TRANSITION TO FLUSH CURB. USE 24" LONG FLARE ALONG NON-WALKING SURFACE.
3. SEE CONCRETE NOTES FOR ADDITIONAL REQUIREMENTS.

TYPICAL CONCRETE CURB

CONCRETE NOTES

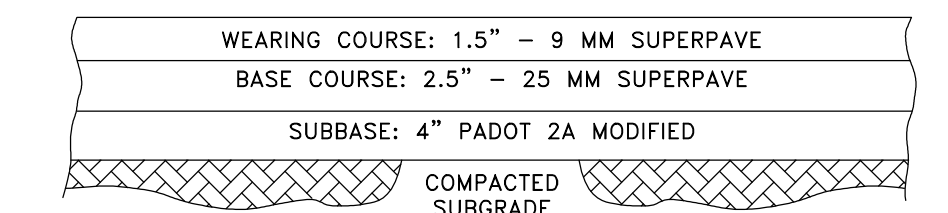
- FOR CURBS, WALKS AND PIPE ANCHORS. SEE BUILDING PLANS FOR STRUCTURAL CONCRETE SPECIFICATIONS.
1. CLASS "A" CONCRETE
  2. MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4800 PSI
  3. CONTAIN 5-8% AIR-ENTRAINMENT BY VOLUME
  4. MAXIMUM W/C RATIO OF 0.45
  5. CURING COMPOUND PLACED AFTER FINISHING

CONCRETE THICKNESS			
	'D' REINFORCEMENT	'E' CONCRETE THICKNESS (IN)	'F' STONE BASE THICKNESS (IN)
SIDEWALK ROW	6 x 6/1.4-1.4 W.W.F.	4.0	4.0
WALKWAY	6 x 6/1.4-1.4 W.W.F.	4.0	4.0
DRIVEWAY APRON	#4'S @ 10" O.C.E.W. AT CENTER OF SLAB	7.0	6.0



NOTE: CONCRETE SHALL BE CONSTRUCTED IN 20 FOOT SECTIONS WHICH SHALL BE SEPARATED BY 1/4" THICK FELT IMPREGNATED WITH BITUMINOUS MATERIAL. FELT TO BE INSTALLED BETWEEN SECTIONS AND AT ALL STRUCTURES. WALK TO BE SCORED EVERY 4 FEET. CUT REINFORCEMENT BETWEEN SECTIONS.

CONCRETE PAVEMENT (DRIVEWAY & WALKWAY)



DRIVEWAY PAVING DETAIL


1.	9/11/2020	REVISED PER TOWNSHIP REVISION MEMOS DATED 6.8.20 & 6.26.20
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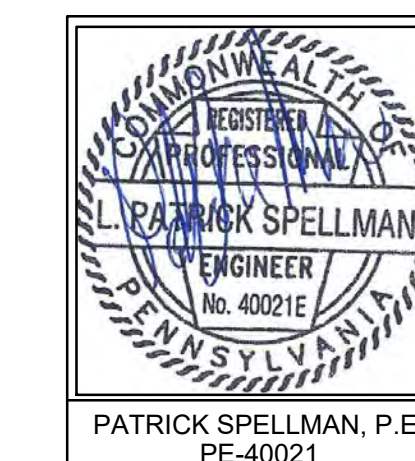
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RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
 SEPT 11, 2020

DETAILS & PROFILES SHEET 4 of 6

SCALE: 1" = 10'



PATRICK SPELLMAN, P.E.  
PE-40021

72 Hour Notice Required

RADNOR TOWNSHIP SEWER CONNECTION REGULATIONS

PLEASE CALL 610-688-5600 TO SCHEDULE AN INSPECTION

Inspectors:

- Ray Daly - Code Inspector (from house to and including trap) - Ext 144
- Bill Miller - Code Inspector (from house to and including trap) - Ext 145
- Mark Domenick - Sewer Department Supervisor (from trap to main) - Ext 195
- Paul Bazik - Highway Department Supervisor (roadway inspections) - Ext 181

Laterals:

1. All plastic pipe must be laid in six (6) inches of 2B stone.
2. A test shall be performed and inspected by the Code Official.
3. All plastic pipe must be covered with six (6) inches of 2B stone.
4. All sanitary sewer laterals must be in a straight line from trap to main.

Traps:

1. All traps must be cast iron.
2. All traps must be installed within five (5) feet of the road edge or main.
3. The four (4) inch trap riser vent must be cast iron, with mushroom cap installed six (6) inches above grade.

Backfill & Restoration of Yard:

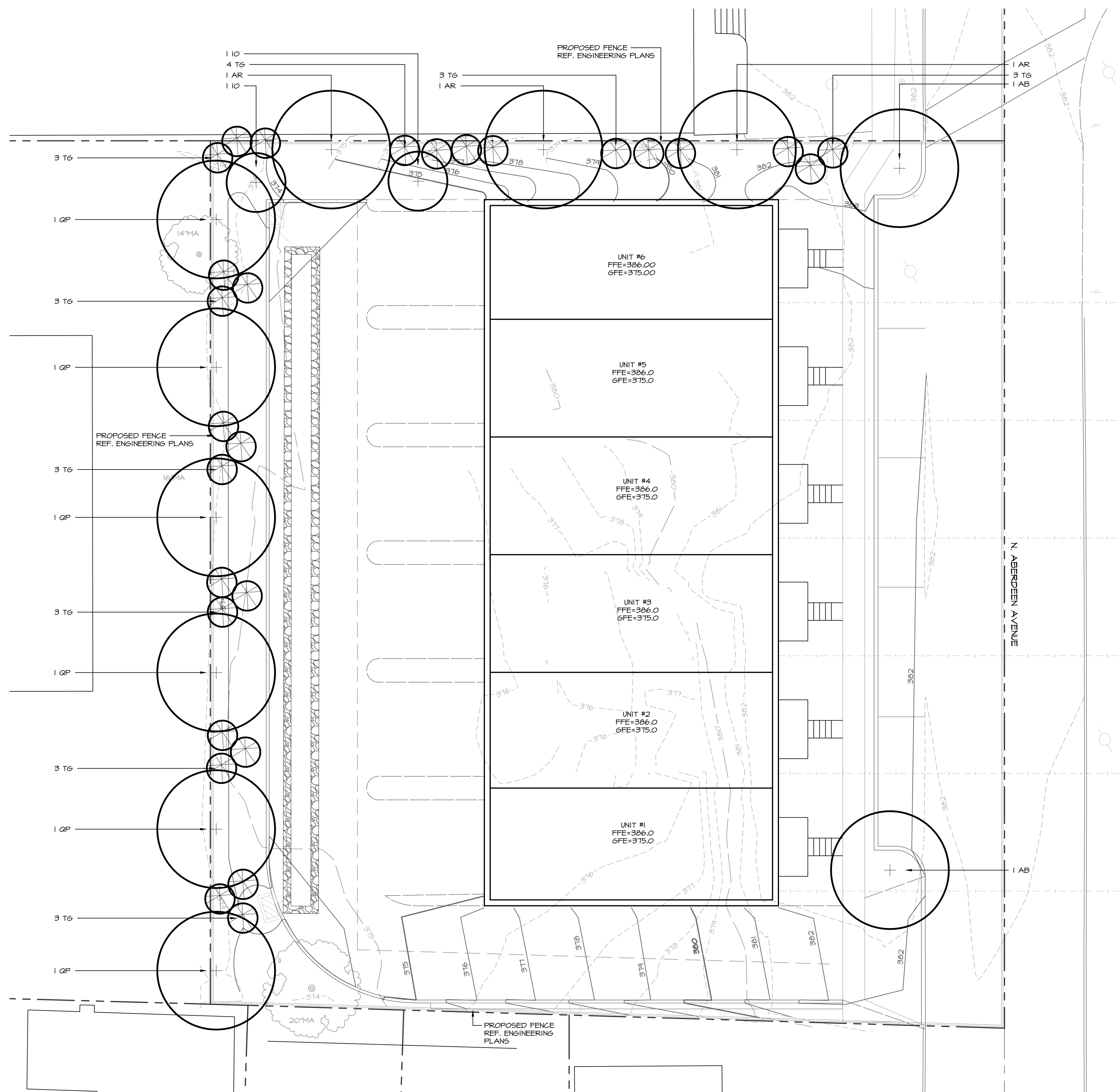
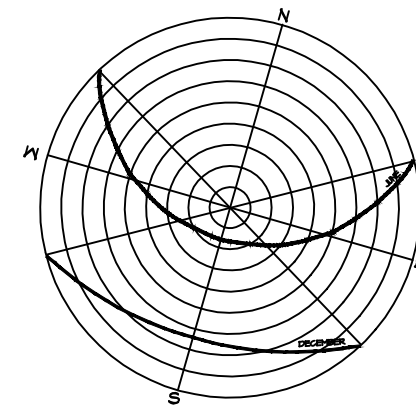
1. All plastic pipe must be covered with six (6) inches of 2B stone.
2. After a section of sewer is built, the trench shall be backfilled with acceptable material in layers not more than one (1) foot in depth. Each layer shall be thoroughly compacted to the required elevation. All backfilling shall be done under the supervision of a Township Inspector.
3. The trench must be backfilled and graded to the height which previously existed unless the Township Inspector directs otherwise.
4. No large stones, rocks, or organic materials will be permitted in the backfill.

Backfilling & Final Restoration with the Paved Roadway:

1. A road opening permit is req 11 red before any excavation is begun on Township Roadways. This can be obtained from the Engineering Department
2. All backfilling shall be done under the supervision of a Highway Department Supervisor.
3. When backfilling, 2RC shall be used and tamped in one (1) foot lifts until seven (7) inches below grade. The trench is then to be filled with five (5) inches of BCBC (black base) compacted property, followed by two (2) inches of ID 2 top rolled to the height of the existing wearing course. The seams are then to be sealed with AC 20 or equivalent to completed final restoration.

FAILURE TO NOTIFY THE ABOVE INSPECTORS WILL RESULT IN COMPLETE OPENING OF THE TRENCH





**COMPLIANCE CHART**

**TREE REPLACEMENT FORMULA**

6 TO 18-INCH DBH REMOVED = 1 REPLACEMENT TREE  
 19 TO 24-INCH DBH REMOVED = 3 REPLACEMENT TREES, TWO BEING LARGE CANOPY TREES  
 TREES TO BE REMOVED = 13 AT (6-18" CAL.)  
 3 AT (19-24" CAL.)

TREES REQUIRED TO BE REPLACED = 13 + 9 = 22 TREES AT 2 1/2" CALIPER.

**REPLACEMENT TREES PROVIDED** = 22 AT 2 1/2" CALIPER AND MIN. 6' HT.

**BUFFER SCREENS - CHAPTER 255-42**

CLASS A -

1 CANOPY TREE (2 1/2" CAL.) PER 40 FEET (INFORMALLY ARRANGED)  
 1 EVERGREEN TREE (MIN. 6' HT.) PER 30 FEET (INFORMALLY ARRANGED)

NORTH PROPERTY LINE - 135 L.F. **REQUIRED:** 135 DIVIDED BY 40 = 3 CANOPY TREES AND 135 DIVIDED BY 30 = 5 EVERGREEN TREES

**PROVIDED:** 3 CANOPY TREES AND 5 EVERGREEN TREES

WEST PROPERTY LINE - 146.72 L.F. **REQUIRED:** 147 DIVIDED BY 40 = 4 CANOPY TREES  
 147 DIVIDED BY 30 = 5 EVERGREEN TREES

**PROVIDED:** 4 CANOPY TREES AND 5 EVERGREEN TREES

**NOTE:** NEW 6 FT. HIGH PRIVACY FENCE TO BE INSTALLED ALONG NORTH, WEST AND SOUTH PROPERTY LINES.

**STREET TREES** - NO CLOSER THAN 30 FEET APART, 2 1/2" CAL., TREES SELECTED FROM APPENDIX A.

**PROVIDED:** 2 STREET TREES AT 2 1/2" CAL.

**GENERAL NOTES:**

1. THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
2. THE SEAL OF THE LANDSCAPE ARCHITECT IS FOR LANDSCAPING PURPOSES ONLY.
3. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE LANDSCAPE PLAN, SPECIFICATIONS AND DETAILS AS SHOWN ON SHEETS L-1 AND L-2.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
5. IN AREAS WHERE TREE PROTECTION FENCING IS REQUIRED, THE FENCING MAY BE TEMPORARILY RE-LOCATED TO ALLOW FOR PLANTINGS TO BE INSTALLED (AS NECESSARY) AND THEN THE FENCING RE-INSTALLED TO THE LIMITS OF THE DRIP LINES OF THE EXISTING TREES AS SHOWN ON THE PLANS.
6. ALL PROPOSED TREES TO BE OFF-SET A MINIMUM OF 15 FEET FROM OVERHEAD UTILITY LINES, POLES, SIGNS AND FIRE HYDRANTS, 10 FEET FROM UNDERGROUND UTILITY LINES AND 5 FEET FROM SIDEWALKS AND DRIVEWAYS. REF. ENGINEER'S PLANS FOR LOCATIONS OF ALL UTILITIES.
7. TREES SHALL BE PLANTED SO AS NOT TO INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF PROPOSED DRAINAGE SWALES, SIDEWALKS, LIGHTS AND UTILITIES. SEE ENGINEER'S PLANS FOR LOCATION OF ALL UTILITIES. PROPOSED GRADING AND INLETS ARE SHOWN ON THE LANDSCAPE PLAN.
8. PROPOSED PLANTINGS MAY REQUIRE FIELD ADJUSTMENT DUE TO EXISTING SITE CONDITIONS, UTILITY LOCATIONS AND CLEAR SITE TRIANGLES.
9. ALL PLANTINGS TO BE PERMANENTLY MAINTAINED.

**LEGEND**

- DECIDUOUS TREE
- EVERGREEN TREE

**208 N. ABERDEEN AVENUE  
 PRELIMINARY LANDSCAPE PLAN**

208 N. ABERDEEN AVE.  
 WAYNE, PA. 19087

SCALE: 1" = 10'-0" L-1 OF 2 AUGUST 28, 2020



ANNE F. WALTERS COMPANY LANDSCAPE ARCHITECTS

224 East Biddle St. | West Chester, Pennsylvania 19380-2750 | T 610.429.4533 | annef@alterscompany.com  
 Members of the American Society of Landscape Architects

NOTE:  
 THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY AND WAS PREPARED BASED UPON SURVEY PREPARED BY JEFFREY P. TURNER, PLS, DATED MAY 8, 2020. THIS PLAN IS NOT TO BE USED FOR TREE REMOVAL PROPERTY LINES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.



**PLANT LIST**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	GALIFER	HEIGHT	SPREAD	COMMENTS
<b>STREET TREES</b>							
2	AB	ACER BUERGERIANUM	TRIDENT MAPLE	2 1/2"	10-12'	3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
<b>REPLACEMENT TREES</b>							
<b>CANOPY TREES AND EVERGREEN TREES</b>							
2	QP	QUERCUS PHELLOS	WILLOW OAK	2 1/2"	10-12'	3-4'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
2	IO	ILEX OPACA	AMERICAN HOLLY	2 1/2"	10-12'	3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
1B	TG	THUJA O. 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6"	6'	2-3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
<b>BUFFER SCREEN</b>							
3	AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2 1/2"	10-12'	3-4'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
4	QP	QUERCUS PHELLOS	WILLOW OAK	2 1/2"	10-12'	3-4'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
10	TG	THUJA O. 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6"	6'	2-3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.

**PLANTING SPECIFICATIONS**

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANT MATERIAL AND IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PLANT LIST LESS OTHERS NOTED AND SPECIFICALLY EXCLUDED IN THE CONTRACTOR'S BID. IN THE CASE OF A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE PLANS GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING PROPERTY LINES, BUILDING SETBACKS AND EASEMENTS WHICH MIGHT EFFECT THE INSTALLATION OF PLANT MATERIAL OR IMPROVEMENTS.
- THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO ANY EXCAVATION OR INSTALLATION. THE CONTRACTOR MUST ALSO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION OF PLANT MATERIAL OR IMPROVEMENTS. PLANT LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. FINAL LOCATIONS ARE SUBJECT TO REVIEW BY THE LANDSCAPE ARCHITECT IN THE FIELD AND STAKED LOCATIONS OF ALL PLANT MATERIAL AND IMPROVEMENTS MUST BE APPROVED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN CLEAN AND NEAT CONDITION AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE EACH DAY.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND IN ACCORDANCE WITH THE LATEST STANDARDS AS SET FORTH IN THE MOST RECENT EDITION OF THE STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL HAVE A NORMAL GROWTH HABIT AND BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, VIGOROUS, WELL-BRANCHED, DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE DISEASE-FREE, FREE OF INSECTS, PESTS, EGGS AND/OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. ALL PLANT MATERIAL SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS TO THOSE IN THE LOCALITY OF THE PROJECT.
- SUBSTITUTIONS OF SPECIFIED MATERIALS WILL ONLY BE ALLOWED AT THE SOLE DISCRETION OF THE OWNER AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT TREES AND SHRUBS IN TRANSIT TO THE SITE AND PRIOR TO INSTALLATION. TREES AND SHRUBS SHALL BE PROTECTED FROM DRYING WINDS AND SUN. PLANTS WITH BROKEN ROOT BALLS OR WITH DAMAGE TO THE GROWN OR BROKEN BRANCHES AFFECTING THE FORM OF THE PLANT WILL BE REJECTED.
- TREES SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.
- BACKFILL MATERIAL FOR BACKFILLING AROUND TREE BALLS SHALL BE A MIX OF 1/3 EARTHLIFE AND 2/3 TOPSOIL. BACKFILL MATERIAL SHALL HAVE AT LEAST 15% ORGANIC MATTER. ADD FERTILIZER 20-10-5 OR AGRIFORM TABLETS AT RATES AS SPECIFIED BY THE MANUFACTURER.
- ALL TREES AND SHRUBS SHALL BE PLACED IN CONTINUOUS BEDS OF SHREDDED HARDWOOD BARK 3" IN DEPTH.
- STAKING: ALL PLANT MATERIAL MUST BE STAKED IN ACCORDANCE WITH THE DETAILS PROVIDED. REMOVE GUY WIRES AND STAKES AFTER TWO YEARS.
- GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE PERIOD OF 18 MONTHS. ALL PLANT MATERIAL MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY PLANTS NOT IN EXCELLENT CONDITION WILL BE REMOVED AND REPLACED WITH A PLANT OF EQUAL SIZE, SHAPE AND SPECIES TO THE ORIGINAL.
- THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT MUST BE NOTIFIED BY THE CONTRACTOR IN WRITING THAT THE WORK HAS BEEN COMPLETED AND REQUESTING THE PREPARATION OF A PUNCH LIST AT LEAST FIVE (5) DAYS PRIOR TO THE DATE ON WHICH THE CONTRACTOR WISHES TO SCHEDULE AN INSPECTION. AFTER THE INSPECTION IS COMPLETED, THE CONTRACTOR WILL BE NOTIFIED IN WRITING OF ALL ITEMS OF WORK WHICH REMAIN INCOMPLETE OR REQUIRE ADJUSTMENT. FINAL PAYMENT FOR THE WORK WILL BE MADE AND THE 18 MONTHS GUARANTEE PERIOD WILL COMMENCE WHEN ALL ITEMS OF WORK ARE COMPLETE PER THE DRAWINGS AND SPECIFICATIONS AND ACCEPTED BY THE OWNER AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INSTALLATION PRIOR TO THE COMMENCEMENT OF THE 18 MONTHS GUARANTEE PERIOD. THE CONTRACTOR MUST MAINTAIN ALL PLANT MATERIAL BY WATERING, FERTILIZING, DISEASE CONTROL, PRUNING, WEEDING, AND ANY OTHER MEANS WHICH THE CONTRACTOR DEEMS NECESSARY INCLUDING REPLACING REPLACEMENT OF DEAD, STOLEN PLANT MATERIAL, AS NECESSARY IN ORDER TO MAINTAIN THE PLANT MATERIAL IN A CONDITION AS SPECIFIED AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- PRIOR TO TURNING THE MAINTENANCE OVER TO THE OWNER, THE CONTRACTOR SHALL REVIEW WITH THE OWNER OR THE OWNER'S REPRESENTATIVE THE PROPER CARE AND MAINTENANCE OF ALL MATERIALS INSTALLED BY THE CONTRACTOR. DURING THE 18 MONTHS GUARANTEE PERIOD, THE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE IN WRITING OF ANY MAINTENANCE PRACTICES BEING FOLLOWED OR OMITTED WHICH COULD BE CONSIDERED DETRIMENTAL TO THE HEALTH OF THE PLANT MATERIAL OR HARMFUL TO THE IMPROVEMENTS.
- AT THE END OF THE 18 MONTHS GUARANTEE PERIOD, THE CONTRACTOR WILL BE NOTIFIED IN WRITING BY THE OWNER OR THE OWNER'S REPRESENTATIVE OF ALL ITEMS OF WORK WHICH REQUIRE REPLACEMENT OR ADJUSTMENT. THE FINAL ACCEPTANCE OF THE WORK WILL BE GIVEN WHEN ALL ITEMS OF WORK ARE COMPLETE AND ACCEPTED BY THE OWNER AND LANDSCAPE ARCHITECT.

**SEEDING SPECIFICATIONS**

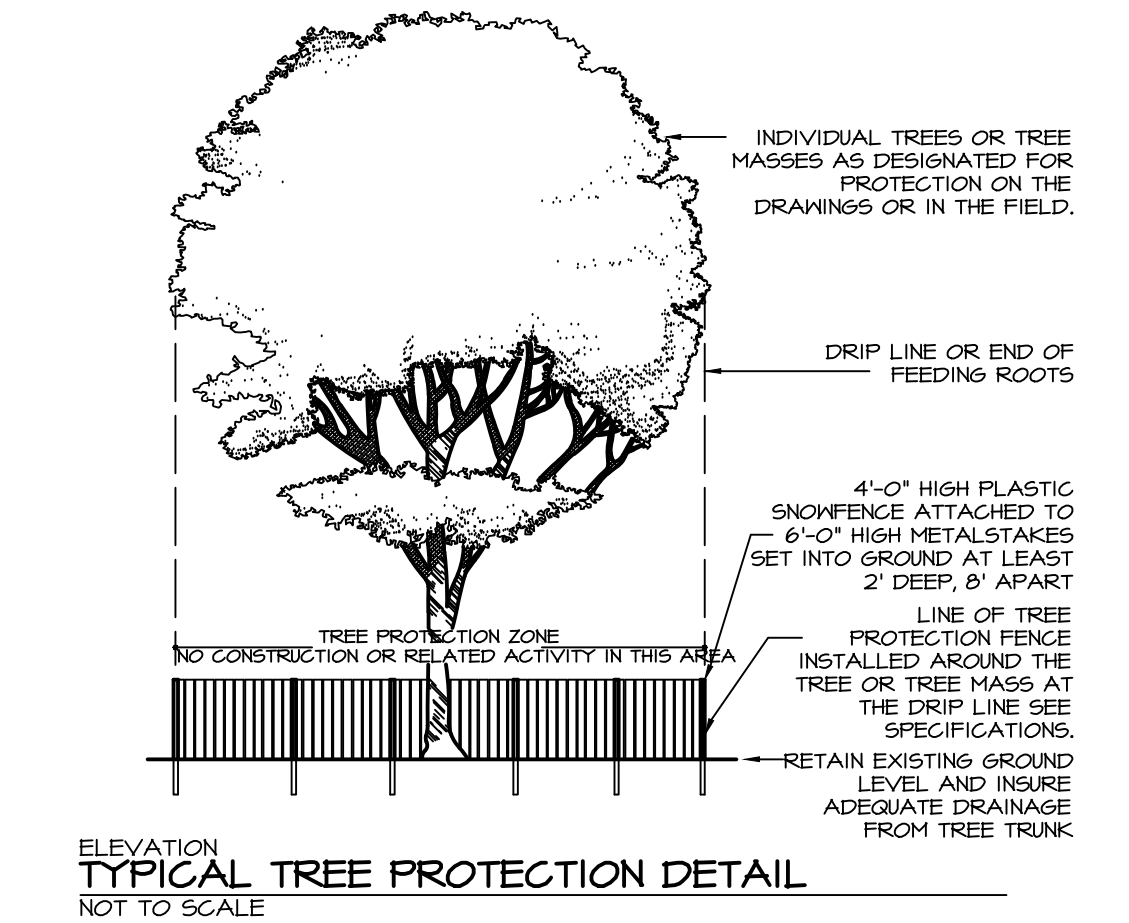
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY FOR THE COMPLETION OF WORK AS SPECIFIED AND AS SHOWN ON THE DRAWINGS. THE WORK INCLUDES FINISH GRADING AND RAKING OF ALL AREAS TO BE SEEDING.
- SEEDING SHALL BE ACCOMPLISHED AS WEATHER PERMITS AND/OR AS APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE MULCH TO PROTECT THE NEWLY SEEDING AREAS FROM THE EFFECTS OF DRYING, FROST OR OTHER ADVERSE WEATHER CONDITIONS PRIOR TO GERMINATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AGAINST AND REPAIRING SOIL EROSION DUE TO EXISTING AND PROPOSED DRAINAGE PATTERNS. IN AREAS SUSCEPTIBLE TO HIGH WATER RUN-OFF, SUCH AS SWALES, BASINS OR SLOPES LARGER THAN 2:1, THE CONTRACTOR WILL PROTECT THOSE AREAS FROM EROSION WITH THE USE OF REINFORCING FABRIC, NET OR THE INSTALLATION OF SOD.
- THE CONTRACTOR SHALL FINE GRADE AND RAKE ALL LAWN AREAS AND AREAS TO BE PLANTED, REMOVING ALL DEBRIS AND STONES LARGER THAN 1". FINE GRADING AND RAKING SHALL INCLUDE THE BREAKING UP OF EARTHEN CLODS TO NO GREATER THAN ONE HALF (1/2") INCH IN DIAMETER TO A DEPTH OF SIX (6") INCHES. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL DEBRIS AND STONES. AT THE SOLE DISCRETION OF THE OWNER, THE CONTRACTOR MAY DISPOSE OF STONE AND NATURAL DEBRIS ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL TEST FROM THE LOCAL COUNTY EXTENSION SERVICE. THE CONTRACTOR WILL BE RESPONSIBLE FOR AMENDING THE SOIL AS NECESSARY BASED UPON THE TEST RESULTS. THE CONTRACTOR WILL PRESENT THE TEST RESULTS TO THE OWNER OR THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO THE APPLICATION OF FERTILIZERS OR OTHER TREATMENTS. IN LIEU OF TESTING, THE CONTRACTOR MAY PREPARE THE SOIL FOR PLANTING BY SCARIFYING THE TOPSOIL TO A DEPTH OF FOUR (4") INCHES AND INCORPORATING EVENLY THROUGHOUT THE ENTIRE DEPTH OF THE TOPSOIL LIME AND BASIC FERTILIZER IN UNIFORM DISTRIBUTION AT THE FOLLOWING RATES:  
40 LBS. LIME (PER 1000 SQ. FT.)  
25 LBS. FERTILIZER (0-20-10) (PER 1000 SQ. FT.)
- THE CONTRACTOR WILL PROVIDE SEED WITH A MINIMUM PURITY OF 90% AND A MINIMUM GERMINATION OF 85%. PER 1000 SF PROVIDING A MIXTURE WITH THE MINIMUM PERCENTAGES BY WEIGHT AS FOLLOWS:  
THE CONTRACTOR WILL SEED ALL GRASSED AREAS EVENLY IN UNIFORM DISTRIBUTION AT A RATE OF 5 POUNDS  
SR3000 OR SR2100 FINE BLADE IMPROVED BLUEGRASS @ 25%;  
CHEWINGS FESCUE @ 25%;  
CHAMPION FINE BLADE PERENNIAL RYE GRASS @ 50%.
- IF THE SEED MIXTURE DOES NOT GERMINATE AT THE MINIMUM RATE DESIGNATED WITHIN 10 DAYS FROM INSTALLATION, THE CONTRACTOR SHALL OVER-SEED ALL AREAS AS NECESSARY TO OBTAIN THE SPECIFIED COVERAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR WATERING THE NEWLY SEEDING LAWN AREAS DAILY, KEEPING IT MOIST DURING SEED GERMINATION AND UNTIL THE GRASS COVERS AT LEAST 75% OF THE SEEDING AREA TO A HEIGHT OF 2-3" THEREAFTER, THE CONTRACTOR WILL BE RESPONSIBLE FOR WATERING THE SEEDING AREAS IN THE ABSENCE OF RAIN EVERY 5-7 DAYS UNTIL THE OWNER ACCEPTS RESPONSIBILITY FOR THE MAINTENANCE. THE CONTRACTOR IS RESPONSIBLE FOR MOWING AT REGULAR INTERVALS TO MAINTAIN A HEIGHT NOT TO EXCEED 3 INCHES.
- GUARANTEE: ALL LAWN AREAS SHALL BE GUARANTEED UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THE LAWN MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY AREAS OF THE LAWN NOT IN EXCELLENT CONDITION WILL BE OVER-SEEDING BY THE CONTRACTOR WITH THE SPECIFIED SEED MIX.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INSTALLATION PRIOR TO THE COMMENCEMENT OF THE 18 MONTHS GUARANTEE PERIOD. THE CONTRACTOR MUST MAINTAIN THE SEEDING AREA BY WATERING, MOWING, CULTIVATION, WEEDING, DISEASE AND PEST CONTROL, FILLING AND RESEEDING OR SODDING OF SETTLEMENT AREAS AND WASH-OUTS, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICE NECESSARY TO INSURE NORMAL, VIGOROUS AND HEALTHY GROWTH OF ALL LAWN AREAS UNDER THE CONTRACT.
- PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REVIEW WITH THE OWNER OR THE OWNER'S REPRESENTATIVE THE PROPER CARE AND MAINTENANCE OF THE LAWN INSTALLED BY THE CONTRACTOR.

**SOD SPECIFICATIONS**

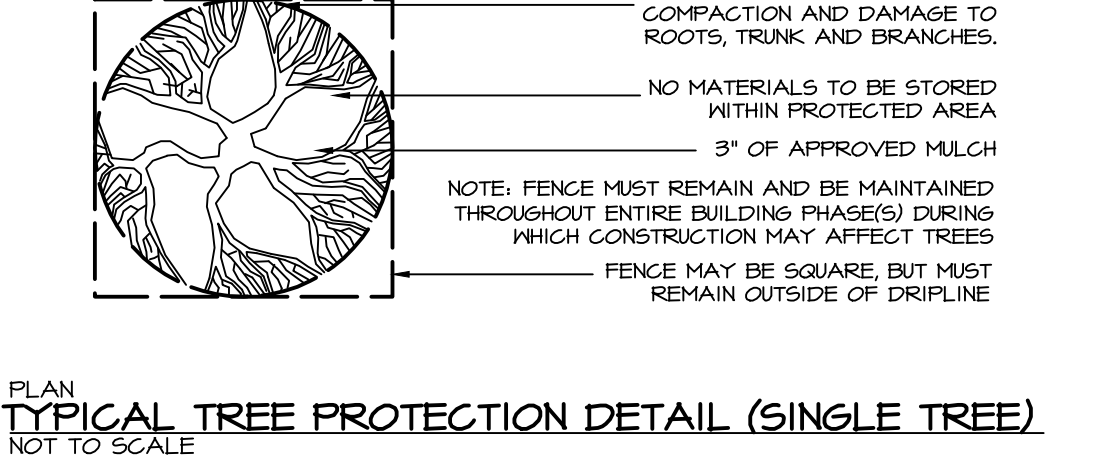
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY FOR THE COMPLETION OF WORK AS SPECIFIED AND AS SHOWN ON THE DRAWINGS. THE WORK INCLUDES FINISH GRADING AND RAKING OF ALL AREAS WHERE SOD IS TO BE INSTALLED.
- THE INSTALLATION OF SOD SHALL BE ACCOMPLISHED AS WEATHER PERMITS AND/OR AS APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE MEASURES TO PROTECT THE NEW SOD FROM THE EFFECTS OF DRYING, FROST OR OTHER ADVERSE WEATHER CONDITIONS.
- THE CONTRACTOR SHALL FINE GRADE AND RAKE ALL AREAS, REMOVING ALL DEBRIS AND STONES LARGER THAN 1". FINE GRADING AND RAKING SHALL INCLUDE THE BREAKING UP OF EARTHEN CLODS TO NO GREATER THAN ONE HALF (1/2") INCH IN DIAMETER TO A DEPTH OF SIX (6") INCHES. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL DEBRIS AND STONES. AT THE SOLE DISCRETION OF THE OWNER, THE CONTRACTOR MAY DISPOSE OF STONE AND NATURAL DEBRIS ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL TEST FROM THE LOCAL COUNTY EXTENSION SERVICE. THE CONTRACTOR WILL BE RESPONSIBLE FOR AMENDING THE SOIL AS NECESSARY BASED UPON THE TEST RESULTS. THE CONTRACTOR WILL PRESENT THE TEST RESULTS TO THE OWNER OR THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO THE APPLICATION OF FERTILIZERS OR OTHER TREATMENTS. IN LIEU OF TESTING, THE CONTRACTOR MAY PREPARE THE SOIL FOR PLANTING BY SCARIFYING THE TOPSOIL TO A DEPTH OF FOUR (4") INCHES AND INCORPORATING EVENLY THROUGHOUT THE ENTIRE DEPTH OF THE TOPSOIL LIME AND BASIC FERTILIZER IN UNIFORM DISTRIBUTION AT THE FOLLOWING RATES:  
40 LBS. LIME (PER 1000 SQ. FT.)  
25 LBS. STARTER FERTILIZER (20-20-10) (PER 1000 SQ. FT.)
- SOD WHERE INDICATED ON THE DRAWINGS WILL BE COMPOSED OF THE FOLLOWING BLEND:  
10% GOLD TAG REBEL JR. TALL FESCUE  
10% KENTUCKY BLUEGRASS
- ALL SOD MUST BE DELIVERED AND INSTALLED WITHIN 36 HOURS OF BEING CUT. SOD SHALL BE LAID SMOOTHLY, EDGE TO EDGE, STAGGERING THE JOINTS IN EACH A MINIMUM OF 12". IN AREAS WITH SLOPES GREATER THAN 2:1 THE CONTRACTOR WILL SUPPORT THOSE AREAS OF SOD WITH THE USE OF ANCHORS AT SUFFICIENT INTERVALS TO PREVENT "SLUMPING". PRIOR TO COMPLETING THE INSTALLATION, THE SOD SHALL BE ROLLED TO ELIMINATE UNEVEN AREAS. AFTER COMPLETING THE INSTALLATION OR AT THE END OF EACH DAY'S WORK (IN THE CASE OF LARGER INSTALLATIONS), THE CONTRACTOR SHALL WATER THE SOD TO A DEPTH OF 4".
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING SOIL EROSION DUE TO EXISTING AND PROPOSED DRAINAGE PATTERNS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE NEW SOD BY WATERING IT DAILY, KEEPING IT EVENLY MOIST, UNTIL IT IS ACCEPTED BY THE OWNER AND THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR MOWING AT REGULAR INTERVALS TO MAINTAIN A HEIGHT NOT TO EXCEED 3 INCHES UNTIL THE SOD IS ACCEPTED BY THE OWNER. THE CONTRACTOR MUST ALSO MAINTAIN THE SOD BY CULTIVATION, WEEDING, DISEASE AND PEST CONTROL, FILLING AND REINSTALLING SOD IN ANY AREAS WHICH ARE NOT THRIVING AND HEALTHY, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICE NECESSARY TO INSURE NORMAL, VIGOROUS AND HEALTHY GROWTH OF ALL LAWN AREAS UNDER THE CONTRACT.
- ALL SOD SHALL BE GUARANTEED UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THE SOD MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY AREAS OF THE SOD NOT IN EXCELLENT CONDITION WILL BE REPLACED BY THE CONTRACTOR.
- PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REVIEW WITH THE OWNER OR THE OWNER'S REPRESENTATIVE THE PROPER CARE AND MAINTENANCE OF THE LAWN INSTALLED BY THE CONTRACTOR.

**PROTECTION OF EXISTING TREES**

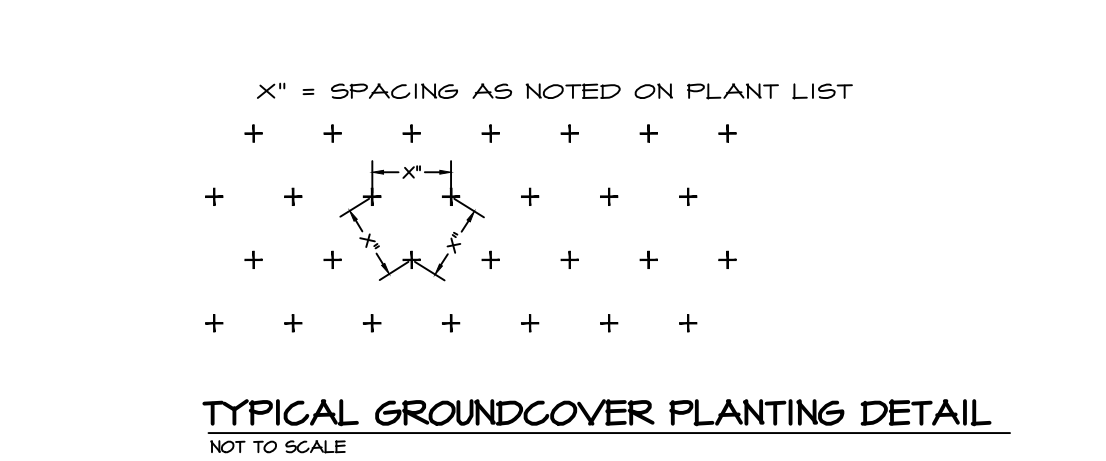
- IT IS THE INTENT OF THE OWNER THAT EVERY EFFORT BE MADE TO MAINTAIN, PROTECT, AND PRESERVE AS MANY OF THE SITES' EXISTING TREES AND VEGETATION AS POSSIBLE.
- TREES WHICH ARE TO REMAIN WILL BE MARKED IN THE FIELD. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL TREES AND VEGETATION WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF SITE CLEARING WORK. ACTUAL TREE LOCATIONS MAY VARY FROM THOSE SHOWN ON THE DRAWINGS.
- THE CONTRACTOR WILL PROVIDE A TEMPORARY ENCLOSURE WHICH WILL REMAIN IN PLACE THROUGHOUT CONSTRUCTION TO DESIGNATE AN AREA OF PROTECTION AROUND THE TREES AND VEGETATION DESIGNATED TO REMAIN. THE CONTRACTOR MUST EXERCISE CAUTION DURING CLEARING AND CONSTRUCTION ACTIVITY. THE PREFERRED TYPE OF TEMPORARY ENCLOSURE IS 4'-0" HIGH WOOD FENCE ATTACHED TO 6'-0" HIGH WOOD POST SET INTO THE GROUND. THE MINIMUM AREA OF PROTECTION IS THE AREA WITHIN THE DRIP LINE OF THE TREE. WHENEVER POSSIBLE, THE CONTRACTOR IS ENCOURAGED TO DESIGNATE A PROTECTION AREA WHICH IS TWICE THE DIAMETER OF THE DRIP LINE. FENCE MUST REMAIN AND BE MAINTAINED THROUGHOUT ENTIRE BUILDING PHASE DURING WHICH CONSTRUCTION MAY AFFECT TREES.
- TRENCHING FOR UTILITIES OR OTHER SUBSURFACE CONSTRUCTION WITHIN THE DRIP LINE OF THE TREE WILL NOT BE ALLOWED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES AND OTHER VEGETATION IN THE PROJECT AREA AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS AND BARK. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING EXISTING TREES AND VEGETATION FROM SMOOTHERING BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN THE DRIP LINE OF THE TREE. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE SOIL AROUND THE TREES' ROOT SYSTEMS FROM COMPACTION DUE TO FOOT TRAFFIC, VEHICULAR TRAFFIC OR PARKING.
- THE CONTRACTOR IS RESPONSIBLE FOR WATERING THE TREES AND ANY OTHER EXISTING VEGETATION DESIGNATED TO REMAIN, WITHIN LIMITS OF THE CONTRACT WORK, (AS REQUIRED) TO MAINTAIN THEIR HEALTH DURING THE COURSE OF CONSTRUCTION OPERATIONS. THE CONTRACTOR WILL AVOID SOIL COMPACTION OR ALTERING THE GRADIES AND DRAINAGE PATTERNS AROUND EXISTING TREES WHEN COMPLETING THE FINISHED GRADING OR INSTALLATION OF GROUND COVER.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE TREATMENT OF INJURED TREES, INCLUDING THE TREATMENT OF WOUNDS AND THE PRUNING OF DAMAGE. THE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF DAMAGE TO TREES DESIGNATED FOR PROTECTION SO THAT A DECISION CAN BE MADE ABOUT THE BEST COURSE OF ACTION TO TREAT THE INJURY. IF DEEMED NECESSARY BY THE OWNER AND THE LANDSCAPE ARCHITECT, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE TREATMENT OF DAMAGE OR INJURIES TO ANY TREE BY A CERTIFIED ARBORIST OR TREE SURGEON.
- AT THE OWNER'S SOLE DISCRETION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING AND REPLACING DAMAGED TREES OR VEGETATION DESIGNATED FOR PROTECTION WHICH HAVE BEEN DISFIGURED OR WILL DECLINE AND DIE DUE TO THE INJURIES INFLICTED UPON THEM DURING CONSTRUCTION.



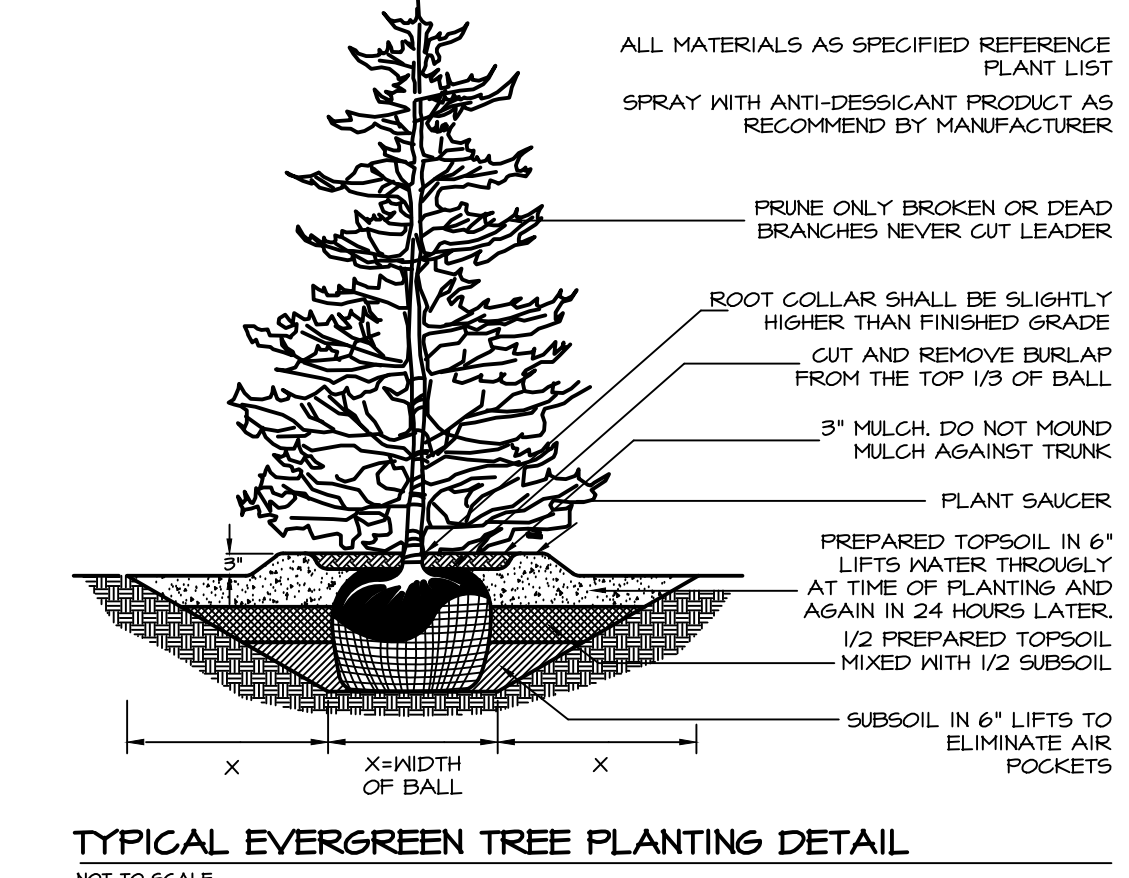
**TYPICAL TREE PROTECTION DETAIL**  
NOT TO SCALE



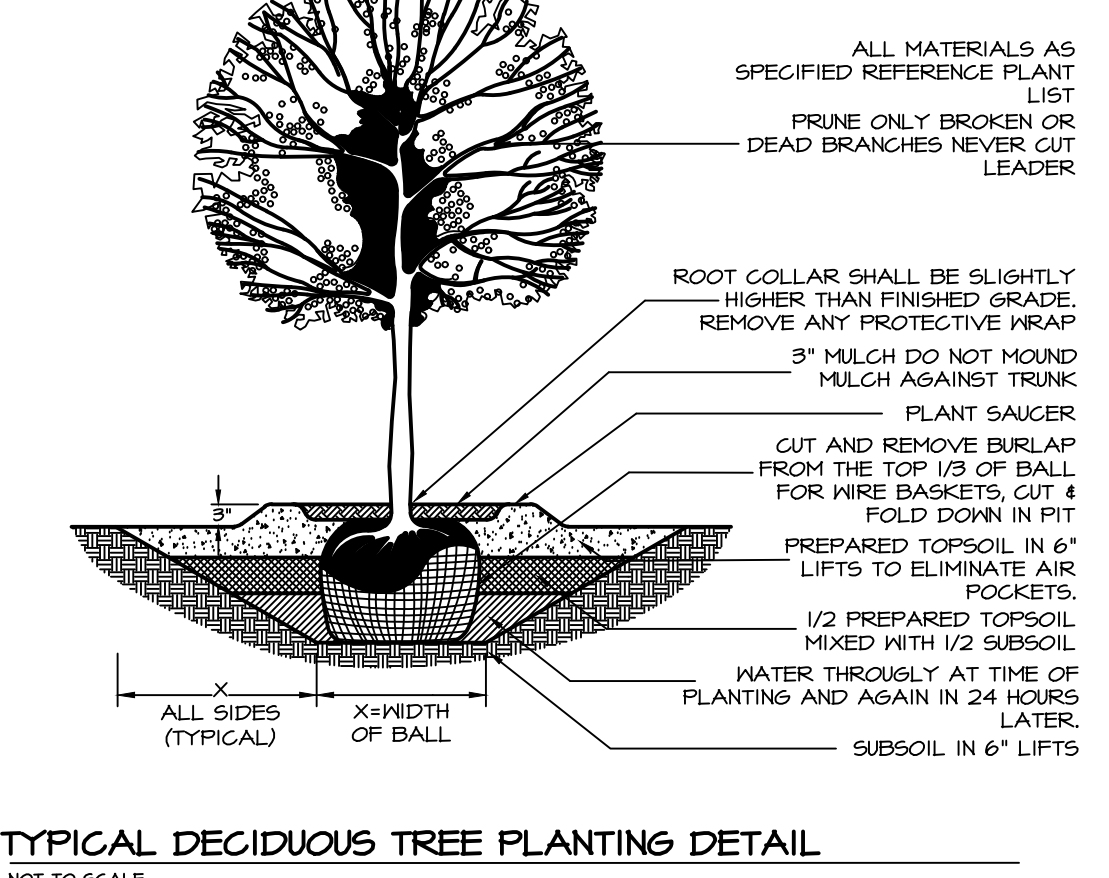
**TYPICAL TREE PROTECTION DETAIL (SINGLE TREE)**  
NOT TO SCALE



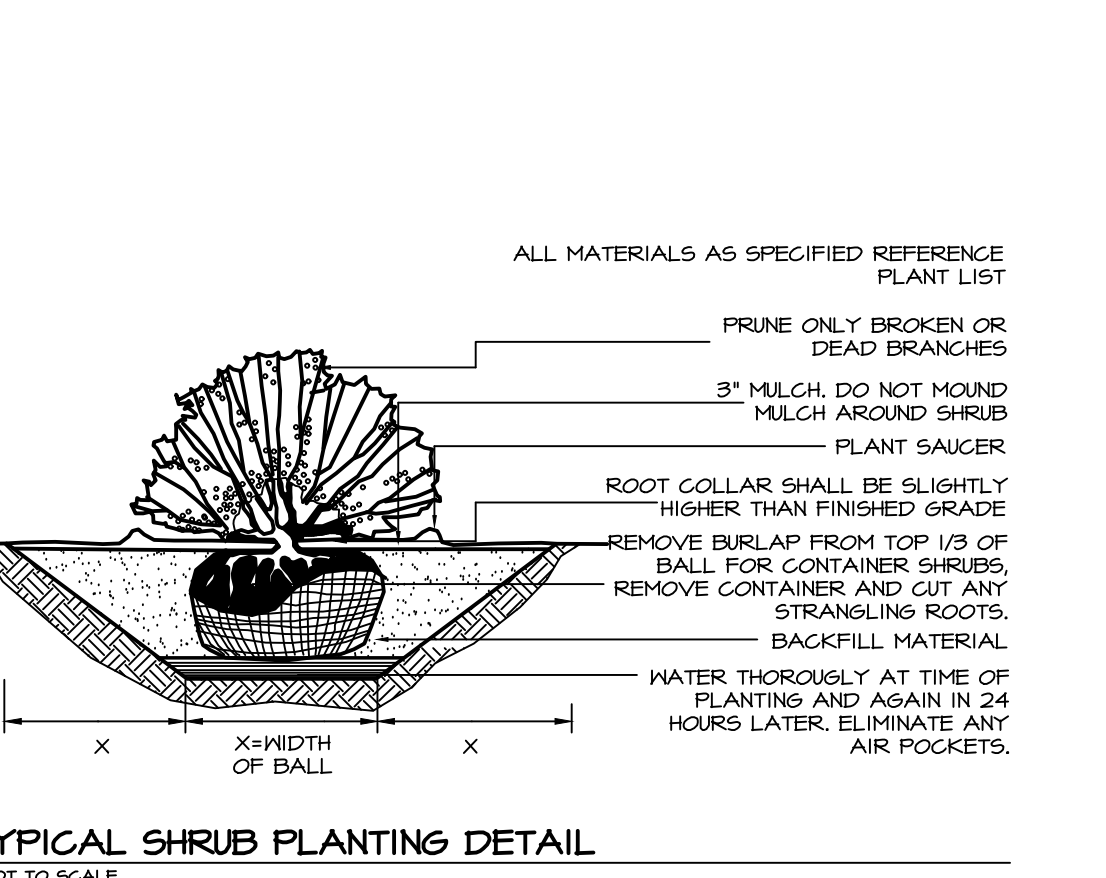
**TYPICAL GROUNDCOVER PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL SHRUB PLANTING DETAIL**  
NOT TO SCALE

**208 N. ABERDEEN AVENUE  
DETAILS AND SPECIFICATIONS**

208 N. ABERDEEN AVE.  
WAYNE, PA. 19087

SCALE: AS SHOWN L-2 OF 2 AUGUST 28, 2020

ANNE F. WALTERS COMPANY LANDSCAPE ARCHITECTS