

BOARD OF COMMISSIONERS
REVISED - AGENDA
Monday, January 4, 2016
(Immediately Following the Reorganization Meeting)

Call to Order

Notice of Executive Session on Sunday, January 3, 2016 and preceding the Board of Commissioners meeting of January 4, 2016

1. Swearing in of Three New Radnor Township Police Officers
2. Retire the Colors
3. Public Participation

4. Consent Agenda
 - a. Approval of Minutes for the Board of Commissioners meeting of December 14, 2015 & December 21, 2015
 - b. Staff Traffic Committee Meeting Minutes – December 16, 2015
 - c. Resolution #2016-01 - Authorizing the purchase of four (4) new vehicles for use by the Radnor Township Police Department

5. Committee Reports

PERSONNEL & ADMINISTRATION

- A. Green Light a Vet (Presented by the Township Manager)
- B. **Updated** - Resolution #2016-02 - Amending the Township Manager's Employment Agreement

PUBLIC WORKS & ENGINEERING

- C. Resolution #2016-03 - (Preliminary/Final) - Villanova University, 800 Lancaster Avenue - Bartley Exchange and Entrance Plaza Project
- D. Resolution #2016-04 – Authorization for Gannett Fleming, Incorporated, to Provide Professional Engineering Services for the Sanitary Sewer Replacement and Rehabilitation of the Midland Avenue, Louella Avenue, and South Aberdeen Avenue Sanitary Sewer Lines

PUBLIC SAFETY

COMMUNITY DEVELOPMENT

FINANCE & AUDIT

PARKS & RECREATION

LIBRARY

PUBLIC HEALTH

Old Business
New Business
Public Participation
Adjournment

Public Participation

Swearing in of
Three New Radnor
Township Police Officers

TOWNSHIP OF RADNOR
Minutes of Public Meeting of December 14, 2015

The Radnor Township Board of Commissioners met at approximately 6:30 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087

Commissioners Present

*James C. Higgins, President
Richard F. Booker
Donald Curley
Lucas A. Clark*

*John Fisher, Vice President
John Nagle
Elaine Schaefer*

Also Present: *Robert A. Zienkowski, Township Manager; John Rice, Township Solicitor; William White, Finance Director; Robert V. Tate, Assistant Finance Director; Kevin Kochanski, Director of Community Development; Steve Norcini, Director of Public Works; William Colarulo, Superintendent of Police; Tammy Cohen, Director of Community Programming and Recreation; Officer Raymond Matus; Dammond Drummond,, Traffic Engineer; Roger Philips, Township Engineer and Jennifer DeStefano, Executive Assistant to the Township Manager.*

President Higgins called the meeting to order and led the assembly in the Pledge of Allegiance

Notice of Executive Session on December 14, 2015

All commissioners were in attendance at the December 14, 2015 executive session; where matters of personnel, litigation and real estate were discussed.

Approval for the Conditional Offers of Employment to three (3) Police candidates and the approval for their Physical Examination and psychological examinations

Superintendent Colarulo commented that after a very intense interview process he respectfully requests the approval for the Conditional Offers of Employment to Sean Patterson, Stephanie Racht and Brady McHale pending a physical examination and psychological examination.

Commissioner Fisher made a motion to approve the conditional offer of employment for Sean Patterson, Stephanie Racht and Brady McHale, seconded by Commissioner Nagle. Motion passed 7-0.

2. Public Participation

Marty Costello – He commented in regards to the wall of honor that will be dedicated this spring. He requested if the Board of Commissioners would please help advertise this event.

Toni Bailey – She thanked representatives from Radnor Police and the Township as well as everyone who helped organize and attended the informational meeting which was held on December 7, 2015 in regards to Villanova University creating an armed police department.

Paul Perot – He commented in regards to the proposed contributions to Radnor Memorial Library.

John Statts – He commented in regards to his disagreement with changes made to the rental housing fee schedule.

Mr. Zienkowski presented the Board with a check in the amount of \$20,000 from Chanticleer (\$2,000 towards K-9 and \$18,000 towards tree maintenance and planting).

3. Consent Agenda

a) Disbursement Review and Approval: 2015-11C, 2015-11D, 2015-12A

b) Approval of the 2016 Township Holiday Schedule

e) Approval and Acceptance of the 2016 Meeting Dates

d) Approval and Acceptance of meeting minutes – November 9, 2015; November 16, 2015 & November 23, 2015

e) Consideration of a Motion to Approve the Certificate of Appropriateness:

• HARB-2015-20 – 314 Louella Avenue - Demolish deck. Build new 1 story addition. Build new rear porch. New oval window on front elevation. Replace kitchen windows. New windows at addition. New basement egress door. Demolish rear chimney, save stone for new fireplace in the family room.

• HARB-2015-21 – 423 St Davids Road – Enclose first floor porch creating a new mudroom.

• HARB-2015-22 – 215 Midland Avenue – Remodel and addition.

f) Staff Traffic Committee Meeting Minutes - November 18, 2015

g) Authorization – Authorization to Receive Bids for street light and traffic signal maintenance

h) Resolution #2015-125 - Amending Resolution 2015-113 Authorizing the Township to Enter into an Agreement with the Woodylynde School for Gymnasium Usage for the 2015-2016 Winter Seasons for the Radnor Youth Basketball and Gryphon Volleyball Programs

Commissioner Schaefer requested for item c to be removed. Commissioner Fisher made a motion to approve the consent agenda excluding item 3c, seconded by Commissioner Booker. Motion passed 7-0.

c) Approval and Acceptance of the 2016 Meeting Dates

Commissioner Schaefer requested that a second meeting be added to the month of June. She has request that the meetings in June be set for June 13th and June 27th and striking the June 20th meeting. There was a brief discussion amongst the Commissioners.

Commissioner Fisher made a motion to set the meeting schedule in June to the 13th and 27th of June 2016, seconded by Commissioner Schaefer. Motion passed 5-2 with Commissioners Booker and Curley opposed.

Commissioner Higgins requested for the Commissioners to consider meeting in subcommittees so that the meeting times of regular meetings can be held to an 11:00 PM stop time. There was a discussion amongst the Commissioners in regards to holding subcommittee meetings.

4. Committee Reports

PERSONNEL & ADMINISTRATION

A. St. Davids Nursery Presentation Proposal to Improve and Operate the Willows Mansion – Discussion with the Board of Commissioners

Wade McDevitt made a brief presentation proposing St. David's Nursery School moving to the Willows Mansion and partnering with Radnor Township.

There was a discussion amongst the Commissioners and staff in regards to traffic, security for children, potentially going out for RFP for others interested and public use of the park. Commissioner Fisher made a motion to allow administration to continue to work constructively with St. David's Nursery and bring details in a written proposal of their plan as well as a proposed lease back to the Board in January, seconded by Commissioner Schaefer.

Public Comment

Katrina Oglby, Orchard Way – She commented with a few concerns regarding traffic and parking.

Maggie McWilliams – She is in full support of the proposed project.

Mr. Prabhu, Calverese Lane – He is generally in support of the project but is concerned with the tight timeframe.

Commissioner Higgins called the vote, motion passed 5-2 with Commissioners Clark and Curley opposed.

B. Van Rossum RTK Settlement Agreement

Commissioner Fisher made a motion to approve, seconded by Commissioner Curley.

Township Solicitor gave a brief background of the proposed settlement agreement. There was a brief discussion for clarity purposes.

Commissioner Higgins called the vote, motion passed 7-0.

FINANCE & AUDIT

C. Ordinance #2015-20 – (Adoption) - Adoption of the final Comprehensive Budget for 2016 (v2) which includes appropriations for 2016, the Five-Year Capital Plan and Five-Year Forecast, and establishing the Township Real Estate Tax and Sanitary Sewer Rates for 2016

Commissioner Fisher made a motion to adopt, seconded by Commissioner Nagle.

Bill White, Finance Director gave a brief presentation which can be found on the Township website at: <http://www.radnor.com/DocumentCenter/Home/View/11930>.

There was a discussion amongst the Commissioners in regards to the proposed 2016 budget; Mr. Zienkowski also commented in regards to the budget and thanked the Department Heads and all Staff members.

Public Comment

Jane Galli, Barcladen Road – She commented in regards to the Stormwater infrastructure at Villanova University and the potential impacts on Radnor Township. She also thanked the Police Department and stated that they are worth every penny spent.

Commissioner Higgins called the vote, motion passed 4-3 with Commissioners Clark, Booker and Curley opposed.

D. Resolution #2015-127 – Authorization to Engage Zelenkofske Axelrod LLC as Independent Auditors for a Three Year Engagement

Commissioner Fisher made a motion to approve, seconded by Commissioner Nagle.

Mr. White, Finance Director and Mr. Tate, Assistant Finance Director gave a brief background on the proposed resolution. There was a brief discussion amongst the Commissioners and staff.

Commissioner Higgins called the vote, motion passed 7-0.

E. Resolution #2015-126 - Establishing the wage and salary schedule for 2016

Commissioner Fisher made a motion, seconded by Commissioner Curley. There was a brief discussion in regards to clarification of the proposed resolution. Commissioner Higgins called the vote, motion passed 6-0 with Commissioner Booker abstaining.

F. Ordinance #2015-25 – (Introduction) Amending Chapter §44 of the Township Administrative Code – Investment Policy

Commissioner Fisher made a motion to introduce, seconded by Commissioner Schaefer.

Mr. White gave a brief background in regards to the proposed ordinance. There was a brief discussion amongst Commissioners in regards to the proposed amendments of the policy as well as CARFAC reviewing the amended policy. Mr. White commented that he will push the introduction of the ordinance to the first meeting in January so that CARFAC will have ample time to review the proposed amendments and requested changes by Commissioner Higgins. Commissioner Fisher withdrew his motion.

COMMUNITY DEVELOPMENTG. White Dog Café Settlement Agreement

Tabled from the agenda.

PUBLIC SAFETYH. Ordinance #2015-21 (Adoption) - Amending Chapter 262, Towing Ordinance to increase the hooking fee, increase the maximum cost of towing flat fee per hour, add a standard cleanup fee, increase the fee for storage costs, establish a Police Administration fee, revise the requirements and regulations for non-consent towing operators and duty towing operators, increase the yearly towing license fee, provide for penalties for violation of this chapter

Commissioner Schaefer made a motion to adopt, seconded by Commissioner Fisher.

There was a brief discussion amongst Commissioners in regards to the proposed fees.

Public Comment

David Money, S. Roberts Road – He commented with his concerns with the proposed ordinance.

Superintendent Colarulo, Officer Matus and Solicitor Rice briefly discussed the ordinances proposed fees.

Commissioner Higgins called the vote, motion passed 6-1 with Commissioner Booker opposed.

I. Ordinance #2015-22 – (Adoption) - Authorizing a “No Parking Any Time” sign to be installed on Conestoga Road at South Wayne Avenue

Commissioner Schaefer made a motion to adopt, seconded by Commissioner Clark. Motion passed 7-0.

J. Ordinance #2015-23 – (Adoption) - Authorizing a new stop sign to be installed on Galer Road at Loudan Lane

Commissioner Schaefer made a motion to adopt, seconded by Commissioner Clark. Motion passed 7-0.

K. Ordinance #2015-24 - (Adoption) - Rescinding Ordinance #1259 dated April 27, 1965, for the 2 hour parking on Gallagher Road

Commissioner Schaefer made a motion to adopt, seconded by Commissioner Nagle. There was a brief discussion in regards to the reason for the change. Commissioner Higgins called the vote, motion passed 7-0.

PUBLIC WORKS & ENGINEERING

None

PARKS & RECREATION

Commissioner Nagle announced that next week the winter/spring recreation brochure will be available to the public. Commissioners also commented on the Santa Delivery that was this past weekend and the tremendous job done by all.

LIBRARY

None

PUBLIC HEALTH

None

Old Business

None

New Business

Commissioner Curley discussed that he would like to see the mission and the ordinance for the Stormwater Advisory Committee be modified as well as discussed if the group should be an advisory board or technical board. He would like to see the number of members reduced as well as the Ward requirement removed and make it watershed based. There was an in depth discussion amongst the Commissioners and staff in regards to how to proceed forward with the Stormwater Advisory Committee. There was agreement from the majority of the board to have the Solicitor amend the Stormwater Advisory Committee resolution to remove the ward restrictions for members and bring it back at the next meeting.

Public Participation

Jane Galli, Barcladen Road – She thanked the Commissioners that were in attendance at the public meeting held on December 7th in regards to arming of a Police Department at Villanova University.

There being no further business, the meeting adjourned on a motion duly made and seconded.

Respectfully submitted,

Jennifer DeStefano

TOWNSHIP OF RADNOR
Minutes of Public Meeting of December 21, 2015

The Radnor Township Board of Commissioners met at approximately 7:00 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087

Commissioners Present

*James C. Higgins, President
Richard F. Booker
Donald Curley
Lucas A. Clark*

*John Fisher, Vice President
John Nagle
Elaine Schaefer*

Also Present: *Robert A. Zienkowski, Township Manager; Peter Nelson, Township Solicitor; Robert V. Tate, Assistant Finance Director; Kevin Kochanski, Director of Community Development; Steve Norcini, Director of Public Works; William Colarulo, Superintendent of Police; Tammy Cohen, Director of Community Programming and Recreation; Amy Kaminski, Traffic Engineer; Roger Philips, Township Engineer and Jennifer DeStefano, Executive Assistant to the Township Manager.*

President Higgins called the meeting to order and led the assembly in the Pledge of Allegiance

Notice of Executive Session on December 21, 2015

All commissioners were in attendance at the December 21, 2015 executive session; where matters of personnel and litigation were discussed.

Commissioner Higgins also announced that item A of the agenda is removed from for this evening.

1. *Resolution #2015-134 - Honoring John Fisher's Service as Commissioner 2007-2015*

Commissioner Higgins invited Commissioner Fisher to the lectern and read resolution #2015-134 honoring Commissioner Fisher for his service on the Radnor Township Board of Commissioners. He also presented a plaque to Commissioner Fisher in recognition of his service to Radnor Township. Commissioner Fisher said a few words about his years of service and thanked his family and staff. Many Commissioners thanked him for his years of service as well.

Commissioner Curley made a motion to approve, seconded by Commissioner Nagle.

Public Comment

Patti Barker – She thanked Commissioner Fisher for all of his hard work throughout the past 8 years.

Roberta Winters – She also thanked Commissioner Fisher for his service.

Phil Ahr – He thanked Commissioner Fisher for his years of service as well.

Martin Heldring – He also thanked Commissioner Fisher for his years of service in particularly his modesty, fairness and integrity.

AJ Anglehart – He thanked Commissioner Fisher for his service and for always being part of the Community.

Commissioner Higgins called the vote, motion passed 7-0.

2. Commendation of Merit Awards – Radnor Police Department

Superintendent Colarulo and Lieutenant Flanagan recognized Radnor Township Officers as well as two Villanova University Public Safety Officers with Commendation of Merit Awards.

3. Public Works Recognition

Mr. Zienkowski presented Jim Corcoran from the Public Works Department with a certificate of recognition for his outstanding and detailed work on the portrait of Emlen Tunnell which is on display at the Sports Legends of Delaware County Museum here at the Township Building and thanked him for his commitment and hard work with maintaining the Township Building, Public Works Garage and Radnor Activity Center.

4. Public Participation

Martin Heldring, Audubon Avenue – He commented in regards to the time length of the meetings and the start time of the meetings; the proposed amendments to the investment policy which was discussed at the last meeting and the Township tax increase for 2016.

Baron Gemmer – He thanked Commissioner Fisher for his service as well as members from other Boards & Commissions which will finish their terms at the end of the month.

5. Consent Agenda

- a) Disbursement Review and Approval: 2015-12B, 2015-12C, 2015-12D
- b) Acceptance of Department Monthly Reports
- c) BPT Settlement Agreement 2015-BPT-03 in the amount of \$69,500
- d) BPT Settlement Agreement 2015-BPT-04 in the amount of \$44,700
- e) Resolution #2015-128 - Authorizing the Township Manager to bind coverage for Worker's Compensation Insurance for the period beginning January 1, 2015 through December 31, 2015
- f) Resolution #2015-135 – Authorization for Replacement of Fitness Equipment at the Township Building
- g) Resolution 2015-129 - Authorizing the replacement of the Police Range Backstop in the Police Shooting Range
- ~~h) Resolution #2015-130 – Authorizing a contract with the U.S. Department of Agriculture for professional Deer culling and Geese control services~~

Commissioner Booker requested that item h is removed from the consent agenda. Commissioner Nagle made a motion to approve item a-g of the consent agenda, seconded by Commissioner Fisher. Motion passed 7-0.

Resolution #2015-130 - Authorizing a contract with the U.S. Department of Agriculture for professional Deer culling and Geese control services

Mr. Zienkowski, Township Manager; William Colarulo, Superintendent of Police as well as staff briefly discussed the above reference resolution. There was a brief discussion amongst the Commissioners and staff including a review of the success of the program over the past three years.

Commissioner Curley made a motion to approve, seconded by Commissioner Schaefer. Motion passed 7-0.

6. Committee Reports

PERSONNEL & ADMINISTRATION

A. ~~Discussion & Motion to Authorize the Township Manager to execute a letter to the State Legislature to review and amend the Heart & Lung Disability Provisions for Police Officers~~

The above item has been removed from the agenda.

B. Ordinance #2016-01 (Introduction) - Boy Scout Cabin -- Agreement of Sale

Peter Nelson, Township Solicitor gave a brief description of the proposed ordinance. Commissioner Schaefer gave a background on the proposed ordinance as well. There was a brief discussion amongst the Commissioners, Solicitor and Dave Falcone – Representing the Scouts.

Commissioner Curley made a motion to introduce, seconded by Commissioner Schaefer. Motion passed 7-0.

COMMUNITY DEVELOPMENT

C. Discussion of a Radnor Gateway Enhancement Zone

Commissioner Booker as well as Matt Marshall discussed the concept of an enhancement zone for certain areas in 2nd and 3rd Wards that already exist at the gateways to the Township. Mr. Marshall presented pictures of the areas for which they are requesting enhancements and landscaping.

PUBLIC WORKS & ENGINEERING

D. Presentation - CH2M to provide further modeling of the flooding at Banbury Way, and the Stormwater Advisory Committee will provide an update

Heather Gill, Chair Stormwater Advisory Committee along with Dan Widble, CH2M gave a brief presentation in regards to the above topic which can be found on the Township website at: <http://radnor.com/AgendaCenter/ViewFile/Agenda/12212015-891> on page 62. There was an in depth discussion amongst Commissioners, Dan Widble and Staff.

F. Resolution #2015-132 - Authorization for CH2M to Prepare a Request for Proposal for Professional Design Services for the Banbury Way Flood Mitigation Project, and Subsequent Authorization to Solicit for Proposals

Commissioner Schaefer made a motion to approve with the direction that the design work be pursued under option 3 as presented to the Commissioners, seconded by Commissioner Clark. There was an in depth discussion amongst the Commissioners and staff in regards to the above resolution, modeling, watershed approach, stormwater budget and how to proceed with request for proposal.

Public Comment

Jim Guthlein, Banbury Way – He thanked the Commissioners and staff for taking the flooding in this area seriously; his home has been flooded multiple times.

Ken Taylor, Willow Ave – He is in support of the resolution and is also in support of the assessment of the watersheds.

Commissioner Higgins called the vote, motion passed 6-1 with Commissioner Booker opposed.

E. Resolution #2015-131 - Amending Resolution 2013-103 Which Established A Stormwater Management Advisory Committee by Removing the Ward Qualifications for Appointment

Commissioner Nagle made a motion to approve, seconded by Commissioner Schaefer.

There was a brief discussion in regards to the intent of the amendment of the resolution.

Commissioner Curley made a motion to amend the resolution and add a Whereas clause to read: Whereas the Board of Commissioners redistricted voting wards in 2014. Strike “a” and replace with “Existing Members who were redistricted may continue to serve and represent the ward from which they were appointed”; seconded by Commissioner Booker.

There was an in depth discussion amongst the Commissioners. Commissioner Higgins called the vote on the amended motion; motion failed 3-4 with Commissioners Fisher, Nagle, Higgins and Schaefer opposed. Commissioner Higgins called the vote on the original motion, motion passed 6-1 with Commissioner Booker opposed.

G. Resolution #2015-133 - Authorization for CH2M to Prepare a Request for Proposal for Professional Services for an Assessment of the Gulph Creek, Meadowbrook Run, and Darby Creek Watersheds

Commissioner Schaefer made a motion with the amendment that authorization for CH2M to prepare a proposal and remove the \$3,120 to prepare a request for proposal, seconded by Commissioner Clark. Motion passed 6-1 with Commissioner Booker opposed.

Commissioner Schaefer thanked the Stormwater Advisory Committee for all of their hard work in the last year and half.

H. Motion to Award Bid for the Sale of Folio #36-02-01232-01 (240 Radnor Chester Road)

Nick Caniglia, representative for the purchaser briefly reviewed the item with the Board of Commissioners. There was a brief discussion amongst the Commissioners, staff and potential land purchaser.

Commissioner Clark made a motion to award the bid, seconded by Commissioner Nagle. Motion passed 6-1 with Commissioner Booker opposed.

I. Caucus (Preliminary/Final) - Villanova University, 800 Lancaster Avenue - Bartley Exchange and Entrance Plaza Project

Commissioner Schaefer announced that she will not participate in the discussion as she has a conflict. Bob Morro gave a brief overview of the project. The applicant is proposing to expand the existing indoor and outdoor seating areas associated with the Exchange Cafe located in Bartley Hall. The existing building is located within the PI Zoning District. There was a brief discussion amongst the Commissioners, staff and the applicant.

FINANCE & AUDIT

None

PUBLIC SAFETY

None

PARKS & RECREATION

None

LIBRARY

None

PUBLIC HEALTH

None

Old Business

None

New Business

Commissioner Fisher requested that he would like to see that another Commissioner would continue to highlight sections of the Department Reports to point out the amount of work that is done by the departments.

The Commissioners gave their appreciation to Commissioner Fisher for his years of service.

Public Participation

None

There being no further business, the meeting adjourned on a motion duly made and seconded.

Respectfully submitted,

Jennifer DeStefano

RADNOR TOWNSHIP
DISBURSEMENTS SUMMARY
January 4, 2016

The table below summarizes the amount of disbursements made since the last public meeting held on December 21, 2015. As approved by the Board, the Administration is now making weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code.

Link: <http://www.radnor.com/egov/apps/document/center.egov?path=browse&id=22>


Fund (Fund Number)	2015-12E December 18, 2015	2015-12F December 24, 2015	Total
General Fund (01)	96,165.08	114,764.41	\$210,929.49
Sewer Fund (02)	4,504.80	965.00	5,469.80
Liquid Fuels Fund (03)	0.00	284,351.24	284,351.24
Storm Sewer Management (04)	15,222.60	4,092.45	19,315.05
Capital Improvement Fund (05)	5,668.99	140,799.80	146,468.79
Police Pension Fund (07)	5,774.00	0.00	5,774.00
Escrow Fund (10)	4,800.00	0.00	4,800.00
Civilian Pension Fund (11)	6,062.00	0.00	6,062.00
Police K-9 Fund (17)	47.29	0.00	47.29
\$8 Million Settlement Fund (18)	25,430.06	0.00	25,430.06
The Willows Fund (23)	429.05	0.00	429.05
Library Improvement Fund (24)	0.00	13,507.88	13,507.88
Total Accounts Payable			
Disbursements	164,103.87	558,480.78	\$722,584.65
<i>Electronic Disbursements</i>	n/a	n/a	1,429,453.09
Grand Total	164,103.87	558,480.78	\$2,152,037.74

In addition to the accounts payable checks, the Township also has various electronic payments including payroll, debt service, credit card purchases and fees as well as others from time to time. The attached table reflects all of the electronic payments made since the last public Board meeting as well as those anticipated prior to the next Board meeting.

The Administration has adopted various internal control and processing procedures to insure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored on a daily basis by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

Respectfully Submitted,


 William M. White
 Finance Director

ELECTRONICALLY PAID DISBURSEMENT LISTING

Estimated Through January 25, 2016

Description	Account No.	Date	Purpose	Amount
Credit Card Revenue Fees - Estimated	Various Funds	1/10/2016	12/15 Credit Card Revenue Processing Fees	\$3,500.00 *
Credit Card Revenue Fees - Actual	01-Variou	12/10/2015	11/15 Credit Card Revenue Processing Fees	\$3,426.30
Debt Payment	Various Funds	1/15/2016	US Bank GOB Series A 2013	\$26,848.36
Debt Payment	Various Funds	1/15/2016	US Bank GOB Series B 2013	\$259,675.00
Payroll [Pension] Transaction - Estimated	07-492-4980	1/1/2016	12/15 Police Pension Payments	\$171,497.64
Payroll [Pension] Transaction - Estimated	11-495-4980	1/1/2016	11/15 Civilian Pension Payments	\$133,705.79
Payroll [Bi-Weekly] Transaction - Estimated	01-various	12/31/2015	Salaries and Payroll Taxes - General Fund	\$400,000.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	12/31/2015	Salaries and Payroll Taxes - Sewer Fund	\$15,000.00
Payroll [Bi-Weekly] Transaction - Estimated	17-various	12/31/2015	Salaries and Payroll Taxes - K-9 Fund	\$400.00
Payroll [Bi-Weekly] Transaction - Estimated	01-various	1/14/2016	Salaries and Payroll Taxes - General Fund	\$400,000.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	1/14/2016	Salaries and Payroll Taxes - Sewer Fund	\$15,000.00
Payroll [Bi-Weekly] Transaction - Estimated	17-various	1/14/2016	Salaries and Payroll Taxes - K-9 Fund	\$400.00
Period Total				\$1,429,453.09

Submitted: _____

* Credit card fees are charged to the Township's accounts on the tenth of the month

<u>Original Estimate</u>			<u>Actual Amount</u>
\$663,000.00	12/17/2015	Salaries and Payroll Taxes - General Fund	\$690,668.39
\$18,000.00	12/17/2015	Salaries and Payroll Taxes - Sewer Fund	\$19,663.52
\$400.00	12/17/2015	Salaries and Payroll Taxes - K-9 Fund	\$398.52
\$681,400.00			\$710,730.43

RADNOR TOWNSHIP POLICE DEPARTMENT

301 Iven Avenue
Wayne, Pennsylvania 19087-5297
(610) 688-0503 ✉ Fax (610) 688-1238

William A. Colarulo
Police Superintendent

- TO:** A Staff Traffic Committee Meeting was held on December 16, 2015 and was attended by Paul Bazik and Bill Cassidy, Public Works, Lieutenant Christopher Flanagan, Officer Raymond Matus and Officer Alex Janoski, Highway Patrol; Bill Gallagher, Director of Parking; Mary Ann Donnelly, Administrative Assistant; Crispin May, Laura Marchesani, Sean Dineen, Michael Richardson, Tim Sullivan and Rob Murdocca, Radnor residents.
- RE: STAFF TRAFFIC COMMITTEE MEETING HELD IN THE POLICE ROLL CALL ROOM, WEDNESDAY, DECEMBER 16, 2015, 10:00 AM.**

NEW BUSINESS:

1. Kristen May from Rodney Road would like changes made to the current parking restrictions on Rodney Road.

A private, online petition was sent to 40 residents on Braxton Road and Rodney Road with 75% of residents in agreement to make changes to the current parking restrictions. Since signs are posted, there must be enforcement. Permit parking is a possibility or hourly restrictions. A meeting will be scheduled at the Township Building. Residents will contact Bill Gallagher, Director of Parking, to schedule a meeting regarding parking on Rodney Road.

2. James Sullivan is requesting Meredith Avenue become a one-way roadway. The roadway is narrow with parking permitted on the street.

James Sullivan will have a petition signed by neighbors on Meredith Avenue and Eachus Avenue. 80% signatures are needed from Eachus Avenue and Meredith Avenue. The petition should be returned to Traffic Safety within 30 days.

3. Samuel Horsey from Wentworth Lane requests a handicapped parking space be placed in front of his residence.

The request for a handicapped parking space is denied. The resident has a driveway to accommodate their needs.

4. Laura Marchesani from Eachus Avenue requests permit parking on Eachus and Meredith Avenues. In addition, she is requesting parking spaces painted on Eachus and Meredith Avenues.

All residents with the exception of two homes have driveways, which doesn't fit the requirements for permit parking. Staff Traffic will look at the sign posted on Eachus Avenue at north way terminal point, to see if it can be relocated to accommodate an additional parking space.

5. Sean Dineen has concerns with speeding on Midland Avenue and is requesting speed humps be installed for traffic calming.

A traffic counter was placed on Midland Avenue for seven days from 12/8/15 until 12/15/15. The average speed was 25 mph; 85th percentile speed was 32 mph. Based on the criteria, a speed hump can be placed anywhere near a park entrance. In addition, the Public Works Department will seek approval to have Amy Kaminski, Traffic Engineer, evaluate other options for traffic calming measures on Midland Avenue. Public Works will place green delineators on the Watch Children signs on Midland Avenue.

OLD BUSINESS

1. Sandy Kheradi expressed concerns regarding speeding on South Wayne Avenue.

A traffic counter was placed at 316 South Wayne Avenue for seven days from 11/30/15 until 12/7/15. The average speed was 34 mph; 85th percentile speed was 39 mph. Officers will be directed to conduct added speed enforcement on South Wayne Avenue.

RESOLUTION NO. 2016-01

A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, APPROVING THE PURCHASE OF FOUR NEW VEHICLES FOR USE BY THE RADNOR TOWNSHIP POLICE DEPARTMENT.

WHEREAS, the Radnor Township Police Department is seeking to replace four (4) of its vehicles currently being utilized by its Patrol Division; and

WHEREAS, the new vehicles can be purchased under the Pennsylvania's COSTARS Program for \$213,915.00; and

WHEREAS, the new vehicles consists of (1) Ford Expedition (AWD) and (1) Ford Escape (AWD) (1) Ford Van and (1) Ford Pick Up Truck (AWD); and

WHEREAS, the new vehicles will be purchased under 2016 Police Capital Fund for \$213,915.00.

NOW, THEREFORE, it is hereby *RESOLVED* that the Radnor Township Board of Commissioners does hereby approve the purchase of four (4) new vehicles for use by the Radnor Township Police Department in an amount not to exceed \$213,915.00.

SO RESOLVED, this 4th day of January A.D., 2016.

RADNOR TOWNSHIP

By: _____
Name: James C. Higgins
Title: President

ATTEST: _____
Robert A. Zienkowski, Township Manager/Secretary

Radnor Township
PROPOSED LEGISLATION

DATE: 12/29/2015
TO: Robert A. Zienkowski, Township Manager
FROM: Christopher Flanagan, Lieutenant
LEGISLATION: Resolution to purchase the four (4) new 2016 Ford Police Vehicles

LEGISLATIVE HISTORY: Request for legislation/new

PURPOSE AND EXPLANATION: The Radnor Township Police Department requests to purchase four (4) vehicles; (1) Ford Expedition (AWD); (1) Ford Escape (AWD); (1) Ford Full Size Van; and (1) Ford Pick Up Truck (AWD).

FISCAL IMPACT: \$213,915.00. The vehicles purchased will be drawn from the 2016 Pennsylvania COSTARS Program. The funds for this purchase requisition will come from the 2016 Capital Improvement Fund #05-410.4830.

The cost for the purchase of the vehicles is as follows:

Ford Expedition (AWD)	\$45,000.00
Ford Escape (AWD)	\$25,672.00
Ford Full Size Van (AWD)	\$95,624.00
Ford Full Size Truck (AWD)	<u>\$47,619.00</u>
	\$213,915.00

RECOMMENDED ACTION: I recommend the Legislation be passed to purchase four (4) vehicles to be utilized by the Radnor Township Police Department.

MOVEMENT OF LEGISLATION: Adoption at the January 4, 2016 Board of Commissioners Meeting.

Green Light a Vet
Presentation by the
Township Manager

**RADNOR TOWNSHIP, DELAWARE COUNTY, PA
RESOLUTION NO. 2016-02**

**RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE
TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA,
AMENDING THE EMPLOYMENT AGREEMENT OF THE TOWNSHIP
MANAGER.**

WHEREAS, the Board of Commissioners approved Resolution No. 2010-12 appointing Robert Zienkowski to the office of Township Manager pursuant to an Employment Agreement effective May 1, 2010; and

WHEREAS, the Board of Commissioners amended the existing May 1, 2012 Employment Agreement of the Township Manager pursuant to Resolutions No. 2012-80 and 2013-130; and

WHEREAS, the Township Manager has never had an increase in compensation; and

WHEREAS, the Township Manager recommended and accepted a \$6,000 annual salary decrease to \$176,000 (Annual Salary) effective January 1, 2015; and

WHEREAS, the Township Manager accumulated \$14,601.70 worth of unused vacation and personal time for 2015; and

WHEREAS, the Board of Commissioners and Township Manager desire to further amend the May 1, 2010 Employment Agreement to address these matters.

NOW, THEREFORE, be it hereby *RESOLVED*, that the Board of Commissioners does hereby revise the May 1, 2010 Township Manager Employment Agreement, as amended, and authorize the Township Solicitor to prepare the required contract addendum, including the following revisions:

1. Revising Article IV - Compensation, Benefits, Section D. by lowering the number of annual vacation days to seventeen (17) starting for the 2016 calendar year.
2. Revising Article IV - Compensation, Benefits by adding a new Section, "H", which shall read as follows: "In consideration of Manager's unused vacation and personal time for 2015, Township shall make a one-time payment of \$4,500.00 to Manager on or before January 31, 2016."
3. Revising Article IV – Compensation, Benefits, Section A. to provide a 2% salary increase to Manager's Annual Salary for calendar year 2016, effective January 1, 2016.

SO RESOLVED, this _____ day of _____, 2016.

RADNOR TOWNSHIP

By: _____

Name: James C. Higgins

Title: President

ATTEST: _____
William A. White, Assistant Secretary

As of December 31, 2015, the Township Manager will have 151 hours remaining of unused Vacation & Personal time hours that have been provided under his current contract.

The Township Manager has asked the Board of Commissioners to consider rolling over 121 hours of Vacation time to be used during the first quarter of 2016. In consideration of rolling over this time, the Township Manager proposes to voluntarily lose the 30 hours Personal time in this process.

In lieu of rolling over the 121 hours of Vacation benefit time into the first quarter of 2016, the Township Manager is also respectfully asking the Board of Commissioners to consider a one-time buyback of the unused time at a reduced hourly rate. The current value of the unused time is as follows:

Vacation hours	121
Personal hours	30
Total hours	151
x hourly rate of	\$96.70
Value of unused time	<u>\$14,601.70</u>

The buyback proposal would be for vacation time only and at 38.45% of the current hourly rate which calculates as follows:

Vacation hours	121
x hourly rate at 38.45%	<u>\$37.19</u>
Manager's proposed Amount	<u>\$4,500.00</u>

Additional Reference Information

The Township Manager has not received a salary increase since being appointed on May 10, 2010. However, in January of 2015, the Township Manager voluntarily took a \$6,000 salary reduction.

In addition the Manager's contributions to healthcare premiums have exceeded the contributions of the FOP, RATE and non-union staff. Contributions are depicted as follows:

Years	2015	2014	2013	2012	2011	2010
FOP – pre 2013	-0-	-0-	-0-	-0-	-0-	-0-
FOP – post 2013	7%	7%	7%	n/a	n/a	n/a
RATE – pre 2014	7%	7%	7%	7%	7%	7%
RATE – post 2014	10%	10%	n/a	n/a	n/a	n/a
Non-Union	7%	7%	7%	7%	7%	7%
Township Manager	13%	12%	11%	10%	7%	7%

The Township Manager's sick time utilization over the past six years is as follows:

Years	2015	2014	2013	2012	2011	2010
Sick Hours Used	-0-	-0-	7	42	-0-	-0-

In accordance with the Township's Flex-Time Policy, the Township Manager has accumulated 224 hours in 2015. The Township Manager has not utilized any of these hours.

In 2013 as part of a campaign by the Police Department to give time to an Officer during recovery from a non-work related heart attack, fellow officers and other Township staff donated sick time for the benefit of the Officer. The Township Manager was happy to donate 36 hours of sick time to the Officer in 2013.

Reduction in Vacation Time

By reducing the Manager's vacation time from 22 days to 17 days, the value of those 5 days is calculated as follows based on his 2015 rate:

Vacation hours	35
x hourly rate of	<u>\$96.70</u>
Value of unused time	<u>\$3,384.50</u>

Base Increase – 2%

The increase of 2% in the Manager's base rate for 2016 equates to the following:

Base annual salary 2015	\$176,000.00
Increase – 2%	\$ 3,520.00

The 2% salary increase measured against the value of the reduction in vacation time results in a net increase in the Manager's compensation of \$135.50 or 0.077% annually.

**RESOLUTION NO. 2016-03
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, APPROVING THE PRELIMINARY/FINAL PLAN
OF VILLANOVA UNIVERSITY, BARTLEY EXCHANGE AND
ENTRANCE PLAZA FOR A PROPERTY LOCATED AT 800 EAST
LANCASTER AVENUE.**

WHEREAS, Villanova University (“Applicant”) submitted a Preliminary/Final Land Development Plan to renovate and expand the indoor and outdoor seating areas associated with the Bartley Exchange located within and adjacent to the Bartley Hall located at 800 East Lancaster Avenue within the Township’s PI Zoning District (“Property”); and

WHEREAS, the Radnor Township Planning Commission and the Delaware County Planning Commission have reviewed the Applicant’s Preliminary/Final Plan submission; and

NOW, THEREFORE, be it hereby *RESOLVED* that the Radnor Township Board of Commissioners does hereby approve the Bartley Exchange & Entrance Plaza Preliminary/Final Land Development Plans of Associated Engineering Consultants, Inc., consisting of thirteen (13) sheets and dated November 4, 2015 (“Plan”), subject to the following Preliminary/Final Plan Approval conditions:

1. Compliance with correspondence of Gannett Fleming dated December 14, 2015 attached hereto and incorporated herein as *Exhibit “A”*.
2. Compliance with correspondence of Gilmore & Associates dated November 25, 2015 attached hereto and incorporated herein as *Exhibit “B”*.
3. The Applicant shall obtain all required approvals from various agencies having jurisdiction over the Project, including, but not limited to, the Pennsylvania Department of Environmental Protection, the Delaware County Conservation District, and the Pennsylvania Department of Transportation.
4. The Applicant shall execute Development, and Financial Security Agreements and Documents (including all necessary agreements, easements, deeds, and declarations), all in a form and manner established and approved by the Township Solicitor and shall post sufficient financial security in a form acceptable to the Township.
5. Applicant shall submit to the Township Engineer for review all necessary legal descriptions and construction cost estimates of the site improvements.
6. Prior to the recording of the Plan, the Applicant shall have paid, in full, all appropriate fees applicable to this project including all outstanding legal, engineering and

administrative fees, as well as any other outstanding bills from the Township's professional consultants.

7. All documentation shall be executed prior to recording of the Plan.

8. The Applicant shall specifically comply with all other applicable Township Ordinances with respect to sewage, stormwater management, zoning, and building codes, as well as comply with all other applicable Township, County, Commonwealth, and Federal rules, regulations, codes, ordinances, and statutes.

IN ADDITION to the foregoing conditions of Preliminary/Final Plan Approval, the Board's determinations with respect to the following waiver requests are as follows:

a. Stormwater Ordinance §245-22.A(2)(c) - The Applicant requests that the requirement to infiltrate runoff from the impervious areas be waived since the infiltration rate at the site has been tested and was found to be zero.

_____ Approved _____ Denied

b. Stormwater Ordinance §245-25.8 - The Applicant requests that the requirement to reduce the peak rate of the proposed condition 2-year and 5-year storms to the present condition 1-year and 2-year storms be waived.

_____ Approved _____ Denied

c. SALDO §255-12.A - The applicant requests that the requirement to obtain separate preliminary and final land development approvals be waived since this proposed project is a minor land development project.

_____ Approved _____ Denied

d. SALDO §255-20.B(5) - The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff populations will increase as a result of this project.

_____ Approved _____ Denied

RESOLUTION NO. 2016-03
RADNOR TOWNSHIP
(Bartley Exchange & Entrance Plaza)

SO RESOLVED, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this ____ day of _____, 2015.

RADNOR TOWNSHIP

By: _____
Name: James C. Higgins
Title: President

ATTEST: _____



Gannett Fleming

100 Years

of Excellence Delivered As Promised

Date: December 14, 2015

To: Radnor Township Board of Commissioners

From: Roger Phillips, PE

cc: Robert Zienkowski – Township Manager
Stephen Norcini, P.E. – Director of Public Works
Kevin W. Kochanski, RLA, CZO – Director of Community Development
John Rice, Esq – Grim, Biehn, and Thatcher
Amy Kaminski, PE – Gilmore and Assoc.
Steve Gabriel - Rettew

RE: Bartley Exchange and Entrance Plaza Project
Villanova University – Applicant

Date Accepted: December 7, 2015

90 Day Review: March 6, 2016

Gannett Fleming, Inc. has completed a review of the Bartley Exchange Preliminary Land Development Plan for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor.

The applicant is proposing to expand the existing indoor and outdoor seating areas associated with the Exchange Café located in Bartley Hall. The existing building is located within the PI Zoning District.

Plans Prepared By: Associated Engineering Consultants Incorporated

Dated: 11/04/2015

The applicant has indicated in the transmittal letter and listed on the plan that the following waivers are being requested for this project:

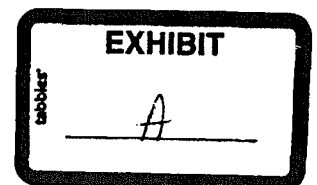
- §245-22.A(2)(c) – Regarding groundwater recharge requirements. The applicant requests that the requirement to infiltrate runoff from the impervious areas be waived since the infiltration rate at the site has been tested and was found to be zero.
- §245-25.B – Regarding peak rate control standards. The applicant requests that the requirement to reduce the peak rate of the proposed condition 2-year and 5-year storms to the present condition 1-year and 2-year storms to be waived. Since the project area is so small, the proposed condition 2-year storm is 0.44 CFS and the present condition 1-year

Gannett Fleming, Inc.

P.O. Box 80794 • Valley Forge, PA 19484-0794 | 1010 Adams Avenue • Audubon, PA 19403-2402

t. 610.650.8101 • f. 610.650.8190

www.gannettfleming.com



storm is 0.39CFS. The proposed conditions 5-year storm is 0.61 CFS and the present condition 2-year storm is 0.57 CFS. All other design storms meet the peak rate control standards in the code.

- §255-12.A – The applicant requests that the requirement to obtain separate preliminary and final land development approvals be waived since this proposed project is a minor land development project.
- §255-20.B(5) – The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff population will increase as a result of this project.

The applicant appeared before the Planning Commission on December 8, 2015. The Planning Commission recommended approval the preliminary /final plans conditioned on full compliance and guidance with staff as well as granting the requested waivers. The applicant has submitted additional information on December 10, 2015 as requested at the December 8, 2015 Planning Commission Meeting.

I. Zoning

1. §280-69.C – No building or structure shall exceed three stories or 38 feet. Bartley Hall is 4 stories/ 46.75 feet. The applicant has indicated continuance of the existing nonconformity.
2. §280-69.D – No building or permanent structure shall be located less than 120 feet from a street right-of-way line. The existing setback along Ithan Avenue is 60 feet. The applicant has indicated continuance of the existing nonconformity.
3. §280-69 – The applicant has indicated on the Zoning Table provided on Sheet 2 that the total impervious coverage will increase from 37.63% to 37.65%. The table also indicates that 3,195 sf of impervious coverage will be removed and 4,430 SF of impervious coverage will be replaced. The areas of impervious coverage must be broken down by area (ex. Sidewalk relocation, Bartley Hall area, etc.) The applicant has provided a revised sheet C0.1 that indicates the breakdown of impervious coverage.
4. §280-103 – The applicant has indicated on the revised sheet C0.1 that there a 7 proposed spaces allocated from the total existing parking spaces on campus. The parking requirement table must be revised to remove the 4 spaces that were originally proposed. The applicant has indicated that there are 202 existing interior seats, 36 existing exterior seats and 222 proposed interior seats and 36 proposed exterior seats. The total increase in seats is 20. The 7 proposed parking spaces were calculated by using one space per three seating accommodations as required by the code.
5. §280-103 – The total existing parking spaces provided on the Parking Requirement table appears to differ slightly from the total existing parking spaces shown on the Lancaster Ave Housing Plans. The total number of parking spaces available on campus after the Lancaster Avenue Housing Project must be verified. The applicant has revised sheet

C0.1 to show the parking to be consistent with the recorded Lancaster Avenue Housing project plans.

II. Subdivision and Land Development

1. §255-20.B(5) – A transportation study shall be undertaken for all major subdivisions and land developments. The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff population will increase as a result of this project.

III. Stormwater

1. §245-22 – Infiltration testing results appear to indicate that the applicant will not be able to infiltrate the required volumes. We note that the applicant has requested a waiver from this requirement. The applicant is providing significant volume storage within the stormtank modules even though infiltration testing results yield 0.00 in/hr (approximately 800 CF by GF check vs. the requirement which is 261 CF (Net 2-yr) according to the applicant's calculation).
2. §245-23 – Infiltration testing results appear to indicate that the applicant will not be able to infiltrate the required volumes. We note that the applicant has requested a waiver from this requirement. The applicant is providing significant volume storage within the stormtank modules even though infiltration testing results yield 0.00 in/hr (approximately 800 CF by GF check vs. the requirement which is 348 CF (WQv) according to the applicant's calculation).
3. §245-25 – Applicant does not appear to meet the peak rate control requirements for this stormwater district. Specifically, the 2-year and 5-year proposed conditions are not reduced to the 1-year and 2-year existing conditions respectively. We note that the applicant has requested a waiver from this requirement. For both peak rate reduction requirements, the applicant is not meeting the requirement by 0.05 CFS. This rate is virtually indiscernible.
4. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

IV General

1. The tree protection detail provided on the plan is not the most current detail. We have attached the updated tree protection detail for the applicants use. The applicant has indicated that the current tree protection detail will be shown on the revised plans.

Gannett Fleming

Radnor Township Board of Commissioners
Bartley Exchange and Entrance Plaza Project
December 14, 2015

We suggest that consideration of final approval be conditioned upon adequately addressing the comments referenced above.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

A handwritten signature in black ink, appearing to read "R. Phillips", is written over the company name "GANNETT FLEMING, INC." and extends slightly below it.

Roger A. Phillips, P.E.
Senior Project Manager



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

MEMORANDUM

Date: November 25, 2015

To: Steve Norcini, P.E.
Radnor Township Public Works Director

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: Kevin Kochanski, ASLA, R.L.A., Director of Community Development
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.
Steve Gabriel, PP, RETTEW
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Villanova University – Bartley Exchange & Entrance Plaza
Preliminary/Final Land Development Review #1
Radnor Township, Delaware County, PA
G&A 15-11036

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the referenced project and offers the following transportation comments for Radnor Township consideration:

A. BACKGROUND

Villanova University is proposing to expand the existing indoor and outdoor seating areas associated with the Exchange Café located in Bartley Hall. The Exchange Café is located on the ground floor along the north side of Bartley Hall across from the campus main entrance guardhouse. The ground floor at this location is recessed approximately four to fourteen feet from the building facade above. This 1,512 square foot covered area provides for the current outdoor seating area. The proposed project is to infill this covered area, adding 1,140 square feet of interior seating space, and reconfigure the existing entrance plaza to provide for a new outdoor seating area. There is no increase in the number of students, faculty, or staff associated with this project. A crosswalk and ADA facilities are also proposed under this project.

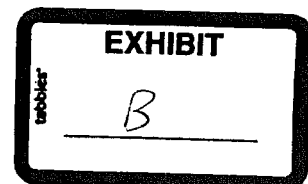
B. DOCUMENTS REVIEWED

1. Preliminary/Final Land Development Plans for Bartley Exchange & Entrance Plaza, consisting of 13 sheets, dated November 4, 2015.
2. Transmittal letter dated November 4, 2015 prepared by Associated Engineering Consultants, Inc.

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901
Phone: 215-345-4330 | Fax: 215-345-8606

www.gilmore-assoc.com



C. WAIVERS REQUESTED

1. §245-22.A(2)(c) The applicant requests that the requirement to infiltrate runoff from the impervious areas be waived since the infiltration rate at the site has been tested and was found to be zero.
2. §245-25.8. The applicant requests that the requirement to reduce the peak rate of the proposed condition 2-year and 5-year storms to the present condition 1-year and 2-year storms be waived.
3. §255-12.A The applicant requests that the requirement to obtain separate preliminary and final land development approvals be waived since this proposed project is a minor land development project.
4. §255-20.B(5) The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff populations will increase as a result of this project.

Comment: Based on no net increase in the student and staff populations resulting from this project, G&A does not have an engineering objection to this request.

D. REVIEW COMMENTS

1. Detailed construction information should be provided for all proposed curb ramps. Details should include elevations, slopes and dimensions for each ADA accessible curb ramp. The applicant shall provide ADA compliant curb ramps at the following locations:
 - a. The existing depressed curbs on the east side of the Entrance Plaza and the Health services Driveway should be upgraded to current ADA curb ramp standards.
 - b. The intersection of N. Ithan Avenue and the Entrance Drive should be upgraded to current ADA standards at all corner curb ramps locations.
2. The applicant should consider revising the location of the pedestrian crosswalk near the existing Guard House. The projection of the curb surrounding the Guard House reduces the width of the pedestrian access route as well as creates a condition where vehicles approaching the crossing may not see pedestrians. In addition, the curb ramp at the bottom of the Bartley Hall stairs does not provide appropriate slopes in the wheel chair turning area to access the sidewalk along the entrance drive. Revise the plans to relocate the crosswalk and curb ramps more to the north through the median planting bed to improve motorist visibility of pedestrians and provide creating a pedestrian refuge island. Additionally, a W11-2 "Pedestrian" signs and W16-7P "Diagonal Downward Pointing Arrow Plaque" signs should be placed adjacent to the crosswalk facing vehicles approaching on both sides of the crosswalk.

3. Revise the curb ramp adjacent Bartley Hall to a Type 2 curb ramp to provide an appropriate landing area and to accommodate wheel chair turn movements. Refer to PennDOT RC-67M for additional details.
4. Revise the proposed crosswalks and corresponding details in accordance with PennDOT Pub 111 TC-8600. Use a minimum crosswalk width of six (6) feet and a minimum spacing of 12 inches between the white thermoplastic markings.
5. Include a stop sign (R1-1) and stop bar on the eastbound approach of the Entrance Drive prior to the proposed crosswalk to create all-way stop control at the intersection. Given the anticipated volume of pedestrian traffic the stop condition should be considered as a safety precaution.
6. Provide ADA compliant curb ramps for the diagonal crosswalk located west of the Guard House.



Gannett Fleming

100 Years

of Excellence Delivered As Promised

Date: December 14, 2015

To: Radnor Township Board of Commissioners

From: Roger Phillips, PE

cc: Robert Zienkowski – Township Manager
Stephen Norcini, P.E. – Director of Public Works
Kevin W. Kochanski, RLA, CZO – Director of Community Development
John Rice, Esq – Grim, Biehn, and Thatcher
Amy Kaminski, PE – Gilmore and Assoc.
Steve Gabriel - Rettew

RE: Bartley Exchange and Entrance Plaza Project
Villanova University – Applicant

Date Accepted: December 7, 2015

90 Day Review: March 6, 2016

Gannett Fleming, Inc. has completed a review of the Bartley Exchange Preliminary Land Development Plan for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor.

The applicant is proposing to expand the existing indoor and outdoor seating areas associated with the Exchange Café located in Bartley Hall. The existing building is located within the PI Zoning District.

Plans Prepared By: Associated Engineering Consultants Incorporated
Dated: 11/04/2015

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storm is 0.39CFS. The proposed conditions 5-year storm is 0.61 CFS and the present condition 2-year storm is 0.57 CFS. All other design storms meet the peak rate control standards in the code.

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The applicant appeared before the Planning Commission on December 8, 2015. The Planning Commission recommended approval the preliminary /final plans conditioned on full compliance and guidance with staff as well as granting the requested waivers. The applicant has submitted additional information on December 10, 2015 as requested at the December 8, 2015 Planning Commission Meeting.

I. Zoning

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III. Stormwater

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3. §245-25 – Applicant does not appear to meet the peak rate control requirements for this stormwater district. Specifically, the 2-year and 5-year proposed conditions are not reduced to the 1-year and 2-year existing conditions respectively. We note that the applicant has requested a waiver from this requirement. For both peak rate reduction requirements, the applicant is not meeting the requirement by 0.05 CFS. This rate is virtually indiscernible.
4. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

IV. General

1. The tree protection detail provided on the plan is not the most current detail. We have attached the updated tree protection detail for the applicant's use. The applicant has indicated that the current tree protection detail will be shown on the revised plans.

We suggest that consideration of final approval be conditioned upon adequately addressing the comments referenced above.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

A handwritten signature in black ink, appearing to read 'R. Phillips', is written over the company name.

Roger A. Phillips, P.E.
Senior Project Manager



Associated Engineering Consultants Incorporated

485 Devon Park Drive Suite 113 Wayne Pennsylvania 19087 tel 610 688 3980 fax 610 688 4566

December 10, 2015

Radnor Township
Board of Commissioners
301 Iven Avenue
Wayne, PA 19087

**Re: Villanova University
Bartley Exchange and Entrance Plaza Project
Responses to Review Letters
AEC Project No.: 0531.003**

Dear Members of the Board:

The Villanova University Bartley Exchange and Entrance Plaza project received Preliminary/ Final Land Development conditional approval from the Planning Commission at their monthly meeting on Monday December 7, 2015, contingent on the applicant addressing the comments to the satisfaction of the Township and Traffic Engineer.

Associated Engineering Consultants, Inc. (AEC) received the review letters from Gannett Fleming, Inc., dated December 1, 2015 and Gilmore and Associates, Inc., dated November 25, 2015, and offer the following responses to each.

Gannett Fleming, Inc. Review Letter dated December 1, 2015:

Zoning:

1. 280-69.C – No building or structure shall exceed three stories or 38 feet. Bartley Hall is 4 stories/ 46.75 feet. The applicant has indicated continuance of this existing nonconformity.

No change is proposed to the existing nonconformity.

2. 280-69.D – No building or permanent structure shall be located less than 120 feet from a street right-of-way line. The existing setback along Ithan Avenue is 60 feet. The applicant has indicated continuance of this existing nonconformity.

No change is proposed to the existing nonconformity.

3. 280-69 – The applicant has indicated on the Zoning Table provided on Sheet 2 that the total impervious coverage will increase from 37.63% to 37.65%. The table also indicates that 3,195 SF of impervious coverage will be removed and 4,430 SF of impervious coverage will be replaced. The areas of impervious coverage must be broken down by area (ex. Sidewalk relocation, Bartley Hall area, etc.).

The areas of impervious coverage will be broken down by area and added to the Zoning Table.

4. 280-103 – The applicant has indicated on Sheet 2 that 4 parking spaces for the 1,140 SF (1 space/300 SF unspecified use) of building area have been allocated out of the total existing available parking spaces on campus.

Per the discussion at the Planning Commission meeting on December 7, the number of parking spaces allocated for the project will be increased from 4 to 7. The updated parking calculations will be shown on the revised plans.

5. 280-103 – The total existing parking spaces provided on the Parking Requirement table appears to differ slightly from the total existing parking spaces shown on the Lancaster Avenue Housing Plans. The total number of parking spaces available on campus after the Lancaster Avenue Housing Project must be verified.

The total existing available parking spaces on campus was shown in the table as 5,133. However, the correct number of spaces is 5,126, which matches the recorded Lancaster Avenue Housing project plans. The correct number of existing spaces will be shown on the revised plans.

Subdivision and Land Development:

1. 255-20.B(5) – A transportation study shall be undertaken for all major subdivisions and land developments. The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff population will increase as a result of this project.

Gilmore and Associates, Inc. does not object to the request for this waiver.

Stormwater:

1. 245-22 – Infiltration testing results appear to indicate that the applicant will not be able to infiltrate the required volumes. We note that the applicant has requested a waiver from this requirement. The applicant is providing significant volume storage within the StormTank modules even though the infiltration testing results yield 0.00 in/hr (approximately 800 CF by GF check vs. the requirement which is 261 CF (Net 2-yr) according to the applicant's calculation).

No comment.

2. 245-23 – Infiltration testing results appear to indicate that the applicant will not be able to infiltrate the required volumes. We note that the applicant has requested a waiver from this requirement. The applicant is providing significant volume storage within the StormTank modules even though the infiltration testing results yield 0.00 in/hr (approximately 800 CF by GF check vs. the requirement which is 348 CF (WQv) according to the applicant's calculation).

No comment.

3. 245-25 – Applicant does not appear to meet the peak rate control requirements for this stormwater district. Specifically, the 2-year and 5-year proposed conditions are not reduced to the 1-year and 2-year existing conditions, respectively. We note that the applicant has requested a waiver from this requirement. For both peak rate reduction requirements, the applicant is not meeting the requirement by 0.05 CFS. This rate is virtually indiscernible.

While the project does not meet the peak rate requirements as specified in the Township Code for the 2-year and 5-year proposed conditions, the proposed conditions peak rate is between 18% and 32% less than the existing conditions peak rate for each storm event.

4. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

No comment.

General:

1. The tree protection detail provided on the plan is not the most current detail. We have attached the updated tree protection detail for the applicant's use.

The current tree protection detail will be shown on the revised plans.

Gilmore and Associates, Inc. Review Letter dated November 25, 2015:

1. Detailed construction information should be provided for all proposed curb ramps. Details should include elevations, slopes and dimensions for each ADA accessible curb ramp. The applicant shall provide ADA compliant curb ramps at the following locations:
 - a. The existing depressed curbs on the east side of the Entrance Plaza and the Health Services driveway should be upgraded to current ADA curb ramp standards.
 - b. The intersection of N. Ithan Avenue and the Entrance Drive should be upgraded to current ADA standards at all corner curb ramp locations.

The existing curb ramps will be field verified for compliance and upgraded as required.

2. The applicant should consider revising the location of the pedestrian crosswalk near the existing Guard House. The projection of the curb surrounding the Guard House reduces the width of the pedestrian access route as well as creates a condition where vehicles approaching the crossing may not see pedestrians. In addition, the curb ramp at the bottom of the Bartley Hall stairs does not provide appropriate slopes in the wheel chair turning area to access the sidewalk along the entrance drive. Revise the plans to relocate the crosswalk and curb ramps more to the north through the median planting bed to improve motorist visibility of pedestrians and provide creating a pedestrian refuge island. Additionally, a W11-2 "Pedestrian" sign and W16-7P "Diagonal Downward Pointing Arrow

Plaque" sign should be placed adjacent to the crosswalk facing vehicles approaching on both sides of the crosswalk.

As per our discussion and agreement with Amy Kaminski from Gilmore & Associates, the pedestrian crosswalk will be relocated to the west, adjacent to the planting bed. This will move the curb ramp at the bottom of the Bartley Hall stairs, which will be revised as requested.

3. Revise the curb ramp adjacent to Bartley Hall to a Type 2 curb ramp to provide an appropriate landing area and to accommodate wheel chair turn movements. Refer to PennDOT RC-67M for additional details.

The curb ramp will be revised to a Type 2 as requested.

4. Revise the proposed crosswalks and corresponding details in accordance with PennDOT Pub 111 TC-8600. Use a minimum crosswalk width of six (6) feet and a minimum spacing of 12 inches between the white thermoplastic markings.

The crosswalk will be revised as requested.

5. Include a stop sign (R1-1) and stop bar on the eastbound approach of the Entrance Drive prior to the proposed crosswalk to create all-way stop control at the intersection. Give the anticipated volume of pedestrian traffic the stop condition should be considered as a safety precaution.

As per the discussion at the Planning Commission meeting, the stop sign is no longer required since the crosswalk is being relocated.

6. Provide ADA compliant curb ramps for the diagonal crosswalk located west of the Guard House.

There are existing curb ramps with detectable warning surfaces at the diagonal crosswalk that were not shown on the plan. They will be added to the plan and checked for compliance.

Shade Tree Commission

The project also received Conditional Approval from the Shade Tree Commission at their monthly meeting on December 1, 2015, provided the following conditions are addressed:

- The species and caliper of the trees adjacent to the project area be identified on the revised plans.
- Temporary tree protection fence be added around the three trees in the entrance drive island and around the tree in the island next to the proposed sidewalk work.

The above information will be added to the revised plans.

Radnor Township
Board of Commissioners
Re: Villanova University Bartley Exchange and Entrance Plaza
Responses to Review Letters
December 10, 2015
Page 5 of 5

Villanova University agrees to comply with all the review comments as stated above. If you have any questions or need more information, please let us know.

Sincerely,

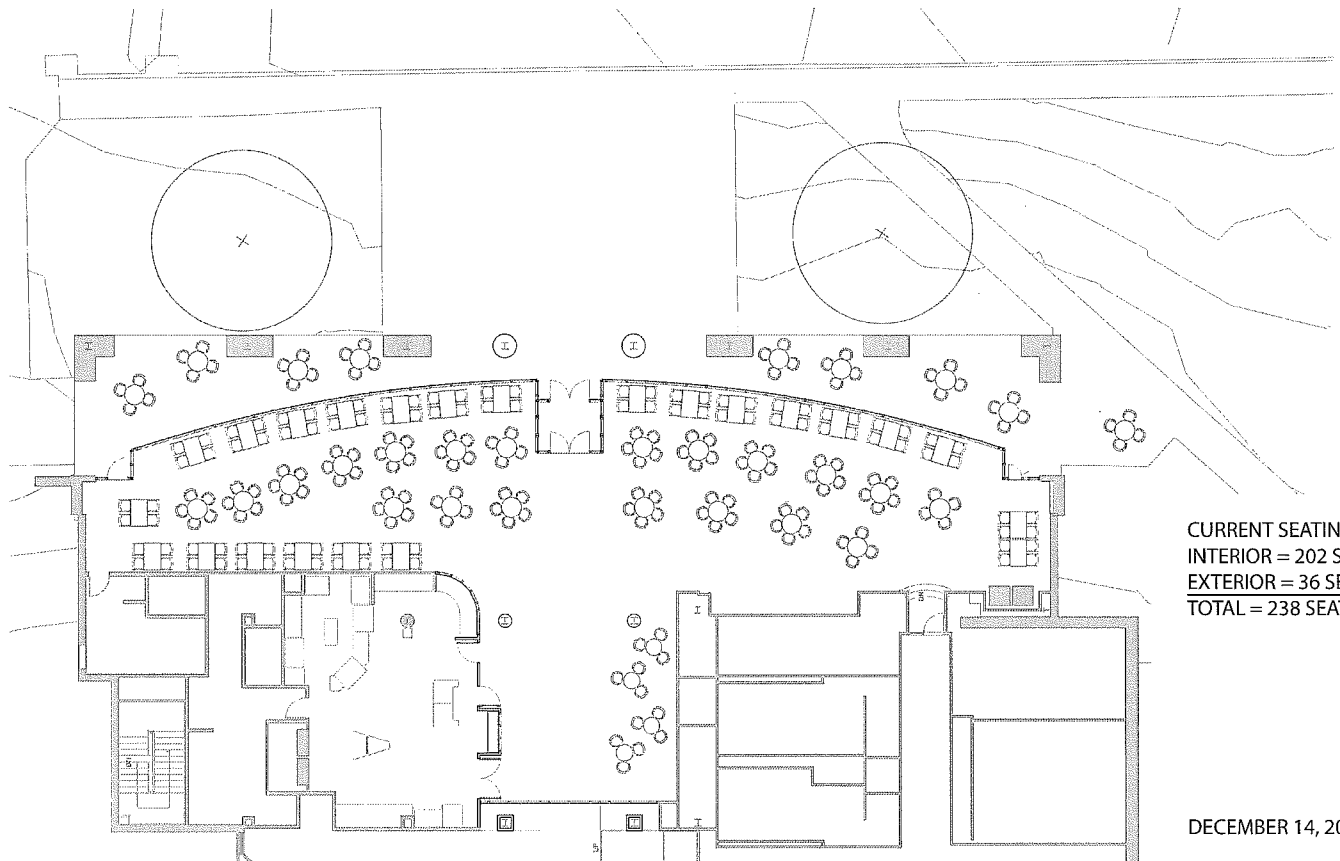
Associated Engineering Consultants, Inc.

A handwritten signature in black ink that reads "Brenden Dorley". The signature is written in a cursive, slightly slanted style.

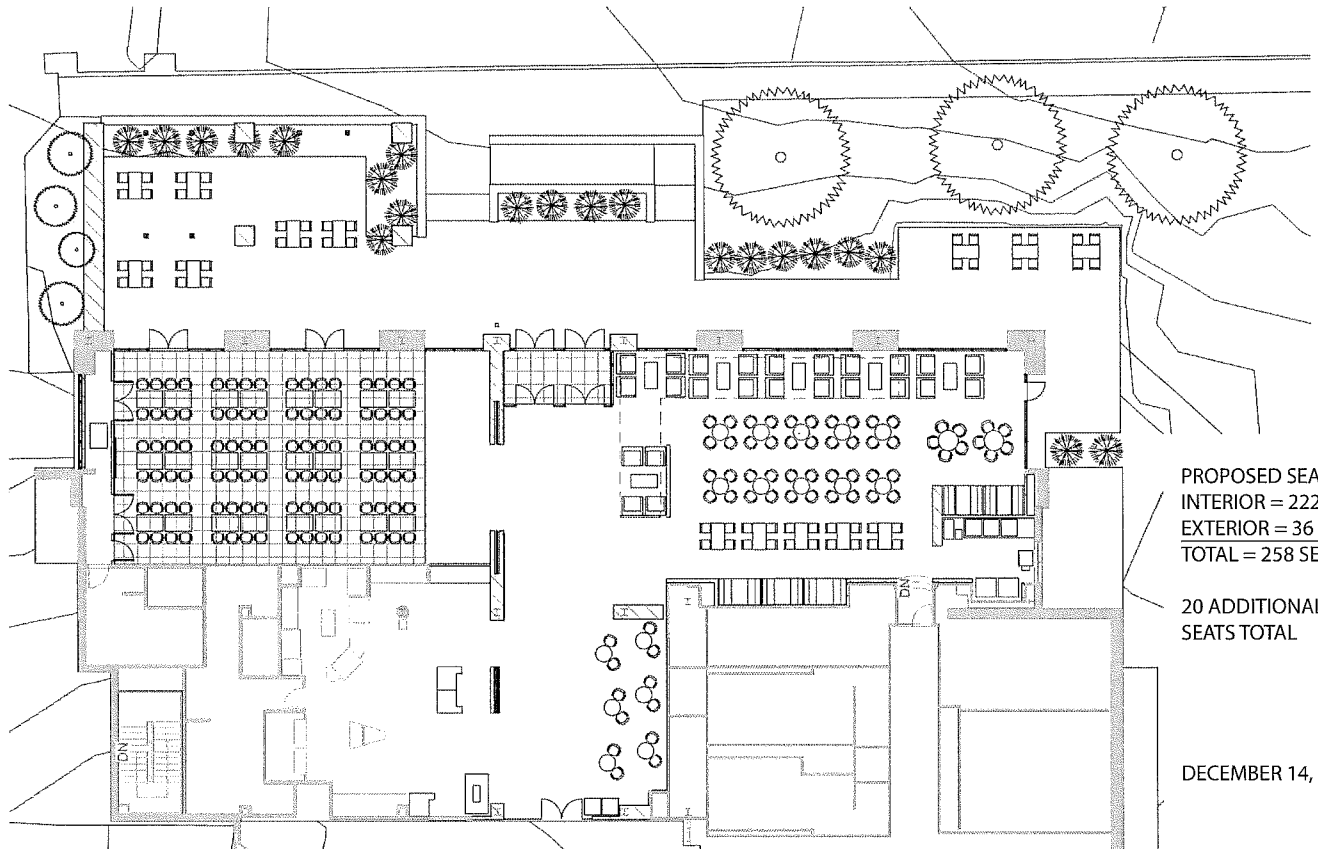
Brenden Dorley, P.E.
Project Engineer

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Bartley Hall – Current Condition



Bartley Hall – Proposed



PROPOSED SEATING COUNT
 INTERIOR = 222 SEATS
 EXTERIOR = 36 SEATS
 TOTAL = 258 SEATS

20 ADDITIONAL SEATS TOTAL

DECEMBER 14, 2015



Gannett Fleming

100 Years

of Excellence Delivered As Promised

Date: December 1, 2015

To: Radnor Township Planning Commission

From: Roger Phillips, PE

cc: Stephen Norcini, P.E. – Director of Public Works
Kevin W. Kochanski, RLA, CZO – Director of Community Development
Peter Nelson, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Suzan Jones – Radnor Township Engineering Department
William Miller – Radnor Township Codes Official
Ray Daly – Radnor Township Codes Official
Steve Gabriel - Rettew

RE: Bartley Exchange and Entrance Plaza Project
Villanova University – Applicant

Date Accepted: December 7, 2015

90 Day Review: March 6, 2016

Gannett Fleming, Inc. has completed a review of the Bartley Exchange Preliminary Land Development Plan for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor.

The applicant is proposing to expand the existing indoor and outdoor seating areas associated with the Exchange Café located in Bartley Hall. The existing building is located within the PI Zoning District.

Plans Prepared By: Associated Engineering Consultants Incorporated

Dated: 11/04/2015

The applicant has indicated in the transmittal letter and listed on the plan that the following waivers are being requested for this project:

- §245-22.A(2)(c) – Regarding groundwater recharge requirements. The applicant requests that the requirement to infiltrate runoff from the impervious areas be waived since the infiltration rate at the site has been tested and was found to be zero.
- §245-25.B – Regarding peak rate control standards. The applicant requests that the requirement to reduce the peak rate of the proposed condition 2-year and 5-year storms to the present condition 1-year and 2-year storms to be waived. Since the project area is so small, the proposed condition 2-year storm is 0.44 CFS and the present condition 1-year storm is

Gannett Fleming, Inc.

P.O. Box 80794 • Valley Forge, PA 19484-0794 | 1010 Adams Avenue • Audubon, PA 19403-2402

t: 610.650.8101 • f: 610.650.8190

www.gannettfleming.com



0.39CFS. The proposed conditions 5-year storm is 0.61 CFS and the present condition 2-year storm is 0.57 CFS. All other design storms meet the peak rate control standards in the code.

- §255-12.A – The applicant requests that the requirement to obtain separate preliminary and final land development approvals be waived since this proposed project is a minor land development project.
- §255-20.B(5) – The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff population will increase as a result of this project.

I. Zoning

1. §280-69.C – No building or structure shall exceed three stories or 38 feet. Bartley Hall is 4 stories/ 46.75 feet. The applicant has indicated continuance of the existing nonconformity.
2. §280-69.D – No building or permanent structure shall be located less than 120 feet from a street right-of-way line. The existing setback along Ithan Avenue is 60 feet. The applicant has indicated continuance of the existing nonconformity.
3. §280-69 – The applicant has indicated on the Zoning Table provided on Sheet 2 that the total impervious coverage will increase from 37.63% to 37.65%. The table also indicates that 3,195 sf of impervious coverage will be removed and 4,430 SF of impervious coverage will be replaced. The areas of impervious coverage must be broken down by area (ex. Sidewalk relocation, Bartley Hall area, etc.)
4. §280-103 – The applicant has indicated on sheet 2 that 4 parking spaces for the 1,140 SF (1 space/300 SF unspecified use) of building area have been allocated out of the total existing available parking spaces on campus.
5. §280-103 – The total existing parking spaces provided on the Parking Requirement table appears to differ slightly from the total existing parking spaces shown on the Lancaster Ave Housing Plans. The total number of parking spaces available on campus after the Lancaster Avenue Housing Project must be verified.

II. Subdivision and Land Development

1. §255-20.B(5) – A transportation study shall be undertaken for all major subdivisions and land developments. The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff population will increase as a result of this project.

III. Stormwater

1. §245-22 – Infiltration testing results appear to indicate that the applicant will not be able to infiltrate the required volumes. We note that the applicant has requested a waiver from this requirement. The applicant is providing significant volume storage within the stormtank modules even though infiltration testing results yield 0.00 in/hr (approximately 800 CF by GF check vs. the requirement which is 261 CF (Net 2-yr) according to the applicant's calculation).
2. §245-23 – Infiltration testing results appear to indicate that the applicant will not be able to infiltrate the required volumes. We note that the applicant has requested a waiver from this requirement. The applicant is providing significant volume storage within the stormtank modules even though infiltration testing results yield 0.00 in/hr (approximately 800 CF by GF check vs. the requirement which is 348 CF (WQv) according to the applicant's calculation).
3. §245-25 – Applicant does not appear to meet the peak rate control requirements for this stormwater district. Specifically, the 2-year and 5-year proposed conditions are not reduced to the 1-year and 2-year existing conditions respectively. We note that the applicant has requested a waiver from this requirement. For both peak rate reduction requirements, the applicant is not meeting the requirement by 0.05 CFS. This rate is virtually indiscernible.
4. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

IV General

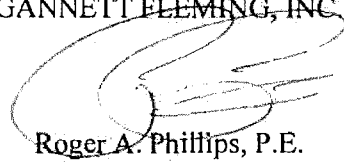
1. The tree protection detail provided on the plan is not the most current detail. We have attached the updated tree protection detail for the applicants use.

We recommend that the plans be revised to address the comments stated above prior to consideration for approval, or conditional approval shall include the applicant addressing the comments to the satisfaction of the Township Engineer.

If you have any questions or require any additional information, please contact me.

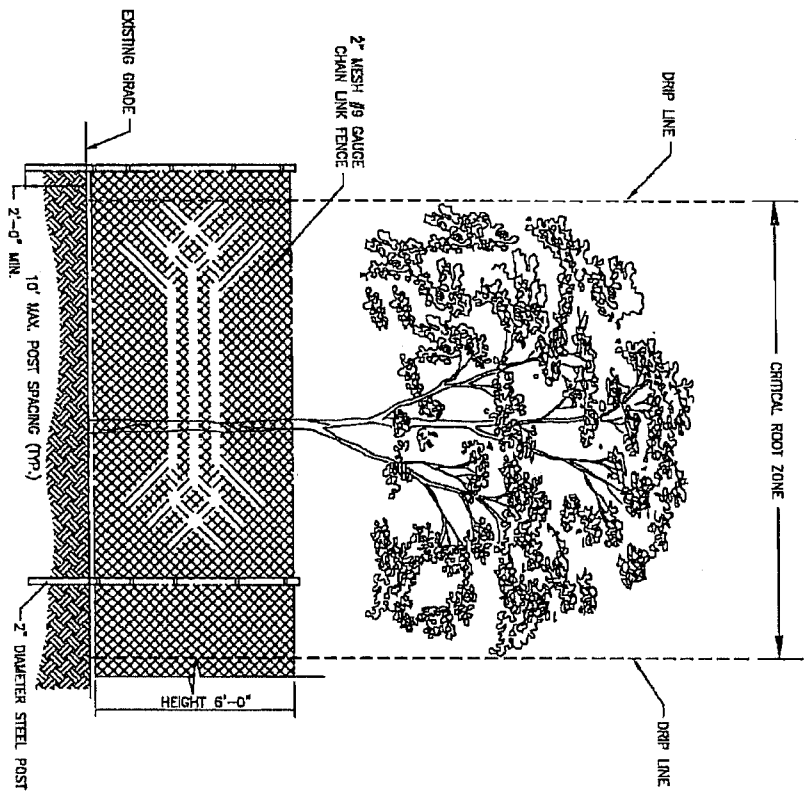
Very truly yours,

GANNETT FLEMING, INC



Roger A. Phillips, P.E.
Senior Project Manager

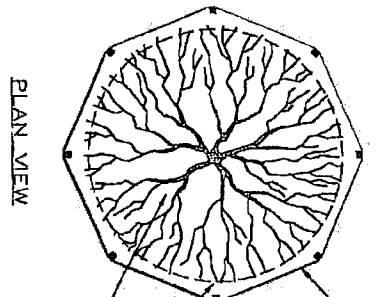




- DO NOT:**
- A. Allow run off of spillage of damaging materials into the area below any tree canopy.
 - B. Store materials, especially soil, or park, or drive vehicles within the TPZ.
 - C. Cut, crush, or otherwise damage roots, branches, or trunks without first consulting with the Consulting Arborist.
 - D. Allow fire under and adjacent to trees.
 - E. Remove soil into foliage.
 - F. Secure cable, chain, or rope to trees or shrubs.
 - G. Trench, dig, or otherwise excavate within the drip line or TPZ of the tree(s) without first obtaining authorization from the Consulting Arborist.
 - H. Apply soil sterilants under pavement near existing trees.

TREE PROTECTION DETAIL

NO SCALE



PLAN VIEW

TREE PROTECTION SPECIFICATIONS

- I. A 4" layer of coarse mulch or woodchips is to be placed beneath the drip line of the protected trees. Mulch is to be kept 12" from the trunk.
- II. A protective barrier of 6" chain link fencing shall be installed around the drip line of protected tree(s). The fencing can be moved within the drip line if authorized by the Consulting Arborist but not closer than 2" from the trunk of any tree. Fence posts shall be 2.0" in diameter and are to be driven 2' into the ground. The distance between posts shall not be more than 10'. This enclosed area is the Tree Protection Zone (TPZ).
- III. Mobile barriers of chain link fencing secured to cement blocks can be substituted for "fixed" fencing if the Consulting Arborist agrees that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Consulting Arborist.
- IV. Where the Consulting Arborist has determined that tree protection fencing will interfere with the safety of work crews, tree wraps may be used as an alternative form of tree protection. Wooden shims of least 2" diameter plastic construction fencing is to be wrapped and secured around the outside of the wooden shims. Higher specified timbers may require protection as determined by the Consulting Arborist. Straw mulch may also be used as a trunk wrap by calling the wadles around the trunk up to a minimum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw wadles.

Arborticulture • Urban Forestry • Horticulture
 Consulting • Planning • Management



P.O. Box 542, Ridley Park, PA 19078
 Phone (610) 731-7969
 Fax (610) 521-0108

lhtres@verizon.net
 www.rockwellconsultants.com



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

MEMORANDUM

Date: November 25, 2015

To: Steve Norcini, P.E.
Radnor Township Public Works Director

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: Kevin Kochanski, ASLA, R.L.A., Director of Community Development
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.
Steve Gabriel, PP, RETTEW
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Villanova University – Bartley Exchange & Entrance Plaza
Preliminary/Final Land Development Review #1
Radnor Township, Delaware County, PA
G&A 15-11036

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the referenced project and offers the following transportation comments for Radnor Township consideration:

A. BACKGROUND

Villanova University is proposing to expand the existing indoor and outdoor seating areas associated with the Exchange Café located in Bartley Hall. The Exchange Café is located on the ground floor along the north side of Bartley Hall across from the campus main entrance guardhouse. The ground floor at this location is recessed approximately four to fourteen feet from the building facade above. This 1,512 square foot covered area provides for the current outdoor seating area. The proposed project is to infill this covered area, adding 1,140 square feet of interior seating space, and reconfigure the existing entrance plaza to provide for a new outdoor seating area. There is no increase in the number of students, faculty, or staff associated with this project. A crosswalk and ADA facilities are also proposed under this project.

B. DOCUMENTS REVIEWED

1. Preliminary/Final Land Development Plans for Bartley Exchange & Entrance Plaza, consisting of 13 sheets, dated November 4, 2015.
2. Transmittal letter dated November 4, 2015 prepared by Associated Engineering Consultants, Inc.

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901
Phone: 215-345-4330 | Fax: 215-345-8606

www.gilmore-assoc.com

C. WAIVERS REQUESTED

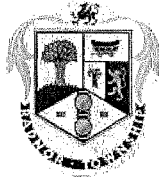
1. §245-22.A(2)(c) The applicant requests that the requirement to infiltrate runoff from the impervious areas be waived since the infiltration rate at the site has been tested and was found to be zero.
2. §245-25.8. The applicant requests that the requirement to reduce the peak rate of the proposed condition 2-year and 5-year storms to the present condition 1-year and 2-year storms be waived.
3. §255-12.A The applicant requests that the requirement to obtain separate preliminary and final land development approvals be waived since this proposed project is a minor land development project.
4. §255-20.B(5) The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff populations will increase as a result of this project.

Comment: Based on no net increase in the student and staff populations resulting from this project, G&A does not have an engineering objection to this request.

D. REVIEW COMMENTS

1. Detailed construction information should be provided for all proposed curb ramps. Details should include elevations, slopes and dimensions for each ADA accessible curb ramp. The applicant shall provide ADA compliant curb ramps at the following locations:
 - a. The existing depressed curbs on the east side of the Entrance Plaza and the Health services Driveway should be upgraded to current ADA curb ramp standards.
 - b. The intersection of N. Ithan Avenue and the Entrance Drive should be upgraded to current ADA standards at all corner curb ramps locations.
2. The applicant should consider revising the location of the pedestrian crosswalk near the existing Guard House. The projection of the curb surrounding the Guard House reduces the width of the pedestrian access route as well as creates a condition where vehicles approaching the crossing may not see pedestrians. In addition, the curb ramp at the bottom of the Bartley Hall stairs does not provide appropriate slopes in the wheel chair turning area to access the sidewalk along the entrance drive. Revise the plans to relocate the crosswalk and curb ramps more to the north through the median planting bed to improve motorist visibility of pedestrians and provide creating a pedestrian refuge island. Additionally, a W11-2 "Pedestrian" signs and W16-7P "Diagonal Downward Pointing Arrow Plaque" signs should be placed adjacent to the crosswalk facing vehicles approaching on both sides of the crosswalk.

3. Revise the curb ramp adjacent Bartley Hall to a Type 2 curb ramp to provide an appropriate landing area and to accommodate wheel chair turn movements. Refer to PennDOT RC-67M for additional details.
4. Revise the proposed crosswalks and corresponding details in accordance with PennDOT Pub 111 TC-8600. Use a minimum crosswalk width of six (6) feet and a minimum spacing of 12 inches between the white thermoplastic markings.
5. Include a stop sign (R1-1) and stop bar on the eastbound approach of the Entrance Drive prior to the proposed crosswalk to create all-way stop control at the intersection. Given the anticipated volume of pedestrian traffic the stop condition should be considered as a safety precaution.
6. Provide ADA compliant curb ramps for the diagonal crosswalk located west of the Guard House.



RADNOR TOWNSHIP

MEMORANDUM

TO: MR. STEVE NORCINI
FROM: RAY DALY
SUBJECT: 800 E. LANCASTER, BARTLEY PROJECT
DATE: NOVEMBER 13, 2015
CC: MR. PHILLIPS

Mr. Norcini;

The building Codes Department has no issues with the project. All the code items can be addressed during the Building plan review.

Respectfully,

Raymond W. Daly

Building Codes Official/Fire Codes Official



DELAWARE COUNTY PLANNING DEPARTMENT

COURT HOUSE/GOVERNMENT CENTER
201 W. Front St. Media, PA 19063

COUNCIL

MARIO J. CIVERA, JR.
CHAIRMAN

COLLEEN P. MORRONE
VICE CHAIRMAN

JOHN P. McBLAIN
DAVID J. WHITE
MICHAEL F. CULP

Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063
Phone: (610) 891-5200 FAX: (610) 891-5203
E-mail: planning_department@co.delaware.pa.us

LINDA F. HILL
DIRECTOR

November 17, 2015

Mr. Robert A. Zienkowski
Radnor Township
301 Iven Avenue
Wayne, PA 19087-5297

RE: Title: Bartley Exchange and Entrance Plaza
Applicant(s): Villanova University
File Number: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15
Meeting Date: 12/17/2015
Municipality: Radnor Township
Location: South side of Lancaster Avenue, east and west sides of S. Ithan Avenue
Received: 11/13/2015

Dear Mr. Zienkowski,

This is to acknowledge receipt of the above referenced application for review and report. The Commission has tentatively scheduled consideration of the application for its public meeting on the date shown above at 4:00 p.m. in the Government Center Building, (Room 100), Court House Complex, Media, PA. Attendance is not required but is welcomed. If you have any questions concerning this matter, please contact Jessica Dunford at (610) 891-5223.

NOTE: In order to avoid processing delays, the DCPD file number shown above MUST be provided in any transactions with the county regarding this or future applications related to this location.

Very truly yours,

Linda F. Hill
Director

LFH/JGD

cc: Villanova University
Associated Engineering Consultants, Inc.



JAMES C. HIGGINS
President

JOHN FISHER
Vice-President

RICHARD F. BOOKER

DONALD E. CURLEY

JOHN NAGLE

ELAINE P. SCHAEFER

CHERYL GRAFF TUMOLA



RADNOR TOWNSHIP
301 IVEN AVENUE
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600
Fax (610) 971-0450
www.radnor.com

ROBERT A. ZIENKOWSKI
Township Manager
Township Secretary

JOHN B. RICE, ESQ.
Solicitor

JOHN E. OSBORNE
Treasurer

November 11, 2015

Robert Morro
Villanova University
800 Lancaster Ave
Villanova, PA 19085

**RE: Land Development Application #2015-D-10-Final
Villanova University – Bartley Exchange and Entrance Plaza Project**

Dear Mr. Morro:

In accordance with Section 255-18 of the Subdivision of Land Code of the Township of Radnor, we have reviewed your final plan application to add interior building space below an existing overhang at the abovementioned location, and have found it complete. Therefore, I have accepted the application for final plan for review by the Township Staff, Shade Tree Commission, Planning Commission, and Board of Commissioners.

These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at their meeting on **Monday, December 7, 2015**. You or your representative should plan to attend all scheduled meetings.

If the Planning Commission takes action, your plan will then be reviewed by the Board of Commissioners at a future meeting. These dates will be provided to you once it is placed on the agenda.

Sincerely,

Roger Phillips, P.E.
Township Engineer

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Name Villanova University E-mail ROBERT.MORRO@VILLANOVA.EDU

Address 800 Lancaster Avenue, Villanova, PA 19085 Phone (610) 519-4589

Name of Development Bartley Exchange and Entrance Plaza

Municipality Radnor Township

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm Associated Engineering Consultants, Inc. Phone (610) 688-3980

Address 485 Devon Park Drive, Suite 113, Wayne, PA 19087

Contact Karen McManuels E-mail kmcmanuels@aeceng.net

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District PI - Planned Institutional

Tax Map # 36 / 24 / 033


Tax Folio # 36 / 04 / 02400 / 10

STATEMENT OF INTENT
WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

The proposed Bartley Exchange project will expand within the existing Bartley Hall footprint. The project will add interior building space below an existing overhang, so will not increase the building footprint. Bartley Exchange is an existing cafeteria within the existing classroom building. Neither the student nor staff populations will increase as a result of this project.

Total Site Area	<u>225</u>	Acres
Size of All Existing Buildings	<u>1,279,904</u>	Square Feet
Size of All Proposed Buildings	<u>0</u>	Square Feet
Size of Buildings to be Demolished	<u>0</u>	Square Feet


Print Developer's Name

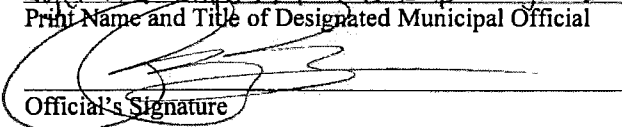
Robert H. Morro, PE
Vice President, Facilities Management
Developer's Signature

MUNICIPAL SECTION
ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting _____
Local Governing Body Regular Meeting _____

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:
Actual Date Needed _____

IMPORTANT: If previously submitted, show assigned DCPD File # 34-1522-77-83-90-92-94-97-98
99-00-01-02-06-13-15

Roger A. Phillips PE, Township Engineer
Print Name and Title of Designated Municipal Official

Official's Signature

610-650-8101
Phone Number
11/11/2015
Date

FOR DCPD USE ONLY

Review Fee: Check # _____ Amount \$ _____ Date Received _____

Applications with original signatures must be submitted to DCPD.



Associated Engineering Consultants Incorporated

485 Devon Park Drive Suite 113 Wayne Pennsylvania 19087 tel 610 688 3980 fax 610 688 4566

November 4, 2015

Mr. Roger Phillips
Township Engineer
c/o Radnor Township
301 Iven Avenue
Wayne, PA 19087

**Re: Villanova University
Bartley Exchange and Entrance Plaza Project
Preliminary/Final Land Development Submission
AEC Project No.: 0531.003**

Dear Mr. Phillips:

On behalf of the Applicant, Villanova University, Associated Engineering Consultants, Inc., is hereby submitting the following documents for preliminary/final land development approval:

- Ten (10) sets of 24"x36" Preliminary/Final Land Development Plans, consisting of 13 sheets, dated November 4, 2015 (includes 8 sets signed and notarized)
- Thirty (30) sets of 11"x17" Preliminary/Final Land Development Plans, consisting of 13 sheets, dated November 4, 2015
- Two (2) copies of Stormwater Management Reports, dated November 4, 2015
- One (1) Radnor Township Land Development Application
- One (1) check for \$1,550 Radnor Township Application Fee
- One (1) check for \$10,000 Radnor Township Escrow Fee
- One (1) Delaware County Planning Commission Application for Act 247 Review
- One (1) check for \$250 Delaware County Planning Commission Application Fee
- Ten (10) flash drives containing PDFs of all submission items

Project Description/Narrative

Villanova University is proposing to expand the existing indoor and outdoor seating areas associated with the Exchange Café located in Bartley Hall, Villanova's business school. The Exchange Cafe is located on the ground floor on the north side of Bartley Hall across from the campus main entrance's guardhouse. The ground floor at this location is recessed approximately four to fourteen feet from the building façade above. This 1,512 square foot covered area provides for the current outdoor seating area.

The proposed project is to infill this covered area, which will add 1,140 square feet of interior seating space, and reconfigure the existing entrance plaza to provide for a new outdoor seating area, which will have a new canopy and trellis.

The Exchange Cafe primarily serves the business school. There will be no increase in the number of students, faculty, or staff associated with this project. The square footage of the building footprint will not change. There will be a slight increase (1,235 square feet) to the total impervious coverage.

The applicant is requesting the following four waivers from the Stormwater Management and SALDO Ordinances regarding groundwater recharge requirements and transportation impact studies:

1. From Section 245-22.A(2)(c) of the Stormwater Ordinance regarding groundwater recharge requirements. The applicant requests that the requirement to infiltrate runoff from the impervious areas be waived since the infiltration rate at the site has been tested and was found to be zero.
2. From Section 245-25.B of the Stormwater Ordinance regarding peak rate control standards. The applicant requests that the requirement to reduce the peak rate of the proposed condition 2-year and 5-year storms to the present condition 1-year and 2-year storms be waived. Since the project area is so small, the proposed condition 2-year storm is 0.44 CFS and the present condition 1-year storm is 0.39 CFS. The proposed condition 5-year storm is 0.61 CFS and the present condition 2-year storm is 0.57 CFS. All other design storms meet the peak rate control standards in the code.
3. From Section 255-12.A of the SALDO Code regarding land development submission procedures. The applicant requests that the requirement to obtain separate preliminary and final land development approvals be waived since this proposed project is a minor land development project.
4. From Section 255-20.B(5) of the SALDO Code regarding transportation impact studies. The applicant requests that the requirement to provide a transportation impact study be waived since neither the student nor staff populations will increase as a result of this project.

If you have any questions or need more information, please do not hesitate to contact me.

Sincerely,

Associated Engineering Consultants, Inc.



Brenden Dorley, PE
Project Engineer

Enclosures

cc: File

F:\AEC_Projects\0531\00300\Corres\Ltr Radnor 2015-11-04 Prelim-Final Land Dev Sub.doc

RADNOR TOWNSHIP
301 IVEN AVE
WAYNE PA 19087
P) 610 688-5600
F) 610 971-0450
WWW.RADNOR.COM

SUBDIVISION LAND DEVELOPMENT

Location of Property 800 Lancaster Avenue, Villanova

Zoning District PI Application No. _____
(Twp. Use)

Fee \$1,550 Ward No. 7-1 Is property in HARB District No

Applicant: (Choose one) Owner _____ Equitable Owner X

Name Villanova University

Address 800 Lancaster Avenue, Villanova, PA 19085

Telephone 610 519 4589 Fax 610 519 6903 Cell 484 576 3089

Email ROBERT.MORRO@VILLANOVA.EDU

Designer: (Choose one) Engineer X Surveyor _____

Name Associated Engineering Consultants, Inc.

Address 485 Devon Park Drive, Suite 113, Wayne, PA 19087

Telephone (610) 688-3980 Fax (610) 688-4566

Email kmcmannels@aeceng.net

Area of property 225 acres Area of disturbance 0.21 acres

Number of proposed buildings 0 Proposed use of property Institutional

Number of proposed lots 0

Plan Status: Sketch Plan _____ Preliminary X Final X Revised _____

Are there any requirements of Chapter 255 (SALDO) not being adhered to?
Explain the reason for noncompliance.

No.

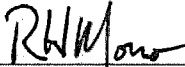
Are there any infringements of Chapter 280 (Zoning), and if so what and why?

No.

Individual/Corporation/Partnership Name
Villanova University

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name

Robert H. Morro, PE.
Vice President, Facilities Management

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Name Villanova University E-mail ROBERT.MORRO@VILLANOVA.EDU

Address 800 Lancaster Avenue, Villanova, PA 19085 Phone (610) 519-4589

Name of Development Bartley Exchange and Entrance Plaza

Municipality Radnor Township

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm Associated Engineering Consultants, Inc. Phone (610) 688-3980

Address 485 Devon Park Drive, Suite 113, Wayne, PA 19087

Contact Karen McManuels E-mail kmcmanuels@aeceng.net

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District PI - Planned Institutional

Tax Map # 36 / 24 / 033

Tax Folio # 36 / 04 / 02400 / 10

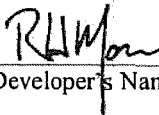
STATEMENT OF INTENT

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

The proposed Bartley Exchange project will expand within the existing Bartley Hall footprint. The project will add interior building space below an existing overhang, so will not increase the building footprint. Bartley Exchange is an existing cafeteria within the existing classroom building. Neither the student nor staff populations will increase as a result of this project.

Total Site Area	225	Acres
Size of All Existing Buildings	1,279,904	Square Feet
Size of All Proposed Buildings	0	Square Feet
Size of Buildings to be Demolished	0	Square Feet


Print Developer's Name

Robert H. Morro, PE
Vice President, Facilities Management
Developer's Signature

MUNICIPAL SECTION

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting _____

Local Governing Body Regular Meeting _____

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed _____

IMPORTANT: If previously submitted, show assigned DCPD File # _____

Print Name and Title of Designated Municipal Official _____

Phone Number _____

Official's Signature _____

Date _____

FOR DCPD USE ONLY

Review Fee: Check # _____ Amount \$ _____ Date Received _____

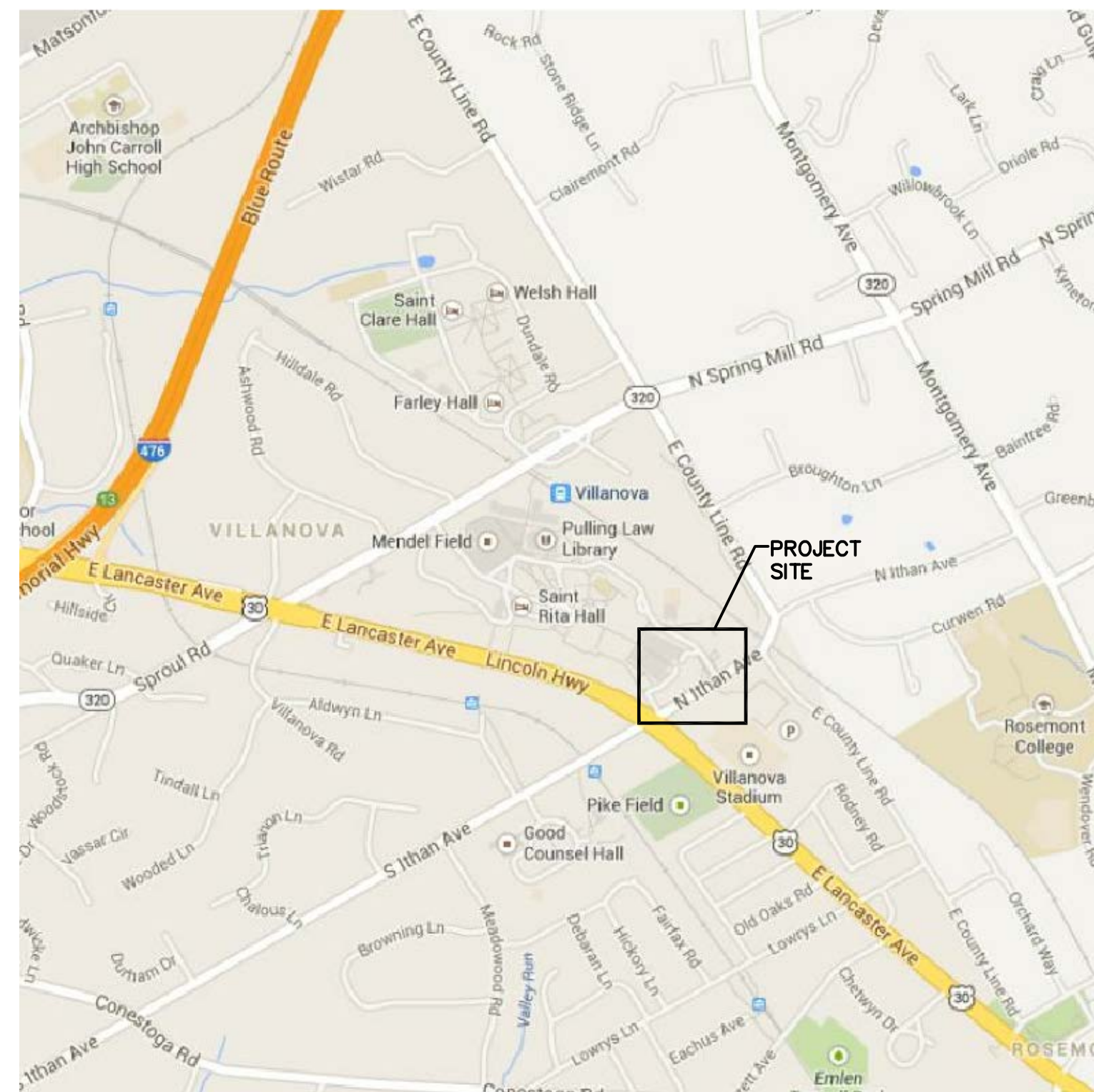
Applications with original signatures must be submitted to DCPD.

VILLANOVA UNIVERSITY

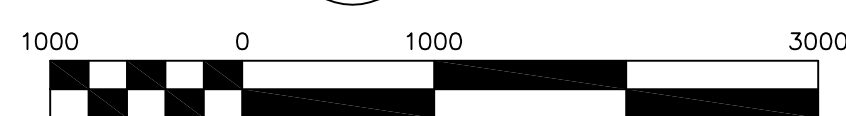
BARTLEY EXCHANGE + ENTRANCE PLAZA

PRELIM./FINAL LAND DEVELOPMENT SUBMISSION

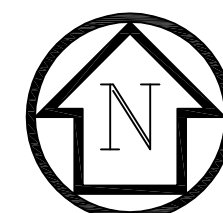
800 EAST LANCASTER AVENUE
 VILLANOVA, PENNSYLVANIA 19085
 RADNOR TOWNSHIP, DELAWARE COUNTY



1 LOCATION MAP
 C0.0 SCALE: 1"=1000'



Scale: 1" = 1000 ft



DRAWING NUMBER	DRAWING TITLE	DATE	ISSUE FOR PRELIM./FINAL APPROVAL
C0.0	COVER SHEET	11/04/15	
C0.1	OVERALL CAMPUS PLAN		
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN		
C1.2	EXISTING UTILITIES DEMOLITION PLAN		
C1.3	SOIL EROSION CONTROL PLAN		
C2.1	SITE DEVELOPMENT PLAN		
C2.2	SITE UTILITIES PLAN		
C2.3	SITE LIGHTING PLAN		
C3.0	SOIL EROSION CONTROL NOTES AND GENERAL NOTES		
C3.1	SOIL EROSION CONTROL SECTIONS AND DETAILS		
C3.2	SITE SECTIONS AND DETAILS		
C3.3	SITE UTILITIES SECTIONS AND DETAILS		
L1.1	LANDSCAPING PLANS		

WAIVERS REQUESTED:

THE FOLLOWING WAIVERS ARE BEING REQUESTED BY THE APPLICANT:
 1. SECTION 245-22.A.2.C OF THE STORMWATER ORDINANCE REGARDING GROUNDWATER RECHARGE REQUIREMENTS. THE APPLICANT REQUESTS THAT THE REQUIREMENT TO INFILTRATE RUNOFF FROM THE IMPERVIOUS AREAS BE WAIVED SINCE THE INFILTRATION RATE AT THE SITE HAS BEEN TESTED AND FOUND TO BE ZERO.
 2. SECTION 245-25.B OF THE STORMWATER ORDINANCE REGARDING PEAK RATE CONTROL STANDARDS. THE APPLICANT REQUESTS THAT THE REQUIREMENT TO REDUCE THE PEAK RATE OF THE PROPOSED CONDITION 2-YEAR AND 5-YEAR STORMS TO THE PRESENT CONDITION 1-YEAR AND 2-YEAR STORMS BE WAIVED, SINCE THE PROJECT AREA IS SO SMALL THE PROPOSED CONDITION 2-YEAR STORM IS 0.44 CFS AND THE PRESENT CONDITION 1-YEAR STORM IS 0.39 CFS. THE PROPOSED CONDITION 5-YEAR STORM IS 0.61 CFS AND THE PRESENT CONDITION 2-YEAR STORM IS 0.57 CFS. ALL OTHER DESIGN STORMS MEET THE PEAK RATE CONTROL STANDARDS IN THE CODE.
 3. SECTION 255-12.A OF THE SALDO CODE REGARDING LAND DEVELOPMENT SUBMISSION PROCEDURES. THE APPLICANT REQUESTS THAT THE REQUIREMENT TO OBTAIN SEPARATE PRELIMINARY AND FINAL LAND DEVELOPMENT APPROVALS BE WAIVED SINCE THIS PROPOSED PROJECT IS A MINOR LAND DEVELOPMENT PROJECT.
 4. SECTION 255-20.B.5 OF THE SALDO CODE REGARDING TRANSPORTATION IMPACT STUDIES. THE APPLICANT REQUESTS THAT THE REQUIREMENT TO PROVIDE A TRANSPORTATION IMPACT STUDY BE WAIVED SINCE NEITHER THE STUDENT NOR STAFF POPULATIONS WILL INCREASE AS A RESULT OF THIS PROJECT.

PROPERTY NOTES:

- SITE OWNER:
VILLANOVA UNIVERSITY
- SITE ADDRESS:
800 EAST LANCASTER AVENUE
VILLANOVA, PA 19085
- CONTACT INFORMATION:
LEO KOB, PROJECT MANAGER
(610) 519-4156
- SITE TAX MAP INFORMATION:
PORTION OF TAX MAP #36-24-033
PORTION OF PARCEL #36-04-02400-10

Commonwealth of Pennsylvania SS
 County of _____

On this, the ____ day of _____, 20____, before me, the undersigned office, personally appeared _____ who being duly sworn according to law, deposes and says that he is the owner or equitable owner of the property shown on this plan, that the land development plan thereof was made at his direction and that he acknowledges the same to be his act and plan and desires the same to be recorded as such according to law.
 Witness my hand and seal the day and date above written.

(Signature of Individual)

Notary Public or other Officer

My Commission expires _____

ALL DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS OF GOV. AGENCIES AND AUTHORITY HAVING JURISDICTION. © 2015 CICCADA ARCHITECTURE/PLANNING, LLC PHILADELPHIA, PA

REVISIONS:	No.	DATE	BY:	DESCRIPTION:
	1	11/04/15	AEC	PRELIM/FINAL SUB.

CONSULTANTS:
 MEP/Structural/Civil Engineers:
 Associated Engineering Consultants Incorporated
 485 Down Park Drive, Suite 113, Wayne Township, PA 19381
 Tel: (610) 688-8900 Fax: (610) 688-6006
 www.aecinc.com

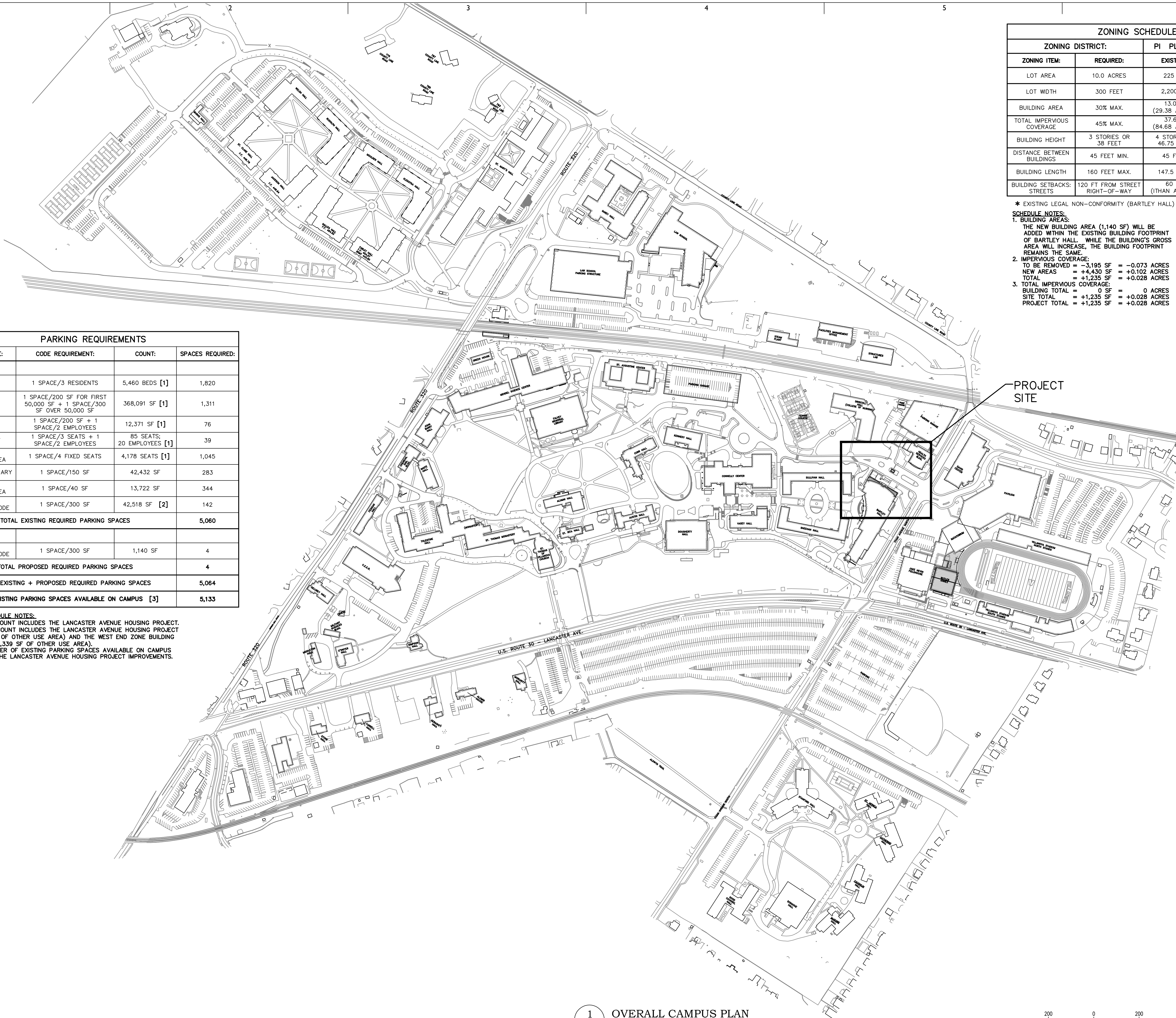


CICCADA
 ARCHITECTURE/PLANNING
 1520 LOCUST STREET, 702 PHILADELPHIA, PA 19104
 P: 215.247.1430 F: 215.247.1435
 www.ciccadaarchitecture.com

Bartley Exchange + Entrance Plaza
 Villanova University
 Villanova, PA

PROJECT:
COVER SHEET

PROJECT NO. 479.000 / AEC PROJECT NO. 031.003
 SCALE AS NOTED
 DRAWN BY: BJD
 APPROVED BY: KRM
 DATE: 11/04/15
 DRAWING NO.:
C0.0
 SHEET 1 OF 13



ZONING SCHEDULE			
ZONING DISTRICT:		PI PLANNED INSTITUTIONAL	
ZONING ITEM:	REQUIRED:	EXISTING:	PROPOSED:
LOT AREA	10.0 ACRES	225 AC	NO CHANGE
LOT WIDTH	300 FEET	2,200 FT	NO CHANGE
BUILDING AREA	30% MAX.	13.06% (29.38 ACRES)	NO CHANGE [1]
TOTAL IMPERVIOUS COVERAGE	45% MAX.	37.63% (84.68 ACRES)	37.65% (84.71 ACRES) [3]
BUILDING HEIGHT	3 STORIES OR 38 FEET	4 STORIES / 46.75 FEET *	NO CHANGE
DISTANCE BETWEEN BUILDINGS	45 FEET MIN.	45 FEET	NO CHANGE
BUILDING LENGTH	160 FEET MAX.	147.5 FEET	NO CHANGE
BUILDING SETBACKS: STREETS	120 FT FROM STREET RIGHT-OF-WAY	60 FT * (THAN AVENUE)	NO CHANGE

* EXISTING LEGAL NON-CONFORMITY (BARTLEY HALL)

SCHEDULE NOTES:
 1. BUILDING AREAS:
 THE NEW BUILDING AREA (1,140 SF) WILL BE ADDED WITHIN THE EXISTING BUILDING FOOTPRINT OF BARTLEY HALL. WHILE THE BUILDING'S GROSS AREA WILL INCREASE, THE BUILDING FOOTPRINT REMAINS THE SAME.
 2. IMPERVIOUS COVERAGE:
 TO BE REMOVED = -3,195 SF = -0.073 ACRES
 NEW AREAS = +4,430 SF = +0.102 ACRES
 TOTAL = +1,235 SF = +0.028 ACRES
 3. TOTAL IMPERVIOUS COVERAGE:
 BUILDING TOTAL = 0 SF
 SITE TOTAL = +1,235 SF = +0.028 ACRES
 PROJECT TOTAL = +1,235 SF = +0.028 ACRES

PARKING REQUIREMENTS			
BUILDING/USE:	CODE REQUIREMENT:	COUNT:	SPACES REQUIRED:
EXISTING:			
DORMITORY	1 SPACE/3 RESIDENTS	5,460 BEDS [1]	1,820
OFFICE	1 SPACE/200 SF FOR FIRST 50,000 SF + 1 SPACE/300 SF OVER 50,000 SF	368,091 SF [1]	1,311
RETAIL	1 SPACE/200 SF + 1 SPACE/2 EMPLOYEES	12,371 SF [1]	76
RESTAURANT	1 SPACE/3 SEATS + 1 SPACE/2 EMPLOYEES	85 SEATS; 20 EMPLOYEES [1]	39
LARGEST ASSEMBLY AREA	1 SPACE/4 FIXED SEATS	4,178 SEATS [1]	1,045
GYMNASIUM/LIBRARY	1 SPACE/150 SF	42,432 SF	283
LARGEST ASSEMBLY AREA	1 SPACE/40 SF	13,722 SF	344
OTHER THAN SPECIFIED IN CODE	1 SPACE/300 SF	42,518 SF [2]	142
TOTAL EXISTING REQUIRED PARKING SPACES			5,060
PROPOSED:			
OTHER THAN SPECIFIED IN CODE	1 SPACE/300 SF	1,140 SF	4
TOTAL PROPOSED REQUIRED PARKING SPACES			4
TOTAL EXISTING + PROPOSED REQUIRED PARKING SPACES			5,064
TOTAL EXISTING PARKING SPACES AVAILABLE ON CAMPUS [3]			5,133

PARKING SCHEDULE NOTES:
 1. AREA/USE COUNT INCLUDES THE LANCASTER AVENUE HOUSING PROJECT.
 2. AREA/USE COUNT INCLUDES THE LANCASTER AVENUE HOUSING PROJECT (37,179 SF OF OTHER USE AREA) AND THE WEST END ZONE BUILDING PROJECT (5,339 SF OF OTHER USE AREA).
 3. TOTAL NUMBER OF EXISTING PARKING SPACES AVAILABLE ON CAMPUS INCLUDES THE LANCASTER AVENUE HOUSING PROJECT IMPROVEMENTS.

ALL DIMENSIONS AND DISTANCES SHOWN ON THIS PLAN SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE. ANY DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 10 BUSINESS DAYS OF THE DATE OF THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. © 2015 CICCADA ARCHITECTURE/PLANNING, LLC

REVISIONS:
 No. DATE DESCRIPTION
 1 11/04/15

CONSULTANTS:
 MEPS/Structural/Civil Engineers
 Associated Engineering Consultants Incorporated
 1000 North State Street, Suite 113
 Harrisburg, PA 17101
 Tel: 717.650.0000
 Fax: 717.650.0001
 www.aecengineers.com

CICCADA
 ARCHITECTURE/PLANNING
 1520 LOCUST STREET, PHILADELPHIA, PA 19102
 T: 215.547.1430 F: 215.547.1433
 www.ciccadarchitect.com

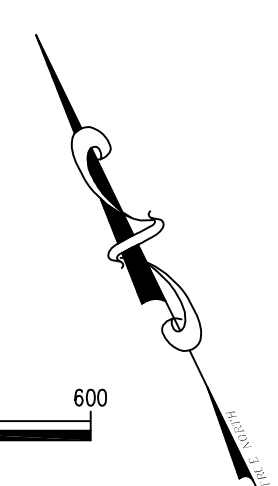
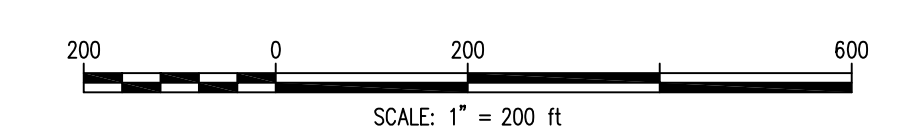
Bartley Exchange Plaza + Entrance Plaza
 Villanova University
 Villanova, PA

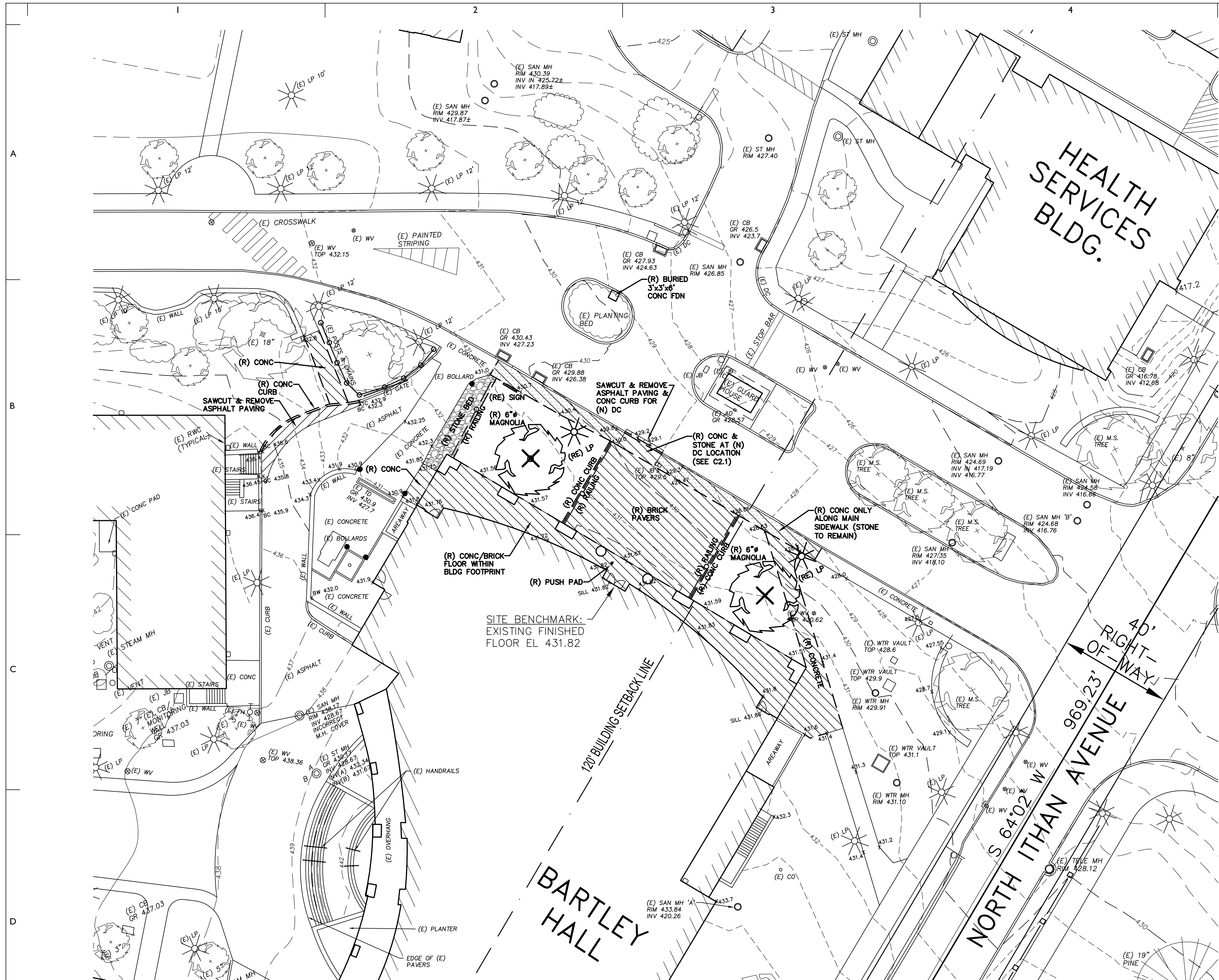
PROJECT:
OVERALL CAMPUS PLAN

PROJECT NO. 479.000 / AEC PROJECT NO. 031.003
 SHEET TITLE:
C0.1
 SHEET 2 OF 13

SCALE: AS NOTED
 DRAWN BY: BJD
 APPROVED: KRM
 DATE: 11/04/15
 DRAWING NO.:

1
C0.1 OVERALL CAMPUS PLAN
 SCALE: 1"=200'-0"





1
C1.1
EXISTING CONDITIONS & DEMOLITION PLAN
SCALE: 1"=20'-0"

LEGEND

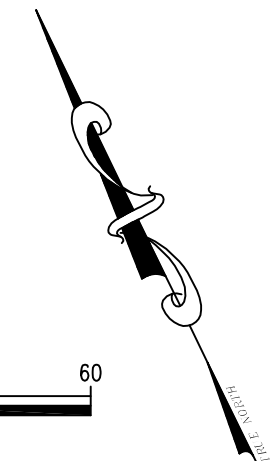
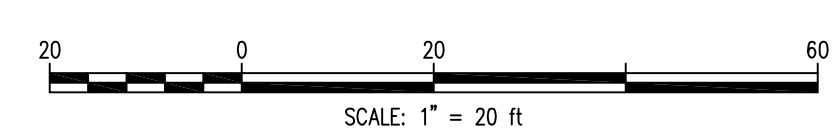
EXISTING TO REMAIN	EXISTING TO BE DEMOLISHED
GRADE LINE	-142-
SPOT ELEVATION	x 142.0
CATCH BASIN & INLET	⊙
MANHOLE	⊙
CLEAN OUT OR VALVE	⊙
UTILITY POLE	⊙
LIGHT POLES:	⊙
-GOTHIC	⊙
-SHOEBOX	⊙
FIRE HYDRANT	⊙
SIGNAGE	⊙
BUILDING FOOTPRINT	▨
ASPHALT PAVING & CURBING	▨
CONCRETE	▨
GRAVEL AREAS	▨
TREES	⊙

ABBREVIATIONS

(E)	EXISTING TO REMAIN
(R)	EXISTING TO BE RELOCATED
(RE)	REMOVE EXISTING
(N)	RELOCATE EXISTING
(NL)	NEW LOCATION OF EXISTING

TREE REMOVAL SCHEDULE:

SIZE AND QUANTITY OF TREES TO BE REMOVED:	TOTAL BEING REMOVED	TOTAL REQUIRED TO BE PLANTED
6 - 18" DIAMETER 1 NEW PER EACH REMOVED	2	2
19 - 29" DIAMETER 3 NEW PER EACH REMOVED, INCL. 2 LARGE CANOPY	0	0
30"+ DIAMETER 6 NEW PER EACH REMOVED, INCL. 4 LARGE CANOPY	0	0
TOTAL NUMBER OF TREES TO BE REMOVED	2	
NUMBER OF NEW TREES REQUIRED TO BE PLANTED		2



ALL DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE FIELD. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS OF GOV. ENGINEERING AND ARCHITECTURE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF PENNSYLVANIA. © 2015 CIVIL ENGINEERS & ARCHITECTS, P.C.

REVISIONS:	DATE:	BY:	DESCRIPTION:
No.	11/04/15	AEC	PRELIM/FINAL SUB.

CONSULTANTS:

CICADA
ARCHITECTURE/PLANNING/ENGINEERING
1520 LOCUST ST. SUITE 700 PHILADELPHIA, PA 19102
P: 215.547.1438 F: 215.247.1435
www.cicadarchitect.com

PROJECT: **Bartley Exchange Plaza + Entrance Plaza**
Villanova University
Villanova, PA

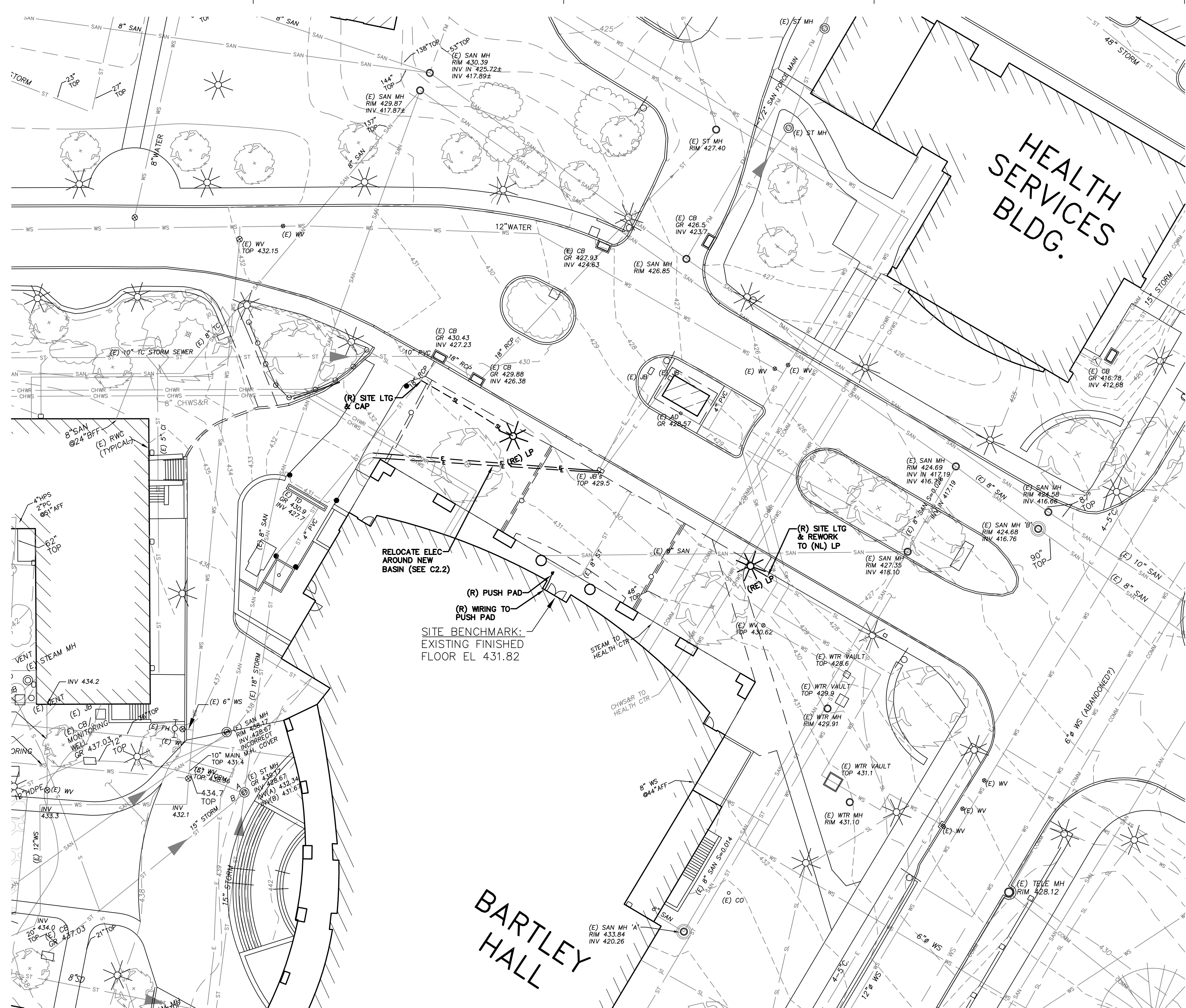
SHEET TITLE: **EXISTING CONDITIONS & DEMOLITION PLAN**

PROJECT NO.: 479.000 / AEC PROJECT NO. 031.003

SCALE: AS NOTED

DRAWN BY:	BJD
APPROVED:	KRM
DATE:	11/04/15
DRAWING NO.:	

C1.1
SHEET 3 OF 13



1
C1.2
EXISTING UTILITIES
DEMOLITION PLAN
SCALE: 1"=20'-0"

LEGEND

EXISTING TO REMAIN	EXISTING TO BE DEMOLISHED
STORM SEWER (ST)	STORM SEWER (ST)
SANITARY SEWER (SAN)	SANITARY SEWER (SAN)
WATER SERVICE (WS)	WATER SERVICE (WS)
STEAM (S)	STEAM (S)
COMMUNICATIONS (COMM)	COMMUNICATIONS (COMM)
ELECTRIC SERVICE (E)	ELECTRIC SERVICE (E)
SITE LIGHTING (SL)	SITE LIGHTING (SL)
GAS SERVICE (G)	GAS SERVICE (G)
CHILLED WATER SUPPLY (CHWS)	CHILLED WATER SUPPLY (CHWS)
CHILLED WATER RETURN (CHWR)	CHILLED WATER RETURN (CHWR)
CATCH BASIN & INLET MANHOLE (CB)	CATCH BASIN & INLET MANHOLE (CB)
CLEAN OUT OR VALVE (O)	CLEAN OUT OR VALVE (O)
UTILITY POLE (P)	UTILITY POLE (P)
LIGHT POLE (LP)	LIGHT POLE (LP)
FIRE HYDRANT (FH)	FIRE HYDRANT (FH)

ABBREVIATIONS

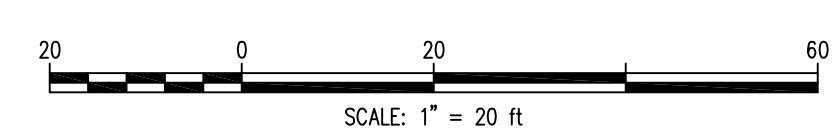
(E)	EXISTING TO REMAIN
(R)	EXISTING TO BE RELOCATED
(RE)	REMOVE EXISTING
(RL)	RELOCATE EXISTING
(N)	NEW
(NL)	NEW LOCATION OF EXISTING

NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Serial Number: 20150210968

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

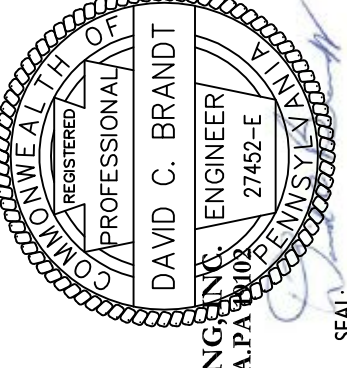
NOTE:
AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.



REVISIONS

No.	DATE	DESCRIPTION
1	11/04/15	PRELIM/FINAL SUB.

CONSULTANTS:
MEP/Structural/Civil Engineers:
Associated Engineering Consultants Incorporated
1300 Locust St., Suite 113, Philadelphia, PA 19104
Tel: 215-547-1430 Fax: 215-547-1435
www.aecstructure.com

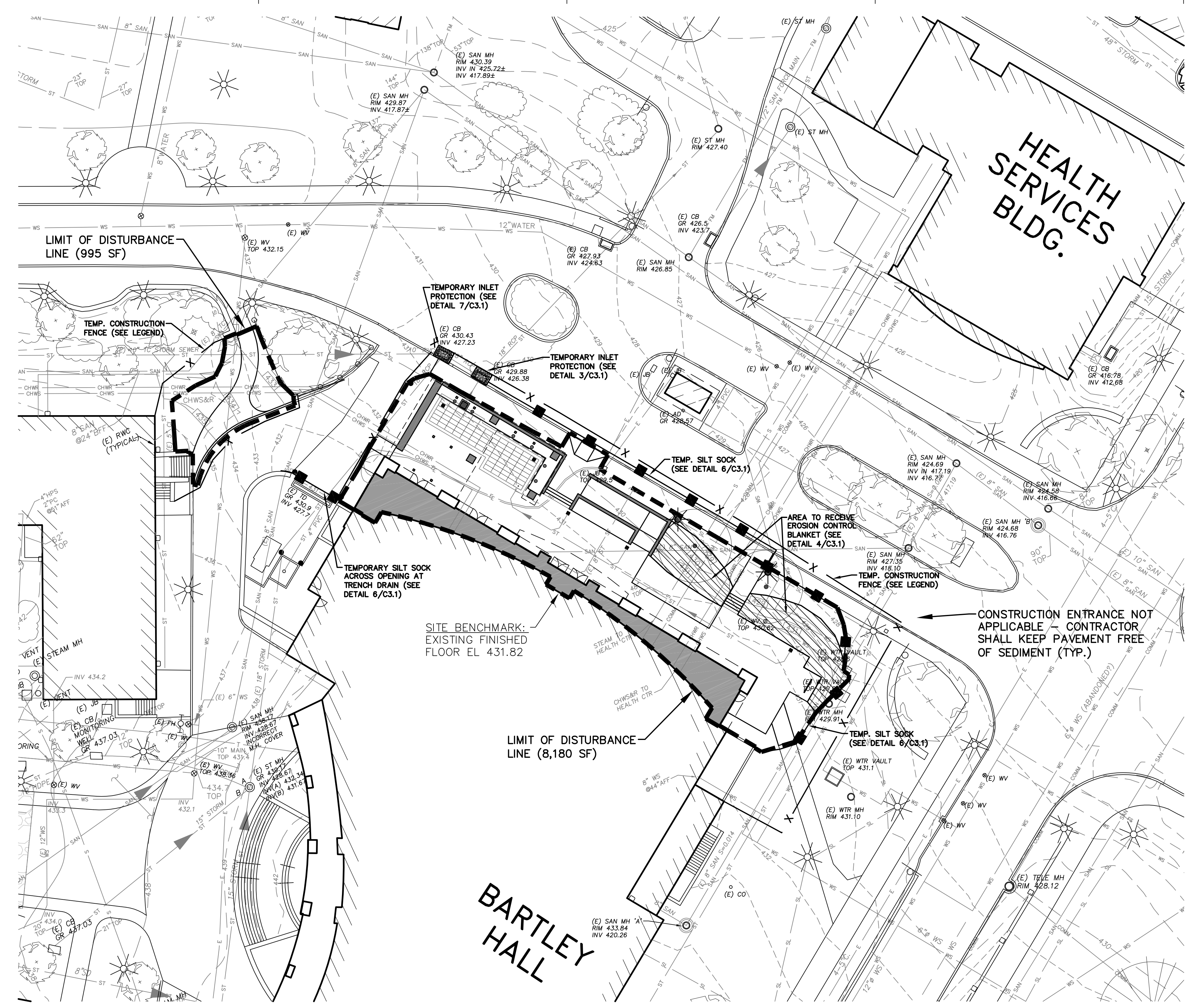


CICADA
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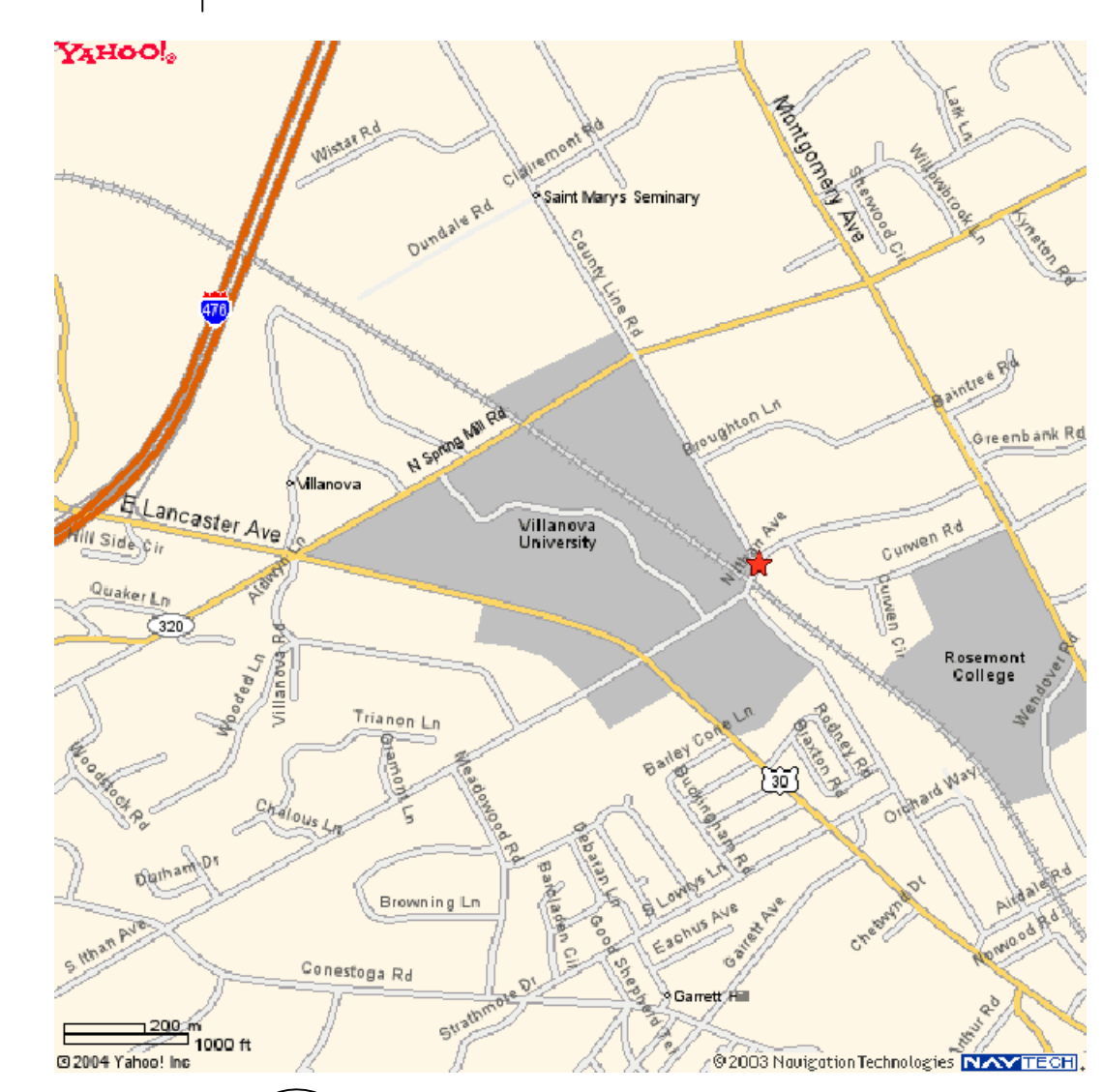
Bartley Exchange Plaza + Entrance Plaza
Villanova University
Villanova, PA

EXISTING UTILITIES DEMOLITION PLAN

C1.2
SHEET 4 OF 13



1
C1.3 SOIL EROSION CONTROL PLAN
SCALE: 1"=20'-0"



A
C1.3 LOCATION MAP
SCALE: 1" = 1500'

SOIL DATA:
Me - MADE LAND, SCHIST AND GNEISS MATERIALS:
 SLOPE RANGE: 0 TO 8%
 DEPTH TO BEDROCK: 40" - 72"
 DEPTH TO SEASONAL WATER TABLE: 60"
 PERMEABILITY: MODERATE
 HYDROLOGIC SOIL GROUP: C

SOIL LIMITATIONS:
MADE LAND:
 SOMEWHAT LIMITED FOR SHALLOW EXCAVATIONS
 REASONS: DEPTH TO SATURATED ZONE

SOIL LIMITATION RESOLUTIONS:
RESOLUTIONS:
 DEPTH TO SATURATION ZONE - WHILE NO WATER WAS ENCOUNTERED IN A TEST HOLE DUG TO 6 FEET DEEP, PUMPS ARE TO BE UTILIZED AS NEEDED TO REMOVE EXCESS WATER FROM EXCAVATION AREAS. PUMPS ARE TO DISCHARGE TO EXISTING VEGETATED AREAS. SEE DETAIL ON C3.1.

Serial Number: 20150210968

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

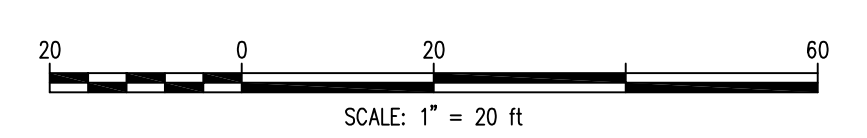
NOTE:
 AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.

WATERSHED NOTE:
 THE PROJECT IS LOCATED IN THE MILL CREEK WATERSHED, WHICH HAS A CHAPTER 93 RECEIVING WATER CLASSIFICATION OF TSF/MF.

TEMP. CONSTRUCTION LEGEND

	LIMIT OF DISTURBANCE BOUNDARY LINE (9,175 SF / 0.21 ACRES TOTAL)
	AREAS TO RECEIVE CURLEX BLANKETS (SEE DETAIL 4/C3.1)
	TEMPORARY SILT SOCK (SEE DETAIL 6/C3.1)
	TEMPORARY TREE PROTECTION FENCE (SEE DETAIL 5/C3.1)
	TEMPORARY CONSTRUCTION FENCE TO BE 6'-0" HIGH CHAIN LINK FENCE (MOUNTED ON REMOVABLE PRECAST CONCRETE BASE - UNLESS NOTED OTHERWISE)
	TEMPORARY INLET PROTECTION (SEE DETAILS 3&7/C3.1)

NOTE:
 ANY OFF-SITE WASTE AREA MUST HAVE AN E&S PLAN REVIEWED AND APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT PRIOR TO BEING ACTIVATED.



ALL DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS OF GOV. AGENCIES AND AGENCIES HAVING JURISDICTION OVER THE PROJECT. © 2015 CIVIL ENGINEERING INC. VILLANOVA, PA

REVISIONS:	DATE:	BY:	DESCRIPTION:
No.	11/04/15	AEC	PRELIM/FINAL SUB.

CONSULTANTS:
 MEPS/Structural/Civil Engineers:
 Associated Engineering Consultants Incorporated
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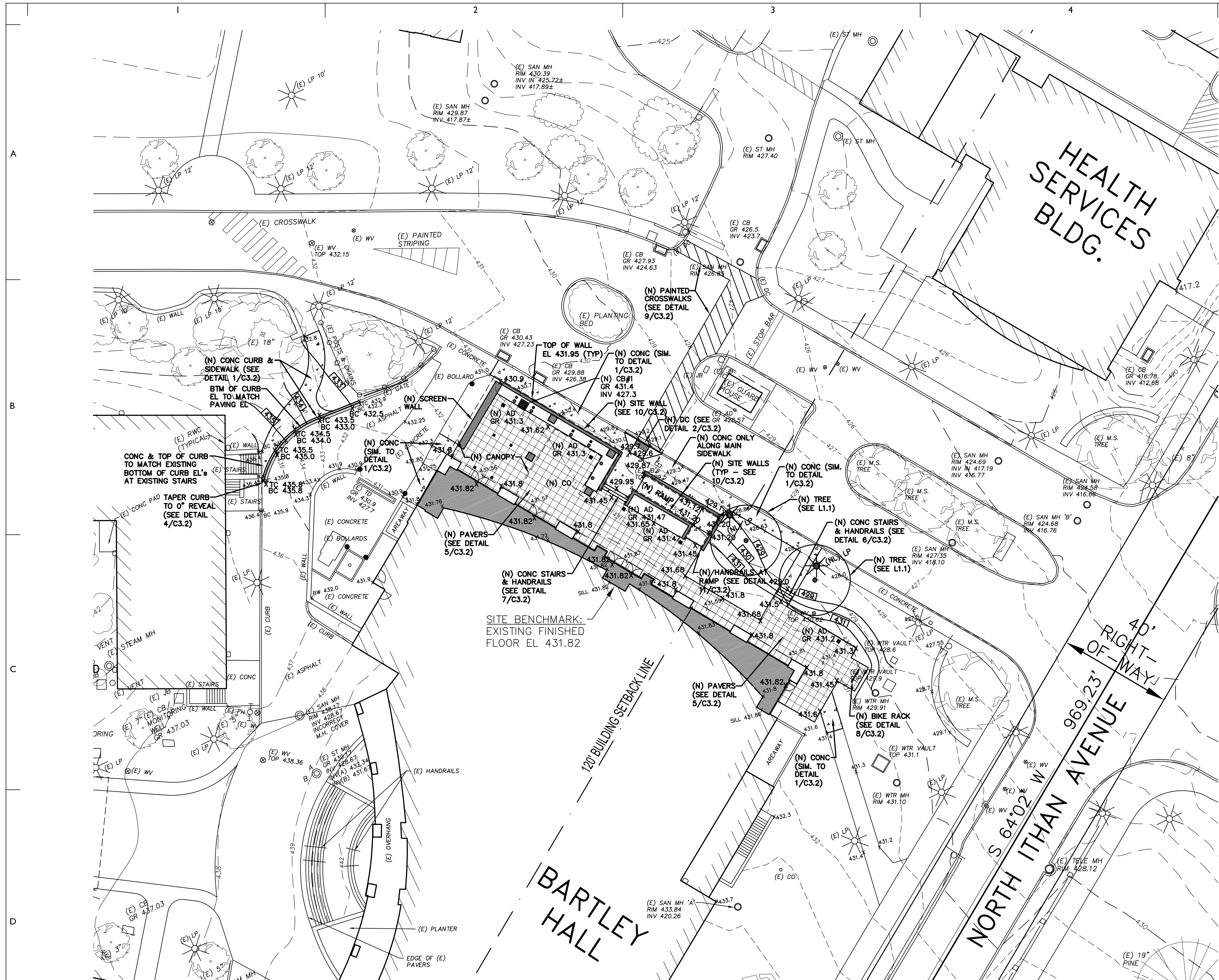
PROJECT:
Bartley Exchange Plaza + Entrance Plaza
 Villanova University
 Villanova, PA

SHEET TITLE:
SOIL EROSION CONTROL PLAN

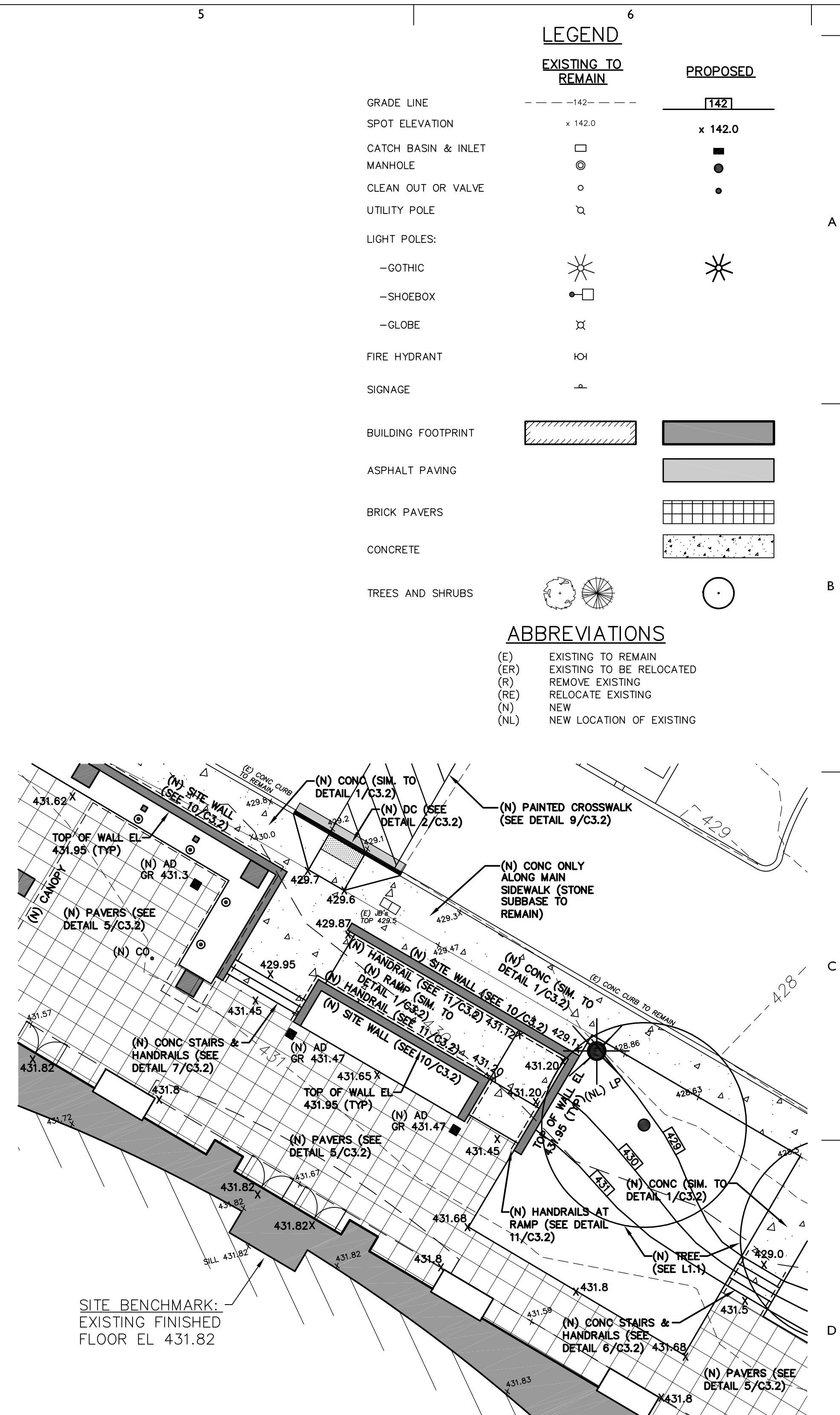
PROJECT NO.: 479.000 / AEC PROJECT NO. 0031.003

SCALE:	AS NOTED
DRAWN BY:	BJD
APPROVED:	KRM
DATE:	11/04/15
DRAWING NO.:	

C1.3
 SHEET 5 OF 13

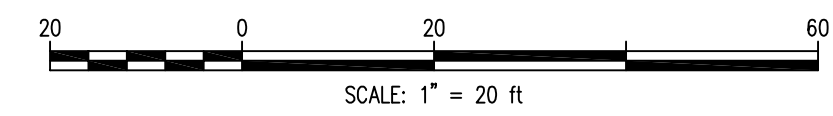


1
C2.1 SITE DEVELOPMENT PLAN
SCALE: 1"=20'-0"



2
C2.1 ENLARGED PLAN AT ENTRANCE PLAZA
SCALE: 1"=10'-0"

NOTE:
A GRADING PLAN AND EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.



LEGEND

	EXISTING TO REMAIN	PROPOSED
GRADE LINE	- - - - - 142-	[142]
SPOT ELEVATION	x 142.0	x 142.0
CATCH BASIN & INLET	□	●
MANHOLE	⊙	●
CLEAN OUT OR VALVE	⊖	●
UTILITY POLE	⊕	●
LIGHT POLES:		
-GOTHIC	⊛	⊛
-SHOEBOX	⊞	⊞
-GLOBE	⊠	⊠
FIRE HYDRANT	⊕	⊕
SIGNAGE	⊠	⊠
BUILDING FOOTPRINT	[Hatched]	[Solid]
ASPHALT PAVING	[Grid]	[Grid]
BRICK PAVERS	[Grid]	[Grid]
CONCRETE	[Grid]	[Grid]
TREES AND SHRUBS	[Circle]	[Circle]

ABBREVIATIONS

(E) EXISTING TO REMAIN
 (ER) EXISTING TO BE RELOCATED
 (R) REMOVE EXISTING
 (RE) RELOCATE EXISTING
 (N) NEW
 (NL) NEW LOCATION OF EXISTING

ALL DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS OF GOV. AGENCIES AND AGENCIES HAVING JURISDICTION OVER THE PROJECT. © 2015 C/CAD/CORPORATION, CHARLOTTE, NC

REVISIONS:	DATE:	BY:	DESCRIPTION:
No. 1	11/04/15	AEC	PRELIM/FINAL SUB.

CONSULTANTS:

CICADA
 ARCHITECTURE/PLANNING/ENGINEERING
 1520 LOCUST STREET, PHILADELPHIA, PA 19104
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 www.cicadainc.com

PROFESSIONAL SEAL: DAVID C. BRANDT, ENGINEER, No. 27492-E, State of Pennsylvania

PROJECT: Bartley Exchange Plaza + Entrance Plaza, Villanova University, Villanova, PA

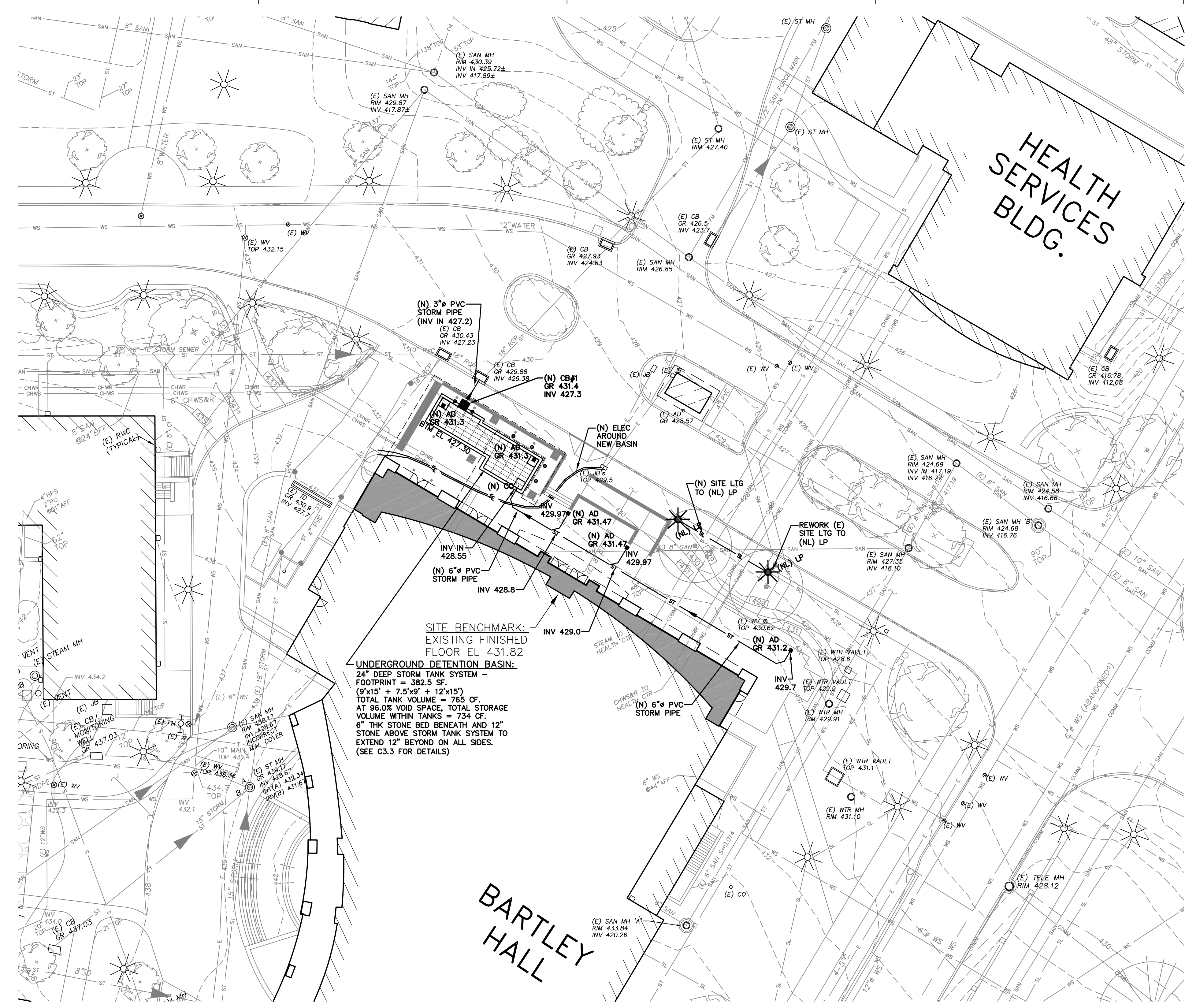
SHEET TITLE: SITE DEVELOPMENT PLAN

PROJECT NO.: 479.000 / AEC PROJECT NO. 0031.003

SCALE AS NOTED

DRAWN BY:	BJD
APPROVED:	KRM
DATE:	11/04/15
DRAWING NO.:	C2.1

SHEET 6 OF 13



SITE BENCHMARK:
EXISTING FINISHED FLOOR EL 431.82

UNDERGROUND DETENTION BASIN:
24" DEEP STORM TANK SYSTEM -
FOOTPRINT = 382.5 SF
(9'x15' + 7.5'x9' + 12'x15')
TOTAL TANK VOLUME = 765 CF.
AT 96.0% VOID SPACE, TOTAL STORAGE VOLUME WITHIN TANKS = 734 CF.
6" THK STONE BED BENEATH AND 12" STONE ABOVE STORM TANK SYSTEM TO EXTEND 12" BEYOND ON ALL SIDES.
(SEE C3.3 FOR DETAILS)

1 SITE UTILITIES PLAN
SCALE: 1"=20'-0"

LEGEND

	EXISTING TO REMAIN	PROPOSED
STORM SEWER	ST	ST
SANITARY SEWER	SAN	SAN
WATER SERVICE	WS	WS
STEAM	S	S
COMMUNICATIONS	COMM	COMM
ELECTRIC SERVICE	E	E
SITE LIGHTING	SL	SL
GAS SERVICE	G	G
CHILLED WATER SUPPLY	CHWS	CHWS
CHILLED WATER RETURN	CHWR	CHWR
CATCH BASIN & INLET	CB	CB
MANHOLE	MH	MH
CLEAN OUT OR VALVE	CO	CO
UTILITY POLE	UP	UP
LIGHT POLE	LP	LP
FIRE HYDRANT	FH	FH

ABBREVIATIONS

(E)	EXISTING TO REMAIN
(ER)	EXISTING TO BE RELOCATED
(R)	REMOVE EXISTING
(RE)	RELOCATE EXISTING
(N)	NEW
(NL)	NEW LOCATION OF EXISTING

TOWNSHIP ACCESS NOTE:

The Property Owner allows Radnor Township access to the stormwater management facilities for inspection purposes.

NOTES:

- A. No person shall modify, remove, fill, landscape, or alter any existing stormwater control or BMP, unless it is part of an approved maintenance program, without the written approval of the municipality.
- B. No person shall place any structure, fill, landscaping, or vegetation into a stormwater control or BMP or within a drainage easement which would limit or alter the functioning of the stormwater control or BMP without the written approval of the municipality.

STORMWATER MANAGEMENT FACILITIES - MAINTENANCE REQUIREMENTS:

The Property Owner is responsible for ownership and maintenance of the stormwater facilities. The maintenance responsibilities for the stormwater management facilities shall include, but not be limited to: mowing all lawn areas; cutting all weeds and overgrown vegetation; maintaining stable side slopes; maintaining the berm and outlet structure; inspecting the basin once a year and after each storm event greater than 100 years to ensure none of the orifices are clogged; flushing the basin every two years to prevent the build up of debris and sediment; clearing and disposing of all debris, utilizing a vacuum truck as necessary; repairing any problems associated with erosion; maintaining all stormwater pipes, swales, catch basins, manholes and orifices; maintaining an unobstructed flow of stormwater through the outlet structure; and maintaining the design capacity of the stormwater management facility.

I acknowledge that the stormwater controls and the BMP's are fixtures that can be altered or removed only after approval by the municipality.

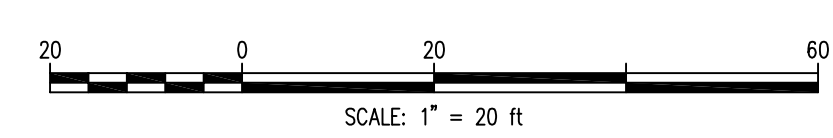
Landowner _____

I hereby acknowledge that any revision to the approved drainage plan must be approved by the municipality, and that a revised erosion and sediment control plan must be submitted to the Conservation District for a determination of adequacy.

Applicant _____

I hereby certify that the drainage plan meets all design standards & criteria of the Radnor Township Stormwater Management Ordinance.

David C. Brandt, PE



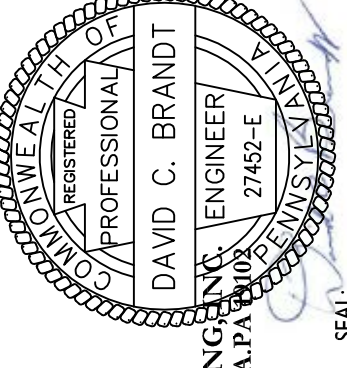
NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

REVISIONS:

No.	DATE	DESCRIPTION
1	11/04/15	PRELIM/FINAL SUB.

CONSULTANTS:

MEP/Structural/Civil Engineers:
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Villanova University
Villanova, PA

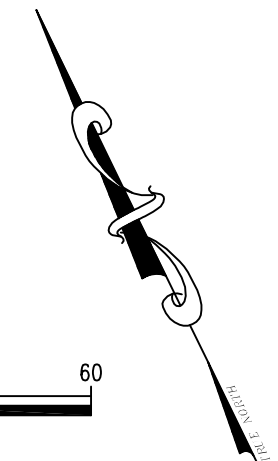
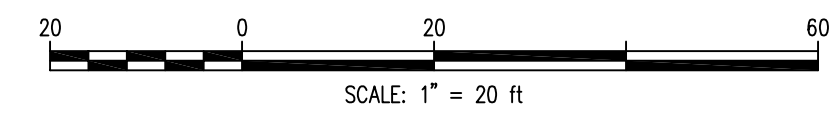
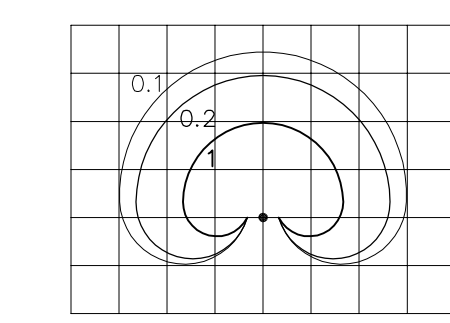
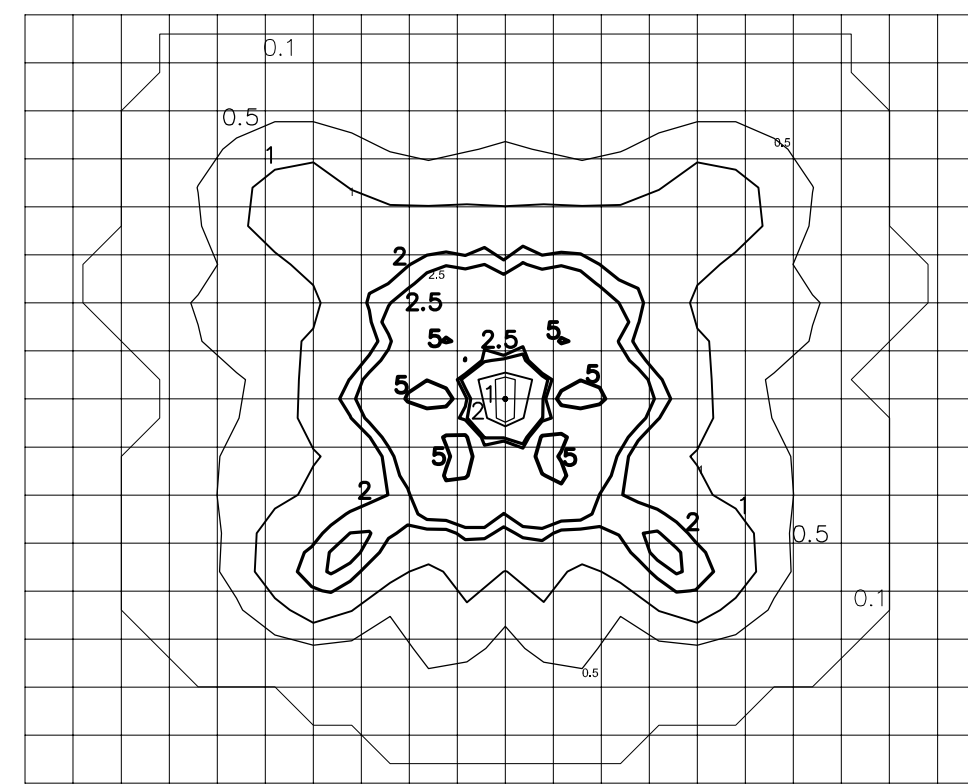
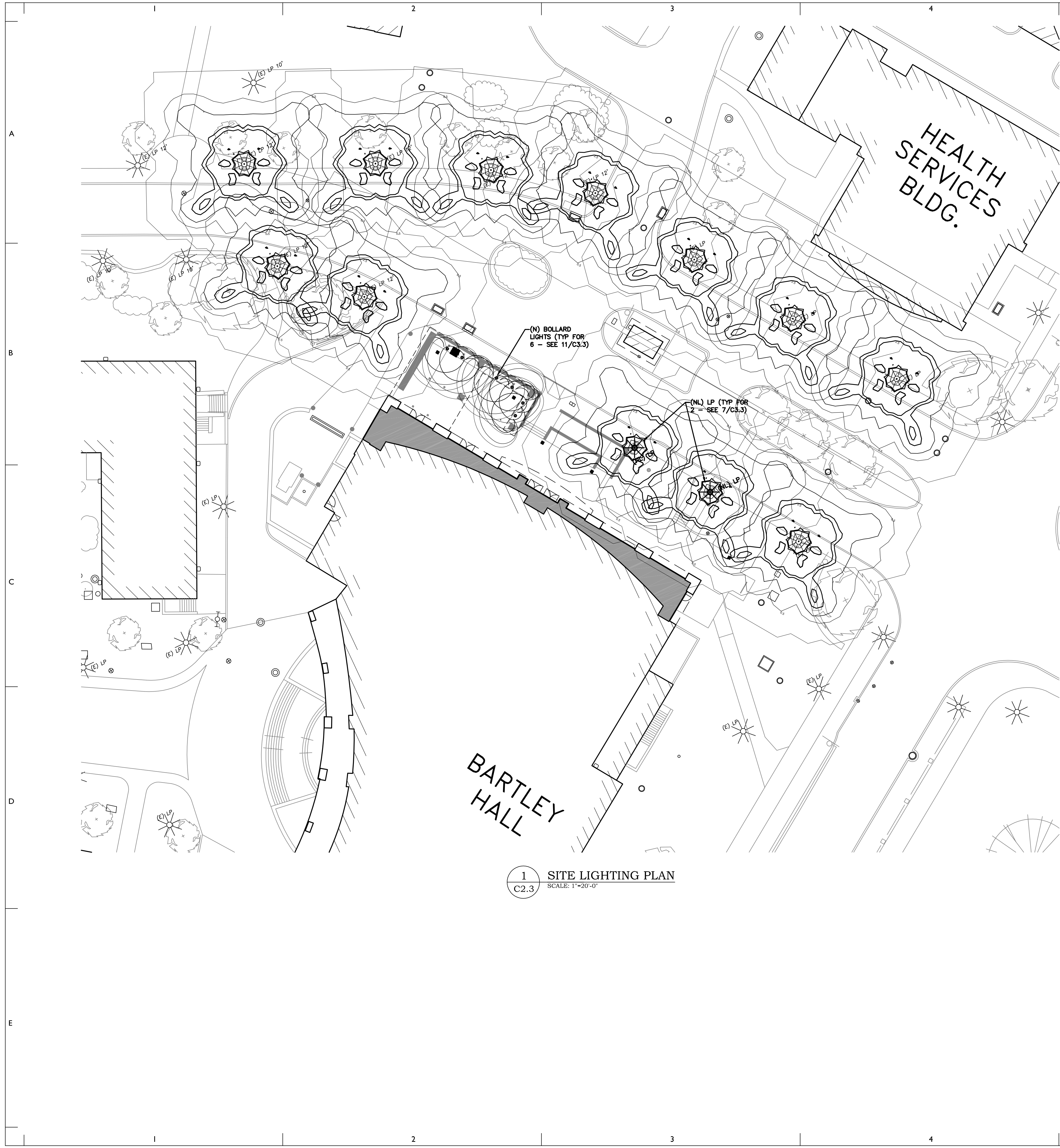
SITE UTILITIES PLAN

PROJECT NO. 479.000 / AEC PROJECT NO. 0031.003

SCALE: AS NOTED

DRAWN BY:	BJD
APPROVED:	KRM
DATE:	11/04/15

DRAWING NO. **C2.2**
SHEET 7 OF 13



ALL DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS OF GOV. JURISDICTION. © 2015 CICADA ARCHITECTURE/PLANNING INC. PHILADELPHIA, PA

NO.	DATE	DESCRIPTION
1	11/04/15	PRELIM/FINAL SUB.

REVISIONS:

CONSULTANTS:

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REGISTERED PROFESSIONAL ENGINEER
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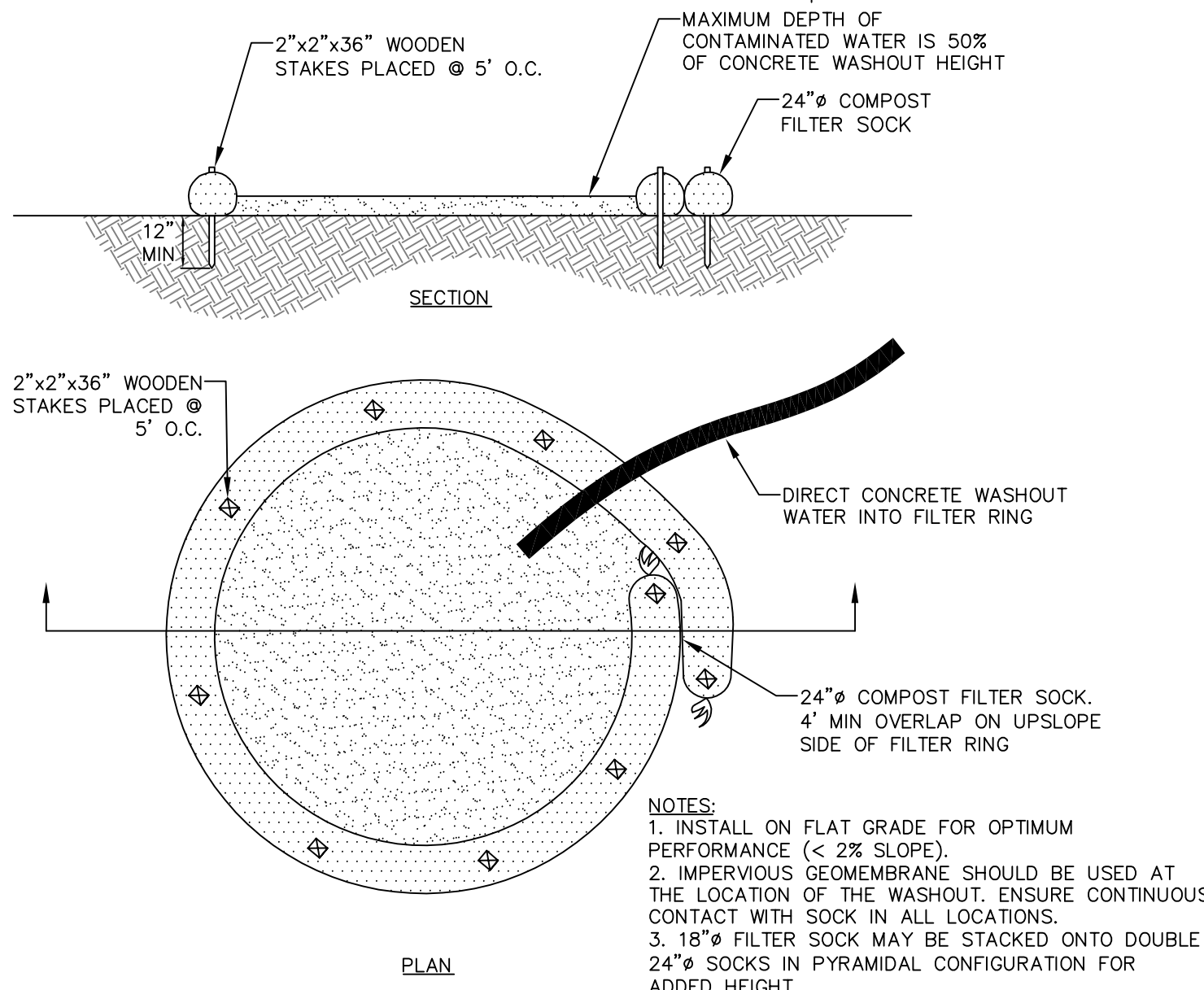
PROJECT:
Bartley Exchange Plaza + Entrance Plaza
Villanova University
Villanova, PA

SHEET TITLE:
SITE LIGHTING PLAN

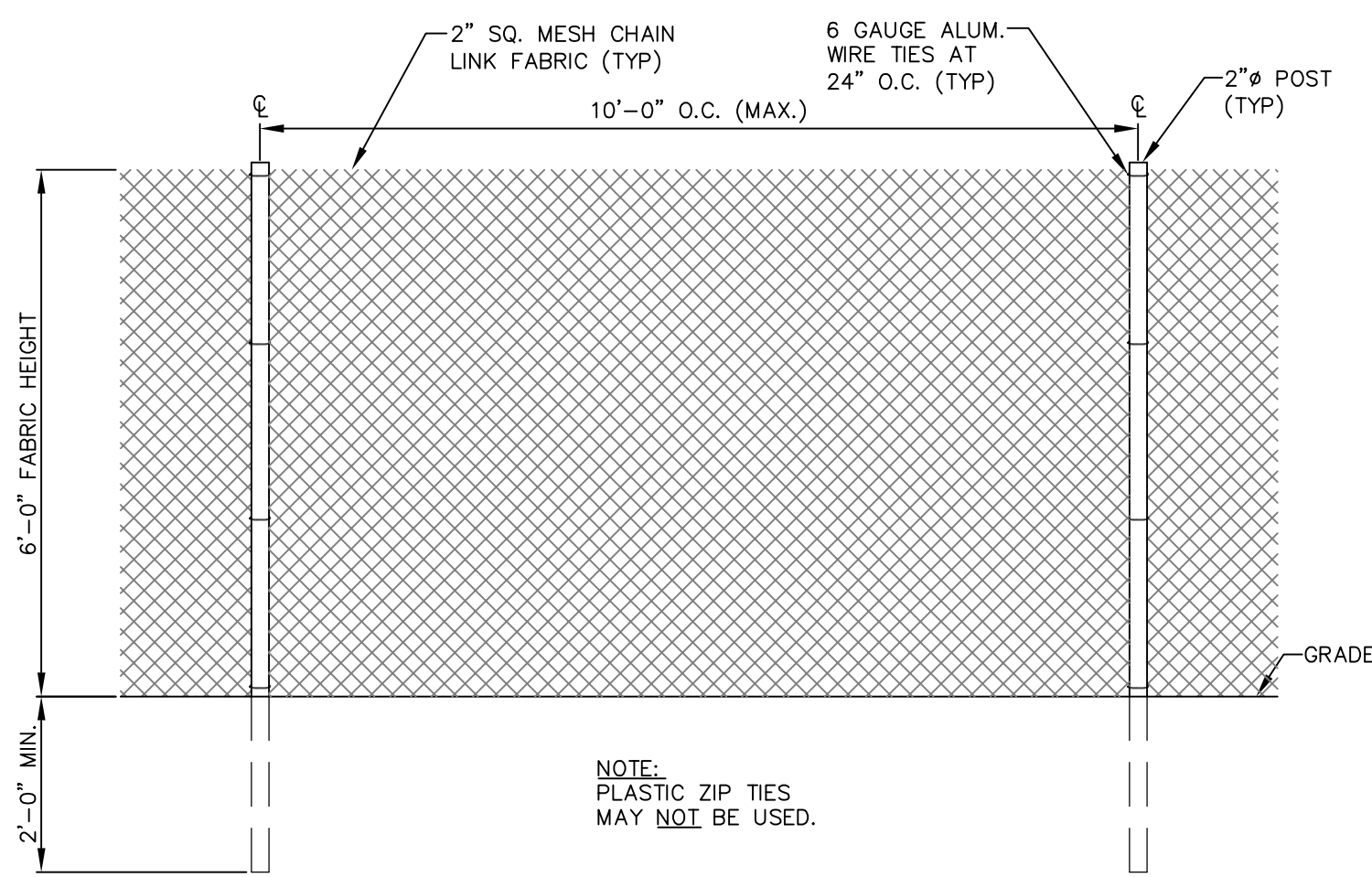
PROJECT NO.: 479.00 / AEC PROJECT NO. 031.003

SCALE	AS NOTED
DRAWN BY:	BJD
APPROVED:	KRM
DATE:	11/04/15
DRAWING NO.:	C2.3

SHEET 8 OF 13

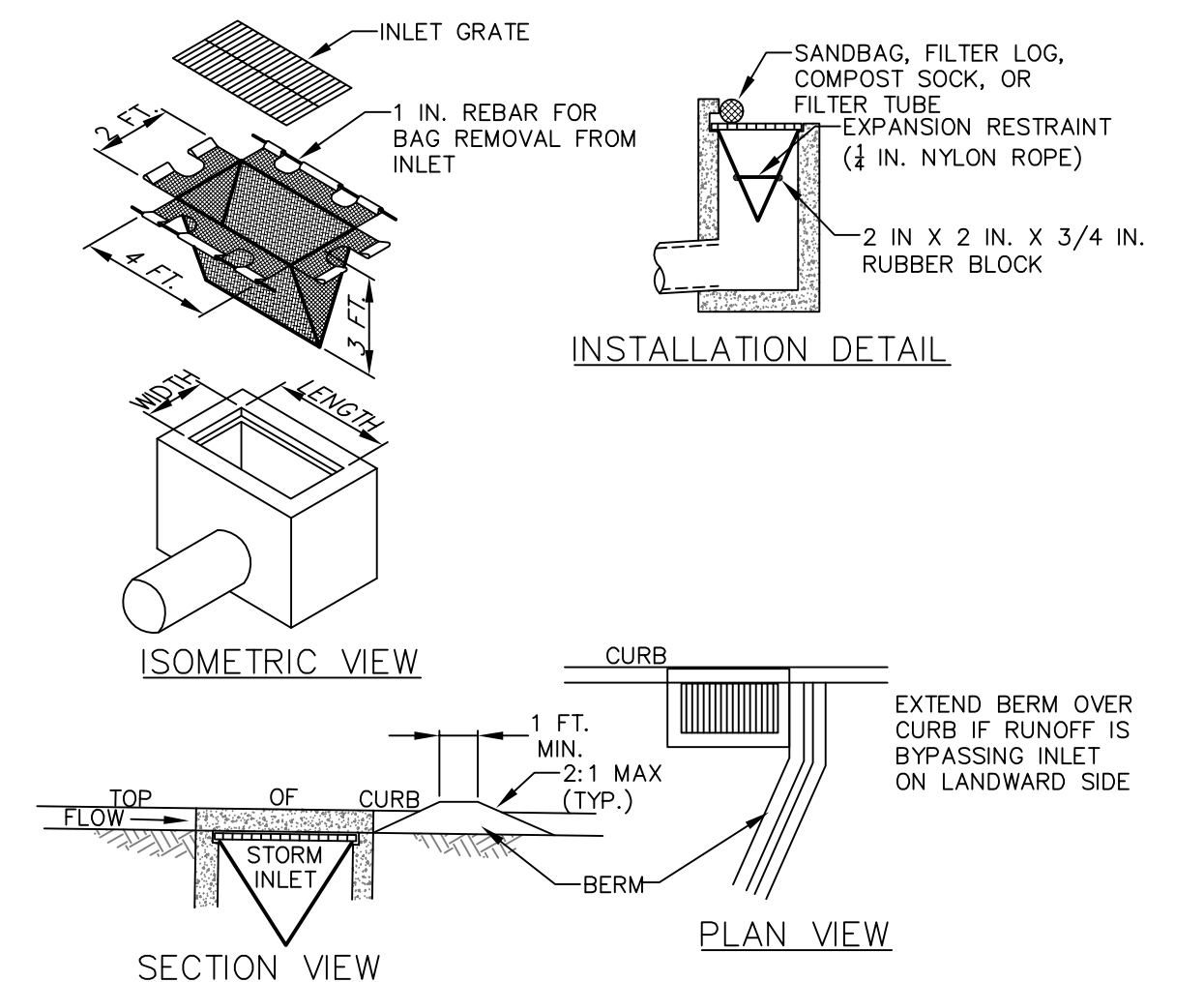


1
C3.1 CONCRETE WASHOUT DETAIL
SCALE: NOT TO SCALE



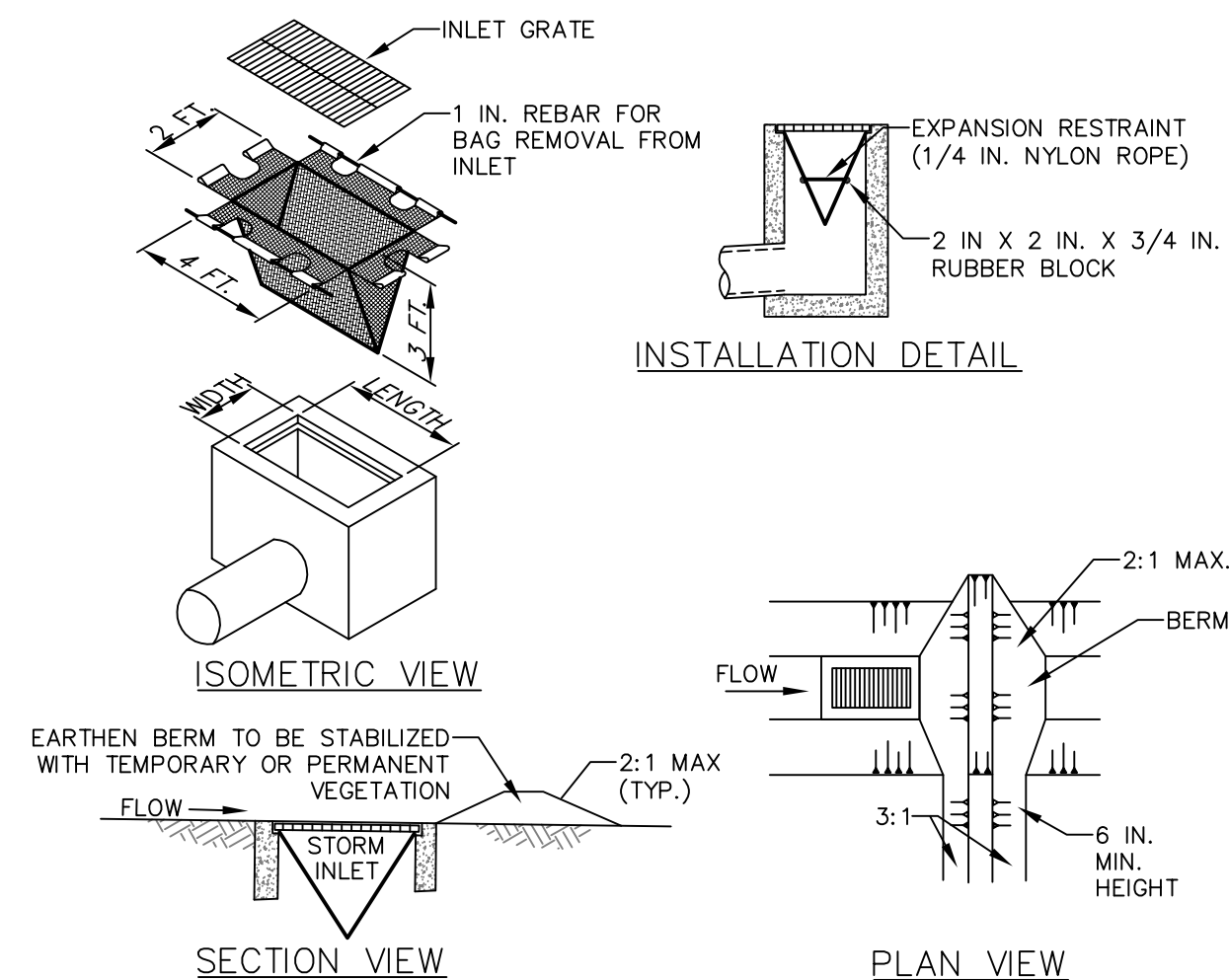
2
C3.1 TYPICAL SOIL STOCKPILE CROSS SECTION
SCALE: NOT TO SCALE

- NOTES:**
- SILT FENCE OR SILT SOCK MUST COMPLETELY ENCIRCLE STOCKPILES.
 - TOPSOIL SHALL NOT BE REMOVED FROM THE DEVELOPMENT SITE OR USED AS FILL.
 - TOPSOIL SHALL BE REMOVED FROM THE AREAS OF CONSTRUCTION AND STORED SEPARATELY.
 - THE TOPSOIL SHALL BE STABILIZED TO MINIMIZE EROSION DURING STORAGE.
 - UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHALL BE UNIFORMLY REDISTRIBUTED ON THE SITE.



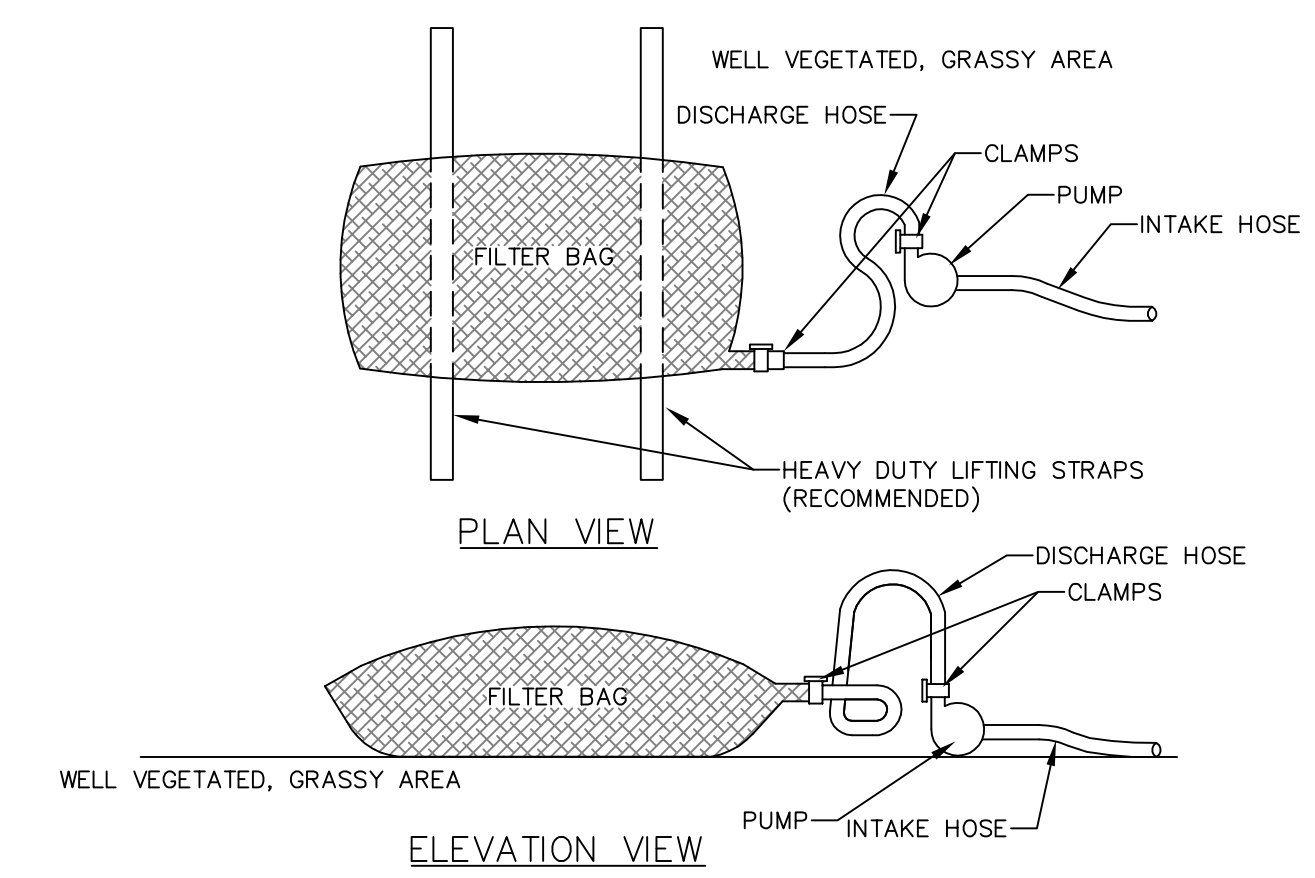
3
C3.1 TYPE 'C' INLET - FILTER BAG PROTECTION DETAIL
SCALE: NOT TO SCALE

- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
- INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
- ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
- AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
- INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
- DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



4
C3.1 EROSION CONTROL BLANKET INSTALLATION DETAIL
SCALE: NOT TO SCALE

- NOTES:**
- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
- PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
- BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
- THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.
- LOCATION SHOWN THUS ON PLAN C1.3.



5
C3.1 TREE PROTECTION BARRIER FENCING DETAIL
SCALE: 1/2" = 1'-0"

- (LOCATION SHOWN THUS ON PLAN)
- NOTES:**
- PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.
 - ADDITIONAL WARNING SIGNS SHOULD ALSO BE PLACED ON THE FENCING AND IN APPROPRIATE AREAS NEAR THE WORK ZONE.
 - TREE PROTECTION FENCE SHALL BE INSPECTED BY THE OWNER OR CONTRACTOR AT THE END OF EVERY DAY FOR THE DURATION OF THE PROJECT. THE FENCE SHALL BE REPAIRED WHERE NECESSARY.

6
C3.1 SILT SOCK DETAIL
SCALE: NOT TO SCALE

- SILT SOCK NOTES:**
- The Silt Sock is to be laid on top of the ground along the down-slope areas and along side-slope areas as required to prevent or reduce erosion.
 - The Silt Sock can either be lapped or butted at the ends to create a continuous line of defense.
 - Socks placed on earthen slopes should be anchored with stakes driven through the center of the sock at intervals recommended by the manufacturer. Where socks are placed on paved surfaces, heavy concrete blocks should be used immediately down slope of the socks to help hold the sock in place.
 - Traffic shall not be permitted to cross Silt Sock. If the Silt Sock is deformed due to being driven over or dragged, then it is to be re-contoured by hand if applicable. If not, the silt sock shall be repaired (see repair notes below).
 - If the Silt Sock rolls due to hydraulic force, then it is to be repositioned and staked.
 - If the Silt Sock loses ground contact, then fill in the depressions and back-grout with chips from damaged section.
 - If sediment accumulates to half of the sock height, then remove the sediment by hand. It may be necessary to install a second row of sock positioned on top of or up slope of the original sock.
 - If holes, rips or tears develop in the sock, then small holes or narrow rips shorter than 12 inches may be stitched closed using plastic zip ties. Tears longer than 12 inches require the sock to be replaced. Repairs or replacement shall occur within 24 hours of inspection.
 - If a pinch or localized diameter reduction of more than half of the original diameter develops in the sock, then a new section of sock is to be installed upslope of the damaged section.
 - Silt Socks shall be inspected weekly and after each runoff event.
 - Biodegradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to the manufacturer's recommendations.
 - Silt Socks shall be removed upon stabilization of the area tributary to the sock.
 - LOCATION SHOWN THUS ON PLAN C1.3.

7
C3.1 TYPE 'M' INLET - FILTER BAG PROTECTION DETAIL
SCALE: NOT TO SCALE

- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
- INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
- ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
- AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
- INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
- DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

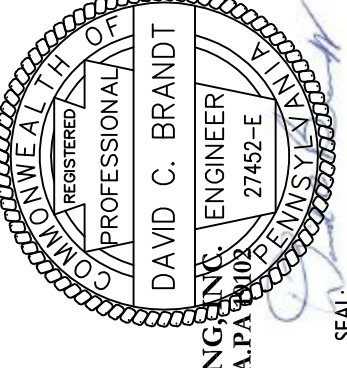
8
C3.1 PUMPED WATER FILTER BAG DETAIL
SCALE: NOT TO SCALE

- NOTES:**
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:
- | PROPERTY | TEST METHOD | MINIMUM STANDARD |
|--------------------------|-------------|------------------|
| AVG. WIDE WIDTH STRENGTH | ASTM D-4884 | 60 LB/IN |
| GRAB TENSILE | ASTM D-4862 | 205 LB |
| PUNCTURE | ASTM D-4833 | 110 LB |
| MULLEN BURST | ASTM D-3786 | 350 PSI |
| UV RESISTANCE | ASTM D-4355 | 70% |
| AOS % RETAINED | ASTM D-4751 | 80 SIEVE |
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

REVISIONS

No.	DATE	BY	DESCRIPTION
1	11/04/15	AEC	PRELIM/FINAL SUB.

ALL DIMENSIONS AND DETAIL CHECKED AND VERIFIED BY THE CONTRACTOR AT THE WORKSHEET COMPANY WITH APPLICABLE CODES AND REGULATIONS OF GOV. ENGINEERING AUTHORITY HAVING JURISDICTION. © 2015 CADAC ARCHITECTURE/PLANNING INC.



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ARCHITECTURE/PLANNING INC.
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Bartley Exchange Plaza + Entrance Plaza
Villanova University
Villanova, PA

SOIL EROSION CONTROL SECTIONS AND DETAILS

PROJECT NO. 479.000 / AEC PROJECT NO. 0031.003

SCALE: AS NOTED

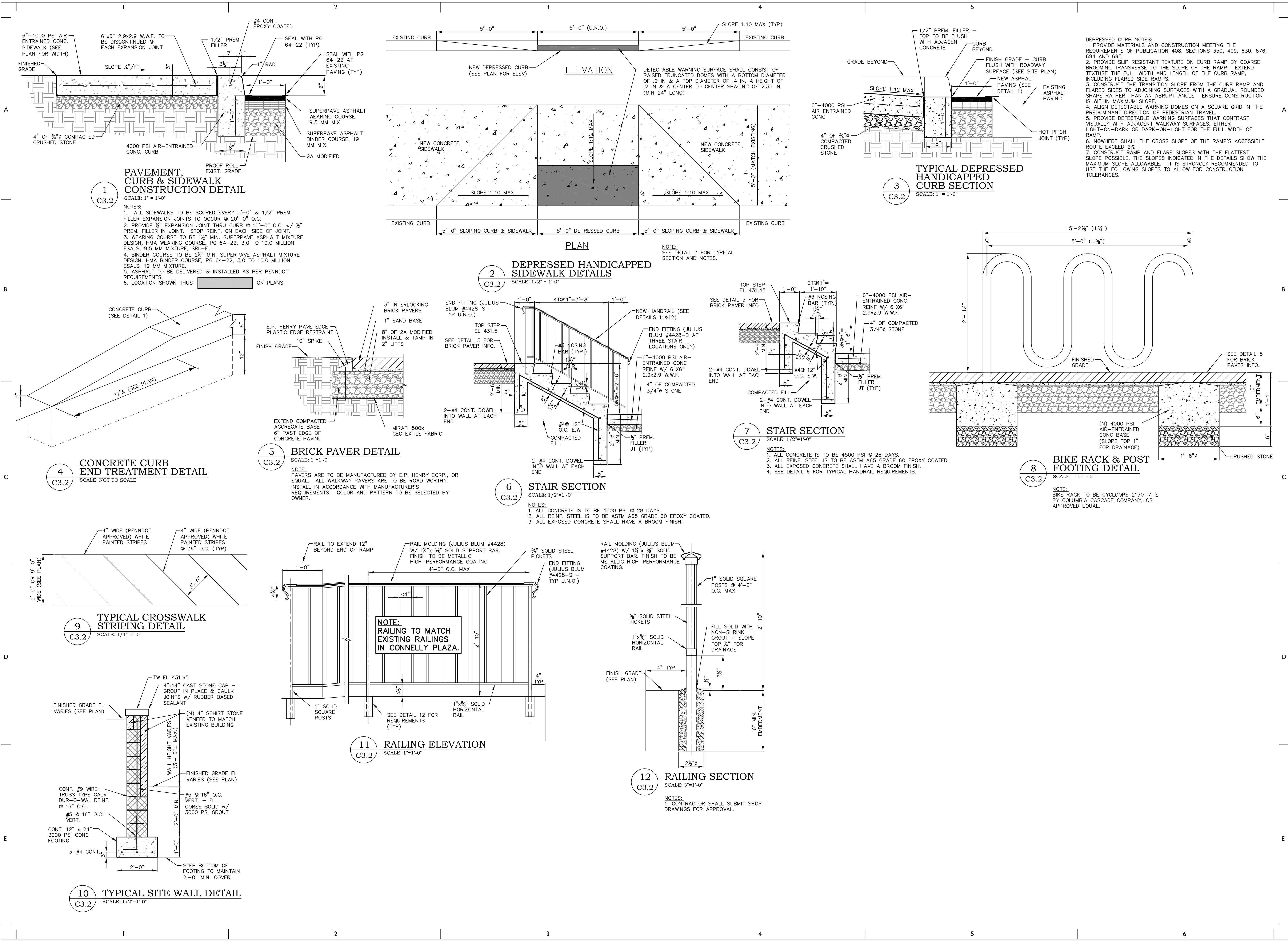
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APPROVED: KRM

DATE: 11/04/15

C3.1
SHEET 10 OF 13

NOTE:
SEE C3.0 FOR EROSION & SEDIMENTATION CONTROL NOTES, CONSTRUCTION SEQUENCE AND PROJECT GENERAL NOTES.

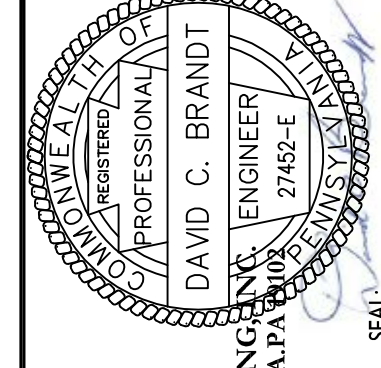


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REVISIONS:	No.	DATE	BY	DESCRIPTION
	1	11/04/15	AEC	PRELIM/FINAL SUB.

CONSULTANTS:

MEPCivil Engineers
Associated Engineering Consultants Incorporated
1400 Down Town Circle, Suite 113, Myrtle Beach, SC 29577
C. Brandt, P.E. | P. Brandt, P.E. | J. Brandt, P.E. | M. Brandt, P.E.



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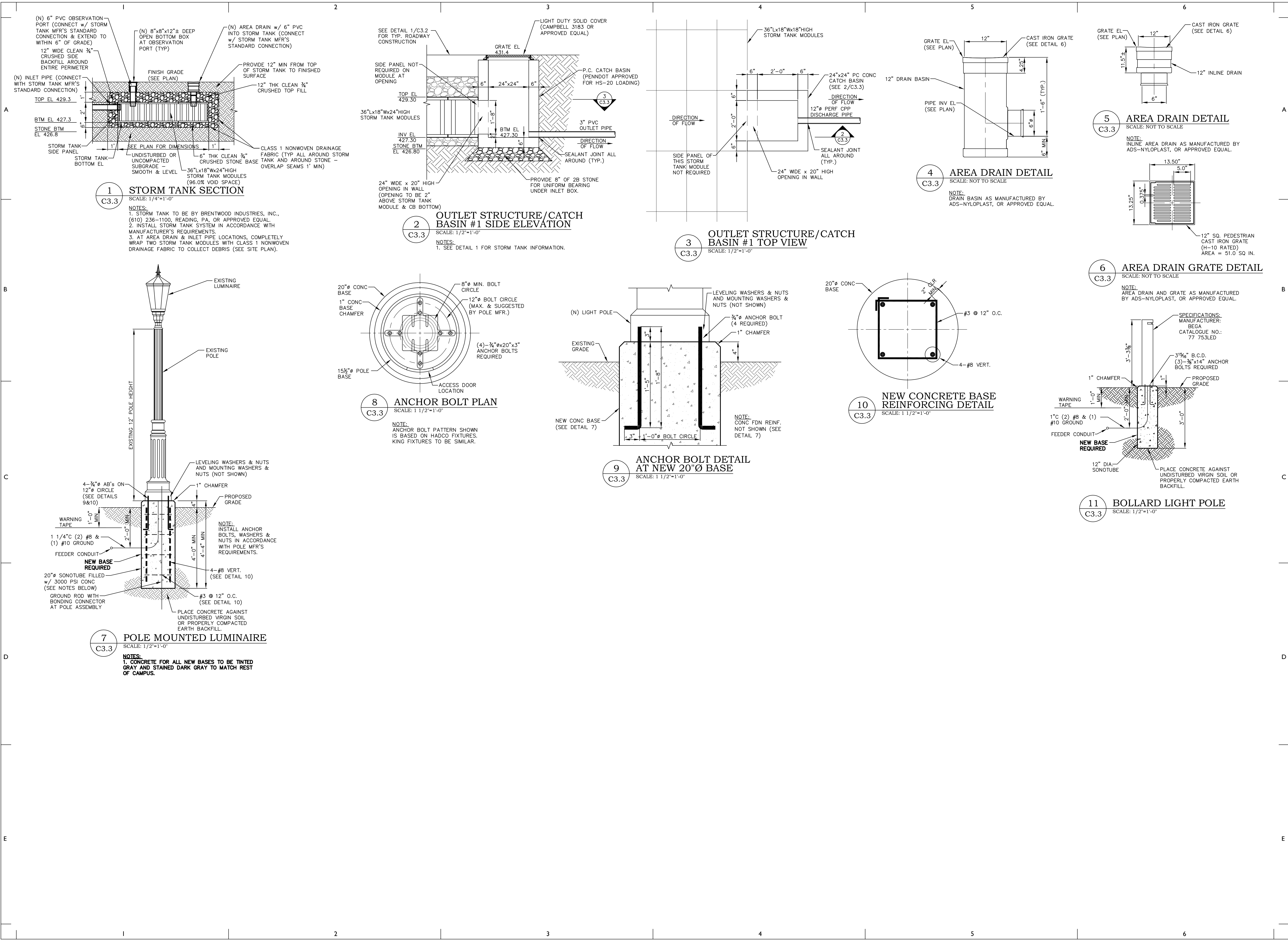
SITE SECTIONS AND DETAILS

PROJECT NO. 479.000 / AEC PROJECT NO. 031.003

SHEET TITLE: SITE SECTIONS AND DETAILS

SCALE	AS NOTED
DRAWN BY:	BJD
APPROVED:	KRM
DATE:	11/04/15
DRAWING No.:	C3.2

SHEET 11 OF 13



1 STORM TANK SECTION
SCALE: 1/4"=1'-0"

NOTES:
1. STORM TANK TO BE BY BRENTWOOD INDUSTRIES, INC., (610) 236-1100, READING, PA, OR APPROVED EQUAL.
2. INSTALL STORM TANK SYSTEM IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
3. AT AREA DRAIN & INLET PIPE LOCATIONS, COMPLETELY WRAP TWO STORM TANK MODULES WITH CLASS 1 NONWOVEN DRAINAGE FABRIC TO COLLECT DEBRIS (SEE SITE PLAN).

2 OUTLET STRUCTURE/CATCH BASIN #1 SIDE ELEVATION
SCALE: 1/2"=1'-0"

NOTES:
1. SEE DETAIL 1 FOR STORM TANK INFORMATION.

3 OUTLET STRUCTURE/CATCH BASIN #1 TOP VIEW
SCALE: 1/2"=1'-0"

4 AREA DRAIN DETAIL
SCALE: NOT TO SCALE

NOTE:
DRAIN BASIN AS MANUFACTURED BY ADS-NYLOPLAST, OR APPROVED EQUAL.

5 AREA DRAIN DETAIL
SCALE: NOT TO SCALE

NOTE:
INLINE AREA DRAIN AS MANUFACTURED BY ADS-NYLOPLAST, OR APPROVED EQUAL.

6 AREA DRAIN GRATE DETAIL
SCALE: NOT TO SCALE

NOTE:
AREA DRAIN AND GRATE AS MANUFACTURED BY ADS-NYLOPLAST, OR APPROVED EQUAL.

7 POLE MOUNTED LUMINAIRE
SCALE: 1/2"=1'-0"

NOTES:
1. CONCRETE FOR ALL NEW BASES TO BE TINTED GRAY AND STAINED DARK GRAY TO MATCH REST OF CAMPUS.

8 ANCHOR BOLT PLAN
SCALE: 1 1/2"=1'-0"

NOTE:
ANCHOR BOLT PATTERN SHOWN IS BASED ON HADCO FIXTURES. KING FIXTURES TO BE SIMILAR.

9 ANCHOR BOLT DETAIL AT NEW 20" Ø BASE
SCALE: 1 1/2"=1'-0"

NOTE:
CONC FDN REINF. NOT SHOWN (SEE DETAIL 7)

10 NEW CONCRETE BASE REINFORCING DETAIL
SCALE: 1 1/2"=1'-0"

11 BOLLARD LIGHT POLE
SCALE: 1/2"=1'-0"

ALL DIMENSIONS AND DET. CHECKED AND VERIFIED BY THE CONTRACTOR AT THE WORKS. SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS OF GOV. ENGINEERING AUTHORITY HAVING JURISDICTION.

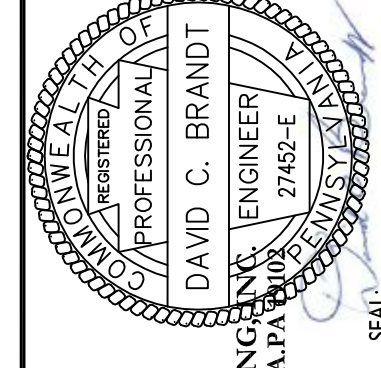
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CONSULTANTS:

MEP/Structural/Civil Engineers:

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Villanova University
Villanova, PA

PROJECT NO. 479.00 / AEC PROJECT NO. 0031.003

SHEET TITLE: **SITE UTILITIES SECTIONS AND DETAILS**

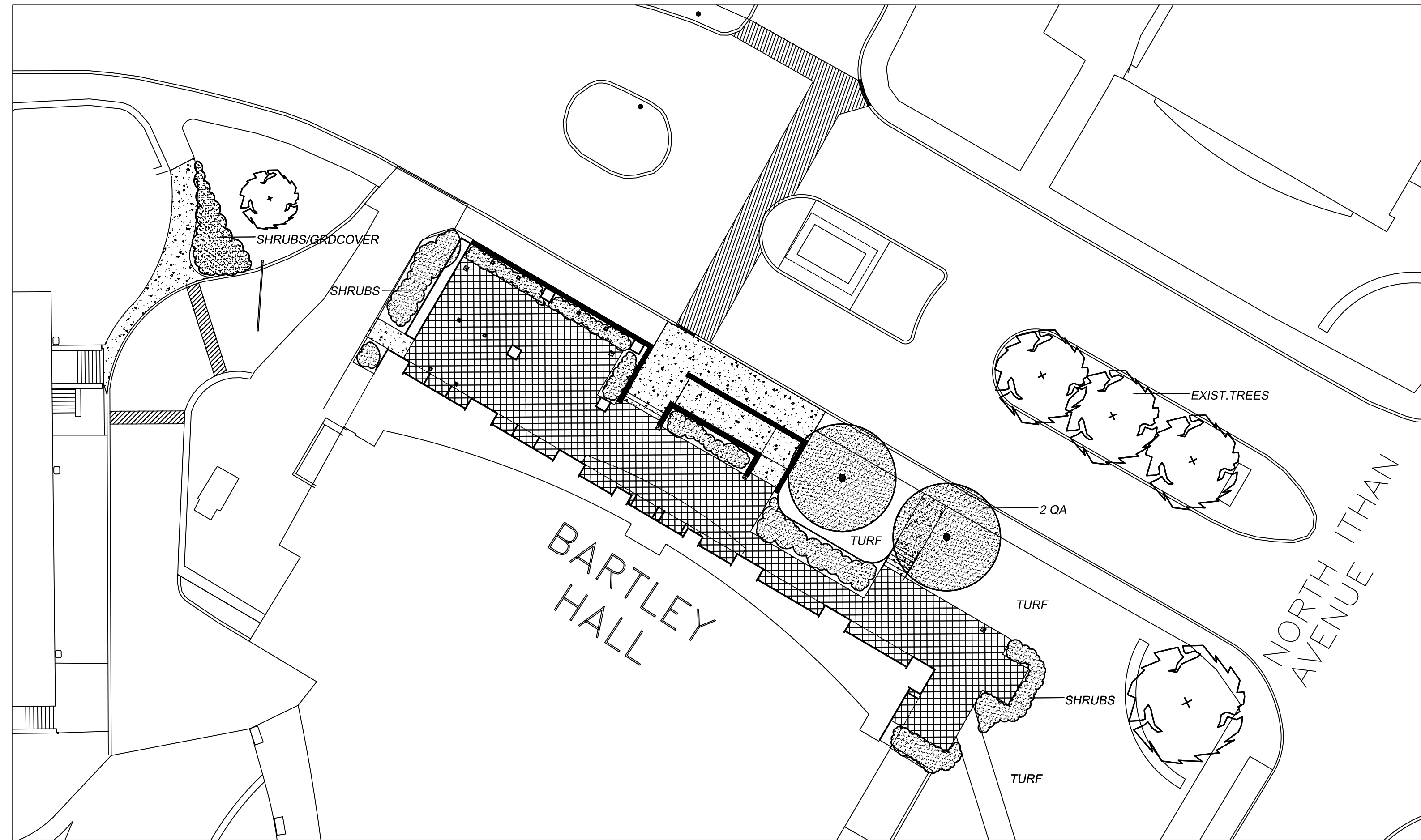
SCALE: AS NOTED

DRAWN BY: BJD

APPROVED: KRM

DATE: 11/04/15

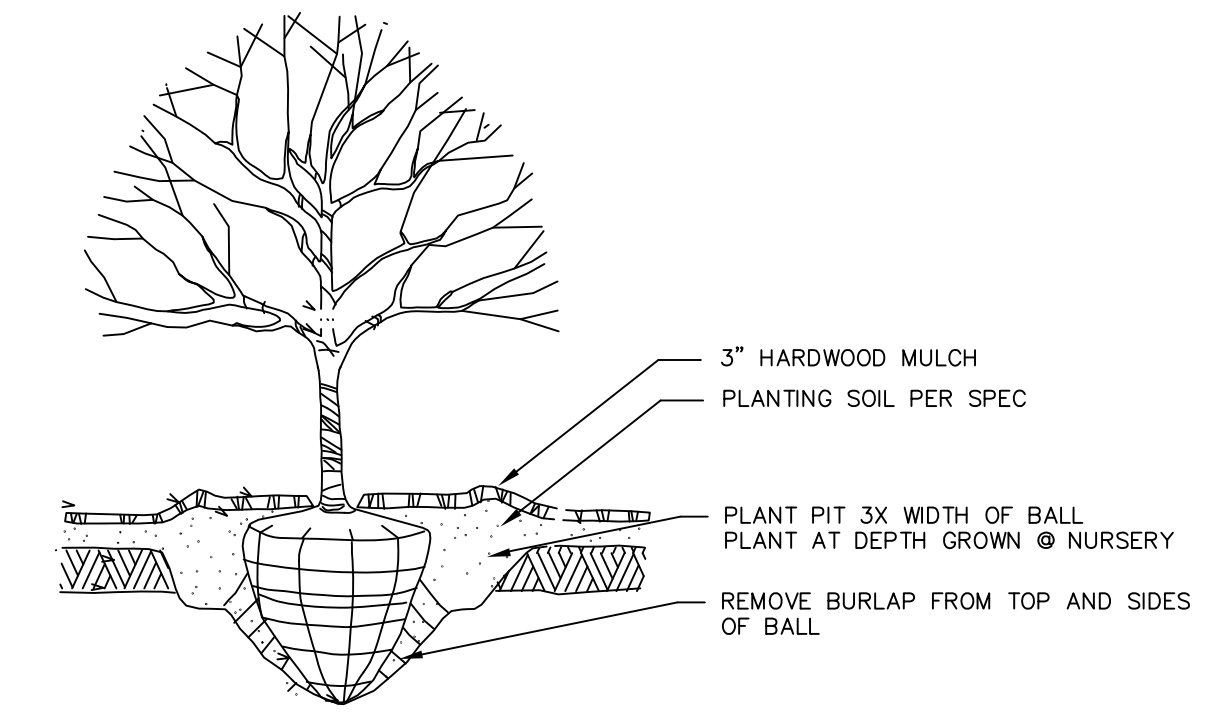
DRAWING: **C3.3**
SHEET 12 OF 13



Tree Removals
6-23"cal 2 trees

Township Planting Requirements
TREE REPLACEMENT 2 TOTAL
1 tree/6-18"cal tree removal (2)

Deciduous Canopy
Quercus acutissima Sawtooth Oak QA 2 1/2-3"cal. 2



TREE PLANTING DETAIL

Planting Soil

Soil for all on-grade planting shall be composed of three parts topsoil and one part processed compost or equal organic matter. It shall be mixed dry to a uniform texture without lumps and containing no stones, sticks, roots, or other foreign material. Fertilizer and other soil amendments shall be applied and incorporated, at amounts and rates determined by the topsoil analysis. Planting Soil shall have a pH range from 6 to 7, which will be confirmed by an analysis of the soil mix by an accredited soils laboratory, provided at the Contractor's cost. In all planting areas, planting soil shall be placed so that bed surface will be at finished grade when mixture has settled to normal compaction.

Topsoil stripped and stockpiled on the site may be used providing that it meets the requirements specified herein. The Contractor shall be responsible for removing from the stockpiled topsoil any of the deleterious admixtures as listed herein. Topsoil provided by the Contractor from off the site areas shall be obtained from naturally well drained areas and installed by the Contractor at no additions to the contract price.

Topsoil shall consist of natural friable loam soil capable of sustaining normal plant growth. It shall be of uniform quality, free from brush, weeds, hard clods, stiff clay, sods, stone, stumps, roots etc. larger than 1/2" in diameter, toxic substances and any material or substance harmful to plant growth or that would be a hindrance to planting and maintenance operations. Topsoil shall be without admixture of subsoil, refuse, or any foreign material.

Topsoil shall contain not less the 6% organic matter and not more than 10% organic matter determined by loss of ignition of moisture-free samples dried in accordance with the current method of the Association of Official Agricultural Chemists.

Plants

All plants shall be the kind and size indicated on the plant list and shall be true to name. Grading of all plants shall be in accordance with the code of standards as stated in the current issue of the American Standard for Nursery Stock published by the American Association of Nurseryman. All plants shall have been nursery grown with the same USDA hardiness zone as the project site. All plants shall be sound, healthy, vigorous nursery stock with a normal habit of growth, shall have been subjected to nursery root and top spraying, transplanting, etc., and shall have been inspected and approved for sale, transporting and transplanting by all governmental agencies authorized to administer such control. All plants shall be subject to inspection and approval by the Landscape Architect throughout the contract period. Plants shall be true to measurement specified except that plants larger than specified may be used if approved by the Landscape Architect and at no addition to the Contract Price. Substitutions of plants will not be permitted unless reviewed and approved by the Landscape Architect prior to commencement of the work.

Planting

Excavation of Plant Pits: All plant pit excavation shall be according to the following requirements:

1. Trees with a ball of earth less than four feet in diameter shall be planted in a pit three times as wide as the diameter of the root ball and equal to the depth of the ball. At the conclusion of planting, the root flare shall be visible at finished grade.
2. In no case shall the distance from the ball to the side of the pit be less than twelve inches. The minimum depth of pits for shrubs shall be equal to the depth of the container or rootball.

Burlap, plastic, twine and metal cages shall be removed prior to planting.

Trees shall be staked only in areas of steep slopes (>5:1), high wind, or as directed by Landscape Architect.

All planting areas shall be covered to a uniform loose depth of 3" with finely shredded hardwood bark mulch, unless otherwise indicated.

ALL DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND DISTANCES WITH APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES AND CERTIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES AND CERTIFICATIONS.

REVISIONS:
No. DATE BY DESCRIPTION
1 11/04/15 MB PRELIMINAL SUB.

CONSULTANTS:
MECHANICAL/CIVIL ENGINEERS:
AEC ENGINEERS, INC., 1171
1171 BROADWAY, SUITE 117
PHILADELPHIA, PA 19102-3000
PH: 215-575-1171
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LANDSCAPE ARCHITECTS:
M.J. BARRY & COMPANY
1171 BROADWAY, SUITE 117
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F: 215-575-1171
WWW.MJBARRY.COM

PROJECT:
Bartley Exchange
Expansion & Renovation
Villanova University
Villanova, PA

SHEET TITLE:
Planting Plan

PROJECT NO.: 47930

SCALE:
1"=20'

DRAWN BY:
mb

DATE:
11/04/2015

DRAWING NO.:

L1.1

RESOLUTION NO. 2016-04

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, AWARDED ENGINEERING DESIGN SERVICES FOR THE
REPLACEMENT AND REHABILITATION OF THE MIDLAND AVENUE, SOUTH
ABERDEEN AVENUE, AND LOUELLA AVENUE SANITARY SEWERS**

WHEREAS, Radnor Township, owns, operates and maintains gravity sewer lines on Midland Avenue, South Aberdeen Avenue, and Louella Avenue

WHEREAS, the aforementioned gravity sewer lines are in need of replacement and rehabilitation

WHEREAS, Gannett Fleming, Radnor Township's appointed Township Engineer, has submitted a proposal for the engineering design for the replacement

NOW, THEREFORE, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby approve the award of the Contract Agreement for Professional Services for design engineering for the replacement and rehabilitation of the Midland Avenue, South Aberdeen Avenue, and Louella Avenue sanitary sewers to Gannett Fleming, incorporated, in the amount of \$39,925.

SO RESOLVED this 4th day of January, 2016

RADNOR TOWNSHIP

By: _____

Name: James C. Higgins

Title: President

ATTEST: _____

Robert A. Zienkowski

Manager/Secretary

Radnor Township
PROPOSED LEGISLATION

DATE: December 30, 2015

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Director of Public Works *SFN*

CC: Robert A. Zienkowski, Township Manager

LEGISLATION: Resolution 2016-04: Authorization for Gannett Fleming, Incorporated, to Provide Professional Engineering Services for the Replacement and Rehabilitation of the Midland Avenue, Louella Avenue, and South Aberdeen Avenue Sanitary Sewer Lines

LEGISLATIVE HISTORY: The Engineering Department is seeking to replace and rehabilitate undersized and deteriorated sanitary sewer lines located in Midland Avenue, South Aberdeen Avenue, and Louella Avenue.

PURPOSE AND EXPLANATION: The 2011 Chagrin Valley Engineers' Report called out the sanitary sewer system in Midland Avenue, stating repair to reduce backups into residents' homes, is required. Further investigation has shown that lines on Louella Avenue are in need of rehabilitation, and lines on South Aberdeen are in need of replacement.

IMPLEMENTATION SCHEDULE: 1.) Award of design contract by the Board of Commissioners, 2.) Gannett Fleming to perform design 3.) Upon completion of drawings and cost estimate, approach Board of Commissioners to receive bids for construction.

FISCAL IMPACT: This project will be funded from the Capital Improvement Plan, Sanitary Sewer Management Group, account 02-421-4500.

RECOMMENDED ACTION: I respectfully request that the Board of Commissioners award the design engineering contract in the amount of \$39,925 to Gannett Fleming, Incorporated

MOVEMENT OF LEGISLATION: It is being requested that the Board approve the legislation for this project.