

ZONING DISTRICT C-2 (GENERAL COMMERCIAL DISTRICT)
 LOT SIZE 20,000 SF MIN
 WIDTH AT BUILDING LINE 100' MIN
 BUILDING AREA 30% MAX
 FRONT YARD 15' MIN
 SIDE YARD 20' MIN
 REAR YARD 30' ABUTTING A RESIDENTIAL DISTRICT GREATER OF 35' OR 30% OF LOT DEPTH
 BUILDING HEIGHT 35' MAX
 BUILDING COVERAGE 30% MAX
 IMPERVIOUS COVERAGE 70% MAX

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

GENERAL NOTES

- OWNER/APPLICANT: VILLAGE ASSOCIATES, 503 WEST LANCASTER AVENUE, SUITE 240, WAYNE, PA 19087
- BOUNDARY SURVEY AND EXISTING CONDITION INFORMATION TAKEN FROM A PLAN ENTITLED, "FINAL LAND DEVELOPMENT PLANS PREPARED FOR EAGLE VILLAGE SHOPS, 503 WEST LANCASTER AVENUE" PREPARED BY YERKES ASSOCIATES INC. DATED OCTOBER 1, 2010, LAST REVISED 01/14/11 (PLAN #0-36-11-316).
- ADDITIONAL SITE FEATURES INCLUDING BUILDINGS AND OTHER FEATURES DEPICTED ON THE VICINITY PLAN WERE NOT PHYSICALLY SURVEYED. LOCATIONS OF THESE FEATURES WERE TAKEN FROM AVAILABLE PLANS, AERIAL PHOTOGRAPHS AND OTHER SOURCES AND REPRESENT AN ESTIMATE OF THE EXTENT OF THESE FEATURES.
- VERTICAL DATUM: APPROXIMATE U.S.G.S.
- IN ACCORDANCE WITH FEMA PANEL NUMBER 4204500017F EFFECTIVE DATE NOVEMBER 18, 2009, PREMISES IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- SOIL INFORMATION TAKEN FROM THE SOIL SURVEY FOR CHESTER AND DELAWARE COUNTIES PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE.
- THE PROPOSED DEVELOPMENT WILL INCLUDE THE REMOVAL OF EXISTING WALKWAYS AND THE CONSTRUCTION OF A NEW GREENHOUSE CONNECTING THE TWO EXISTING BUILDINGS ON EITHER END OF THE GREENHOUSE. THE REMAINING AREA BETWEEN THE TWO EXISTING STRUCTURES WILL BE CONVERTED TO AN OUTDOOR SALES DISPLAY AREA. THE AREA WILL CONSIST OF A PAVED COURTYARD WITH SURROUNDING SYNTHETIC TURF AREAS. THERE WILL ALSO BE SOME MINOR REALIGNMENT OF CURBING AND SIDEWALKS. THE CHANGES RESULT IN A NET REDUCTION IN IMPERVIOUS SURFACE.
- AS THE RESULT OF THE REPLACEMENT IMPERVIOUS COVER, GROUNDWATER RECHARGE IS REQUIRED. A RECHARGE FACILITY TO BE CONSTRUCTED BENEATH A PORTION OF THE EXISTING PARKING LOT WILL PROVIDE THE REQUIRED RECHARGE.
- THIS SITE IS CURRENTLY SERVED BY PUBLIC DOMESTIC WATER SERVICE PROVIDED BY AQUA PENNSYLVANIA. PUBLIC WATER SERVICE IS TO BE MAINTAINED.
- THIS SITE IS CURRENTLY SERVED BY PUBLIC SEWER SERVICE. EXISTING SEWER SERVICE IS TO BE MAINTAINED.
- MAINTENANCE FOR THE SITE TO BE THE RESPONSIBILITY OF THE SHOPPING CENTER.
- THE STORMWATER MANAGEMENT RECHARGE AND COLLECTION SYSTEM AND INLETS ARE TO BE OWNED AND MAINTAINED BY THE SHOPPING CENTER. ROOF DRAINS ARE TO BE TIED INTO THE STORMWATER MANAGEMENT DETENTION SYSTEMS AS NOTED ON THE PLANS.
- A GENERAL EASEMENT IS HEREBY CREATED OVER THE STORMWATER MANAGEMENT SYSTEMS THAT PERMITS INGRESS AND EGRESS BY RADNOR TOWNSHIP.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER CONTROL OR BMP, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORMWATER CONTROL OR BMP OR WITHIN A DRAINAGE EASEMENT WHICH WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER CONTROL OR BMP WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- BENCHMARK IS EXISTING TYPE M INLET - ELEV. 96.20.

PROJECT NARRATIVE

IT IS PROPOSED TO CONSOLIDATE ALL OF THE EXISTING INDIVIDUAL PARCELS THAT COMPRISE THE OVERALL CENTER INTO ONE PARCEL. THE MINOR DEVELOPMENT PROJECT INVOLVES PROVIDING A SMALL, ENCLOSED CONNECTING LINK (589 S.F. GROSS AREA) BETWEEN THE VALLEY FORGE FLOWERS BARN BUILDING AND THE ADJOINING BUILDING 3 LAST OCCUPIED BY AREA RUG AND THE VILLAGE SALON. BUILDING 3 WILL IN TURN BE RENOVATED TO BECOME PART OF THE VALLEY FORGE FLOWERS BARN GARDEN CENTER SPACE. THE VILLAGE SALON WILL RELOCATE TO A SMALLER SPACE IN BUILDING 11 ON PARCEL C/E. THE 589 S.F. (GROSS) CONNECTOR GENERATES A PARKING REQUIREMENT OF 3 PARKING SPACES WHICH WILL BE SATISFIED BY PAVING A PORTION OF THE EXISTING GRAVEL AREA TO CREATE THE REQUIRED SPACES.

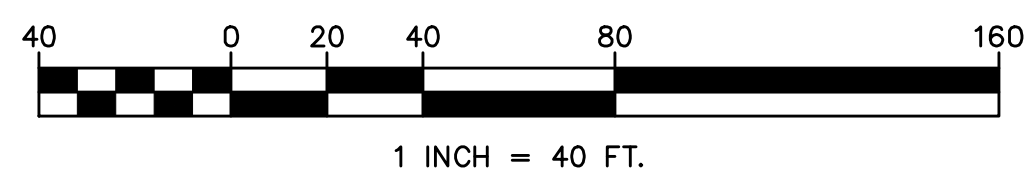
STATE OF PENNSYLVANIA
 COUNTY OF DELAWARE SS
 ON THIS _____ DAY OF _____, 20____, BEFORE ME A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ AUTHORIZED SIGNOR FOR VILLAGE ASSOCIATES, (A PENNSYLVANIA LIMITED PARTNERSHIP), WHO BEING DULY SWORN ACCORDING TO LAW DESPOSES AND SAYS THAT SAID VILLAGE ASSOCIATES OWNS THE PROPERTY SHOWN ON THIS PLAN, THAT THE LAND DEVELOPMENT SHOWN ON THIS PLAN WAS MADE AT HIS/HER DIRECTION AND WITH HIS/HER CONSENT AND THAT IT IS DESIRED THAT SAID PLAN BE RECORDED IN ACCORDANCE WITH LAW.

OWNER, VILLAGE ASSOCIATES, (A PENNSYLVANIA LIMITED PARTNERSHIP)

(SIGNATURE)

NOTARY PUBLIC OR OTHER OFFICER

MY COMMISSION EXPIRES: _____



Serial Number: _____

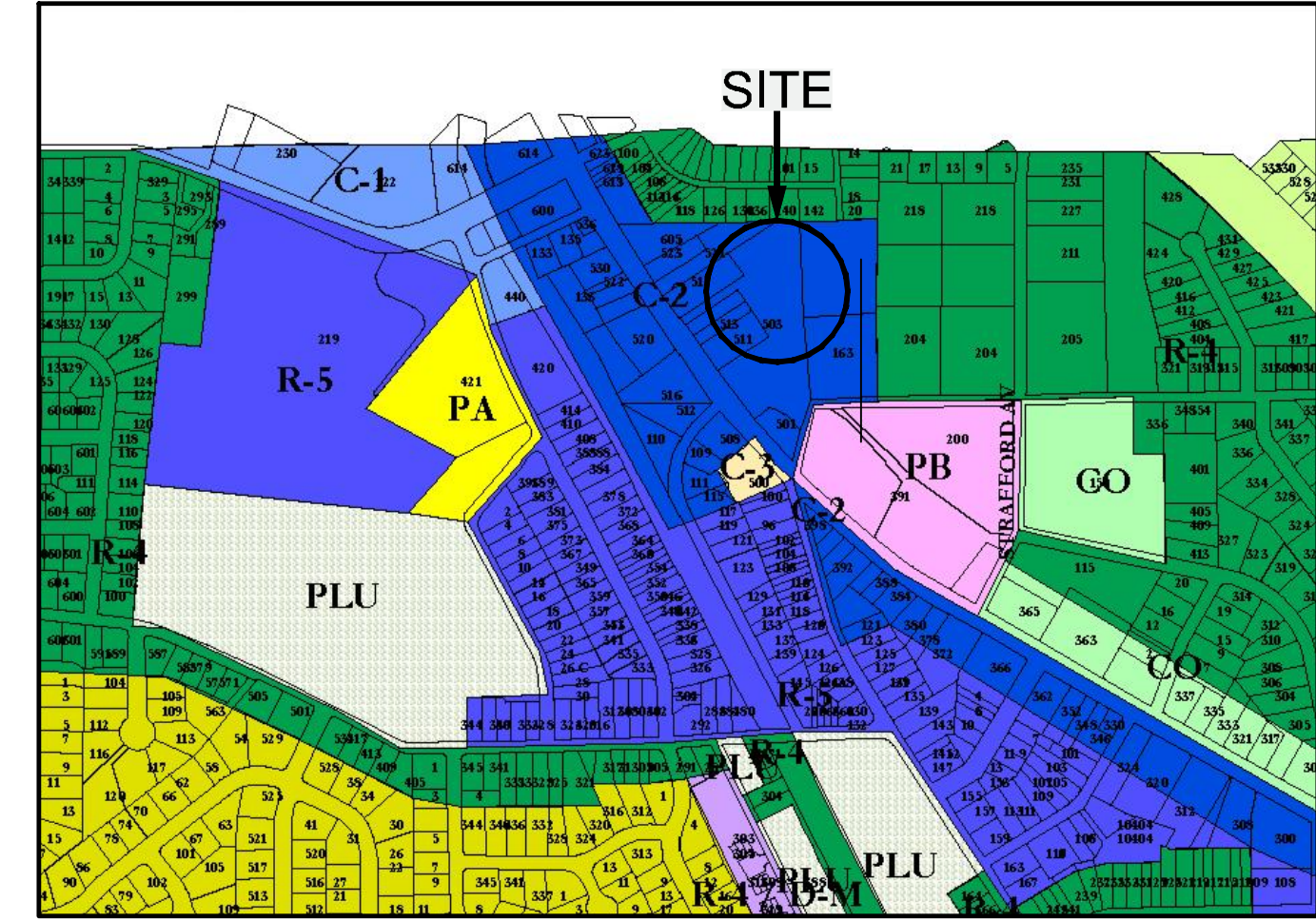
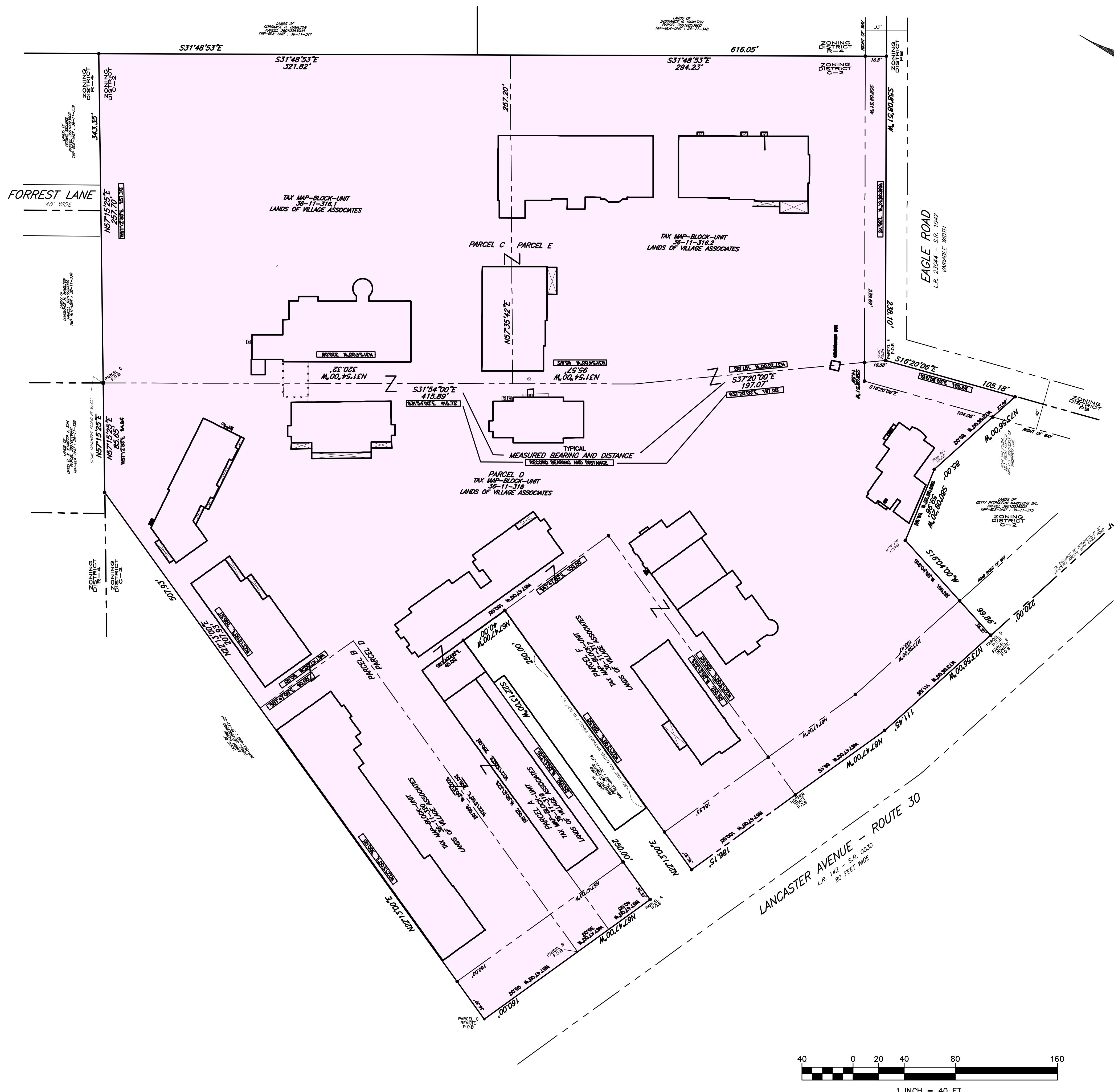
CALL BEFORE YOU DIG:
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE STOP CALL
 Pennsylvania One Call System, Inc.
 1-800-242-1776

MOMENNE & ASSOCIATES, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 924 COUNTY LINE ROAD, BRN MAWR, PA 19010
 PHONE: (610) 527-3030 FAX: (610) 527-9008

SITE PLAN
 THE COTTAGE AT VALLEY FORGE FLOWERS - EAGLE VILLAGE SHOPS
 163 EAGLE ROAD
 RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA
 ONE-CALL: DRF
 DRAWN BY: DRF
 CHECKED BY: DRF
 OWNER/APPLICANT: VILLAGE ASSOCIATES
 503 W. LANCASTER AVENUE, SUITE 240
 WAYNE, PA 19087

REV.	DATE	PER	TWP REVIEW	COMMENTS
1	10/21/15			

DATE: AUGUST 7, 2015
 SHEET NO. 1
 OF 7
 SCALE: 1" = 40'
 FILE NO.: 13-345



ZONING DISTRICT C-2 (GENERAL COMMERCIAL DISTRICT)
 LOT SIZE 20,000 SF MIN
 WIDTH AT BUILDING LINE 100' MIN
 BUILDING AREA 30% MAX
 FRONT YARD 15' MIN
 SIDE YARD 20' MIN
 REAR YARD 30' ABUTTING A RESIDENTIAL DISTRICT
 BUILDING HEIGHT GREATER OF 35' OR 30% OF LOT DEPTH
 BUILDING COVERAGE 30% MAX
 IMPERVIOUS COVERAGE 70% MAX

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

TOTAL AREA OF CENTER:

GROSS AREA: (TO THE TITLE LINE)
 368,577 SF (8.461 ACRES)

NET AREA: (TO THE ROAD R/W)
 345,833 SF (7.940 ACRES)

THE OVERALL CENTER CONSISTS OF THE FOLLOWING PARCELS:

PARCEL	FOLIO NUMBER	MAP NUMBER
PARCEL A:	36.01.00280.00	36-11-319:000
PARCEL B:	36.01.00279.00	36-11-320:000
PARCEL C:**	36.01.00284.01	36-11-316:001
PARCEL D:	36.01.00284.00	36-11-316:000
PARCEL E:**	36.01.00171.00	36-11-316:002
PARCEL F:	36.01.00282.00	36-11-317:000

**PARCELS C & E ARE MERGED FOR CODE PURPOSES PER PRIOR TOWNSHIP APPROVALS.

THE INTENT OF THIS PLAN IS TO SHOW THE CONSOLIDATION OF ALL OF THE EXISTING INDIVIDUAL PARCELS THAT COMPRISE THE OVERALL CENTER INTO ONE PARCEL.

EXISTING PARCEL A:
 GROSS AREA: 10,000 SF (0.229 AC)
 NET AREA: 8,548 SF (0.196 AC)

EXISTING IMPERVIOUS COVERAGE:

BUILDINGS AND OVERHANGS	6,119 S.F.**
ASPHALT PAVING	1,779 S.F.
CURBS	14 S.F.
WALKS/PATIOS	179 S.F.
WALLS	49 S.F.
MISC	0 S.F.
TOTAL	8,140 S.F. (81.40%)

**BUILDING COVERAGE = 61.19%

EXISTING PARCEL B:
 GROSS AREA: 27,000 SF (0.620 AC)
 NET AREA: 23,733 SF (0.545 AC)

EXISTING IMPERVIOUS COVERAGE:

BUILDINGS AND OVERHANGS	9,013 S.F.**
ASPHALT PAVING	8,890 S.F.
CURBS	284 S.F.
WALKS/PATIOS	3,054 S.F.
WALLS	39 S.F.
MISC	20 S.F.
TOTAL	22,039 S.F. (81.63%)

**BUILDING COVERAGE = 33.38%

EXISTING PARCEL E:
 GROSS AREA: 25,000 SF (0.574 AC)
 NET AREA: 21,370 SF (0.491 AC)

EXISTING IMPERVIOUS COVERAGE:

BUILDINGS AND OVERHANGS	3,557 S.F.**
ASPHALT PAVING	8,890 S.F.
CURBS	402 S.F.
WALKS/PATIOS	2,373 S.F.
WALLS	190 S.F.
MISC	0 S.F.
TOTAL	15,412 S.F. (61.65%)

**BUILDING COVERAGE = 14.23%

COMBINED PARCELS A, B, C, D, E & F:
 GROSS AREA: 368,576 SF (8.4613 AC)
 NET AREA: 345,833 SF (7.9404 AC)

EXISTING IMPERVIOUS COVERAGE:

BUILDINGS AND OVERHANGS	66,123 S.F.**
ASPHALT PAVING	154,832 S.F.
GRAVEL PAVING	3,021 S.F.
CURBS	4,522 S.F.
WALKS/PATIOS	32,029 S.F.
WALLS	1,840 S.F.
LOADING DOCK	324 S.F.
MISC	458 S.F.
TOTAL	283,147 S.F. (71.40%)

**BUILDING COVERAGE = 17.94%

EXISTING CONSOLIDATED PARCELS C & E:
 GROSS AREA: 156,116 SF (3.584 AC)
 NET AREA: 152,175 SF (3.493 AC)

EXISTING IMPERVIOUS COVERAGE:

BUILDINGS AND OVERHANGS	21,486 S.F.**
ASPHALT PAVING	69,546 S.F.
CURBS	1,781 S.F.
WALKS/PATIOS	11,144 S.F.
WALLS	329 S.F.
LOADING DOCK	324 S.F.
MISC	246 S.F.
TOTAL	104,856 S.F. (67.18%)

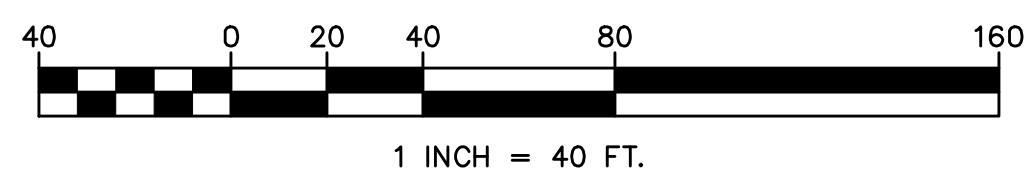
**BUILDING COVERAGE = 13.76%

EXISTING PARCEL D:
 GROSS AREA: 150,460 SF (3.454 AC)
 NET AREA: 140,057 SF (3.215 AC)

EXISTING IMPERVIOUS COVERAGE:

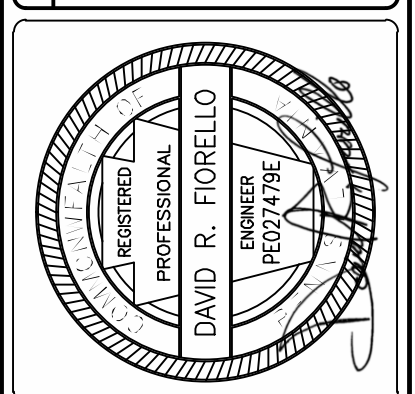
BUILDINGS AND OVERHANGS	25,948 S.F.**
ASPHALT PAVING	64,988 S.F.
GRAVEL PAVING	3,021 S.F.
CURBS	2,041 S.F.
WALKS/PATIOS	15,279 S.F.
WALLS	1,233 S.F.
MISC	190 S.F.
TOTAL	112,700 S.F. (74.89%)

**BUILDING COVERAGE = 17.25%



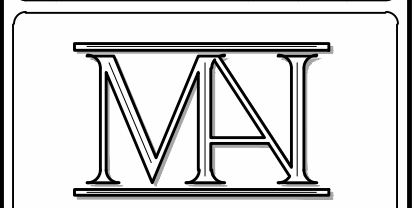
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 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE STOP CALL
 Pennsylvania One Call System, Inc.
 1-800-242-1776



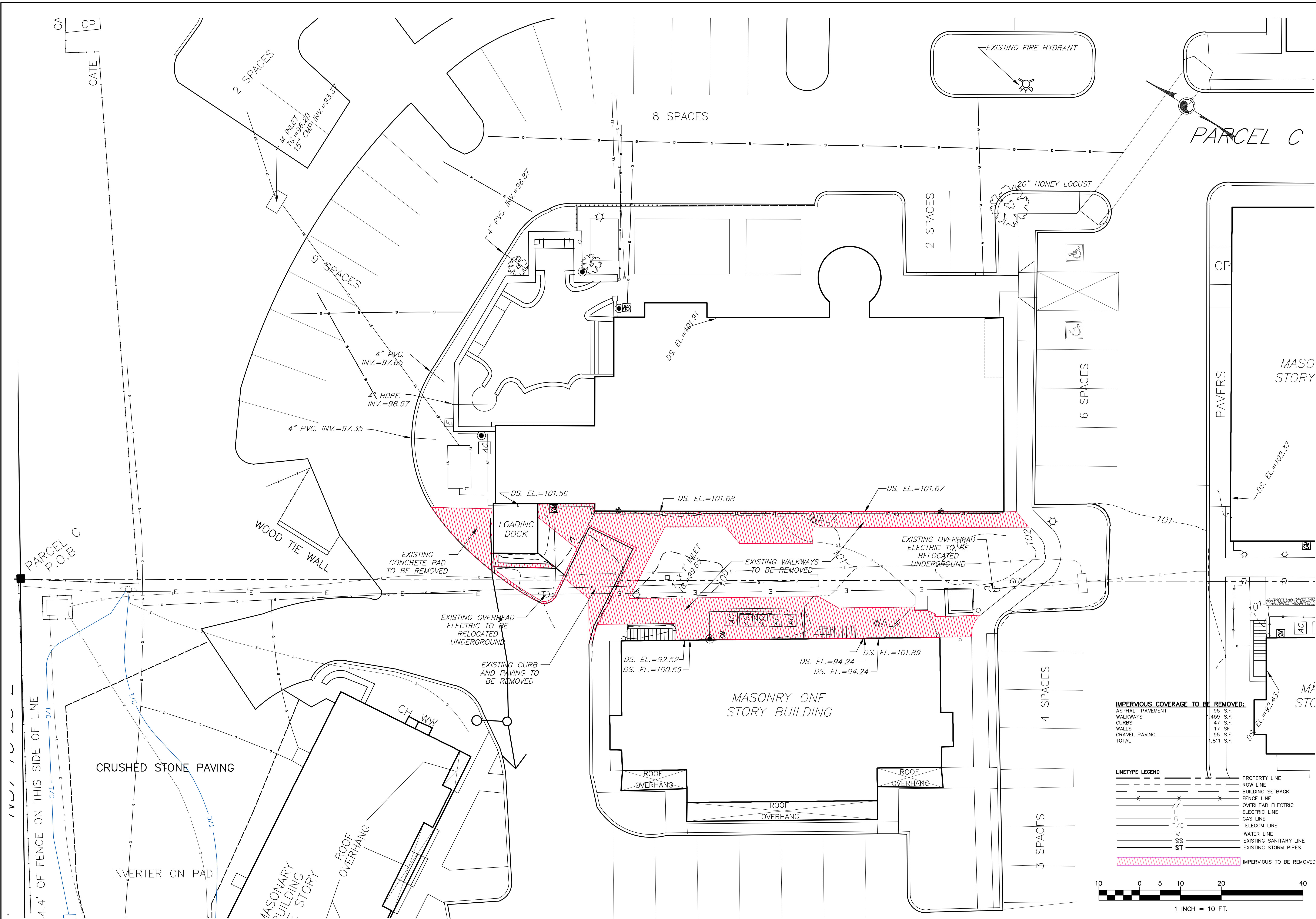
MOMENNE & ASSOCIATES, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 924 COUNTY LINE ROAD, BRYN MAWR, PA 19010
 PHONE: (610) 527-3030 FAX: (610) 527-9008

LOT CONSOLIDATION PLAN
 THE COTTAGE AT VALLEY FORGE FLOWERS - EAGLE VILLAGE SHOPS
 163 EAGLE ROAD
 RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA
 OWNER/APPLICANT: VILLAGE ASSOCIATES
 DRAWN BY: DRF
 CHECKED BY: DRF



REV.	DATE	PER	TWP REVIEW	COMMENTS
1	10/21/15			

DATE: OCTOBER 21, 2015
 SHEET NO. 2 OF 7
 SCALE: 1" = 40'
 FILE NO.: 13-345

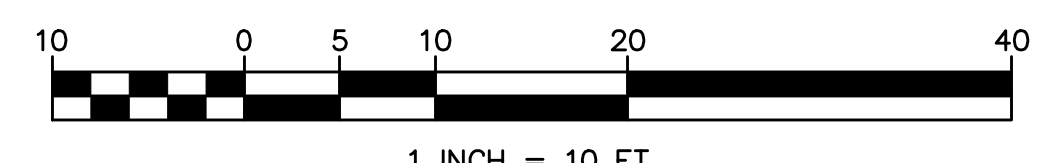


IMPERVIOUS COVERAGE TO BE REMOVED:

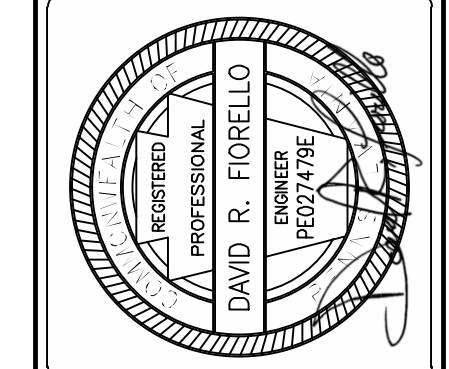
ASPHALT PAVEMENT	95 S.F.
WALKWAYS	1,453 S.F.
CURBS	47 S.F.
WALLS	17 S.F.
GRAVEL PAVING	95 S.F.
TOTAL	1,811 S.F.

LINETYPE LEGEND

---	PROPERTY LINE
---	ROW LINE
---	BUILDING SETBACK
---	FENCE LINE
X	OVERHEAD ELECTRIC
///	ELECTRIC LINE
E	GAS LINE
G	TELECOM LINE
T/C	WATER LINE
V	EXISTING SANITARY LINE
SS	EXISTING STORM PIPES
ST	
[Red Hatched Box]	IMPERVIOUS TO BE REMOVED

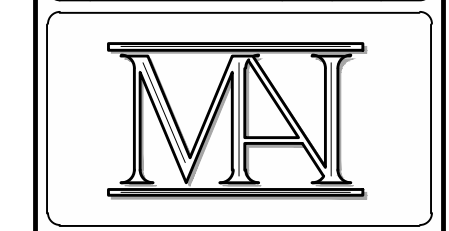


Serial Number:
 CALL BEFORE YOU DIG:
 3 WORKING DAYS NOTICE FOR
 5 WORKING DAYS NOTICE FOR
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 DAYS IN DESIGN STAGE STOP CALL
 Pennsylvania One Call System, Inc.
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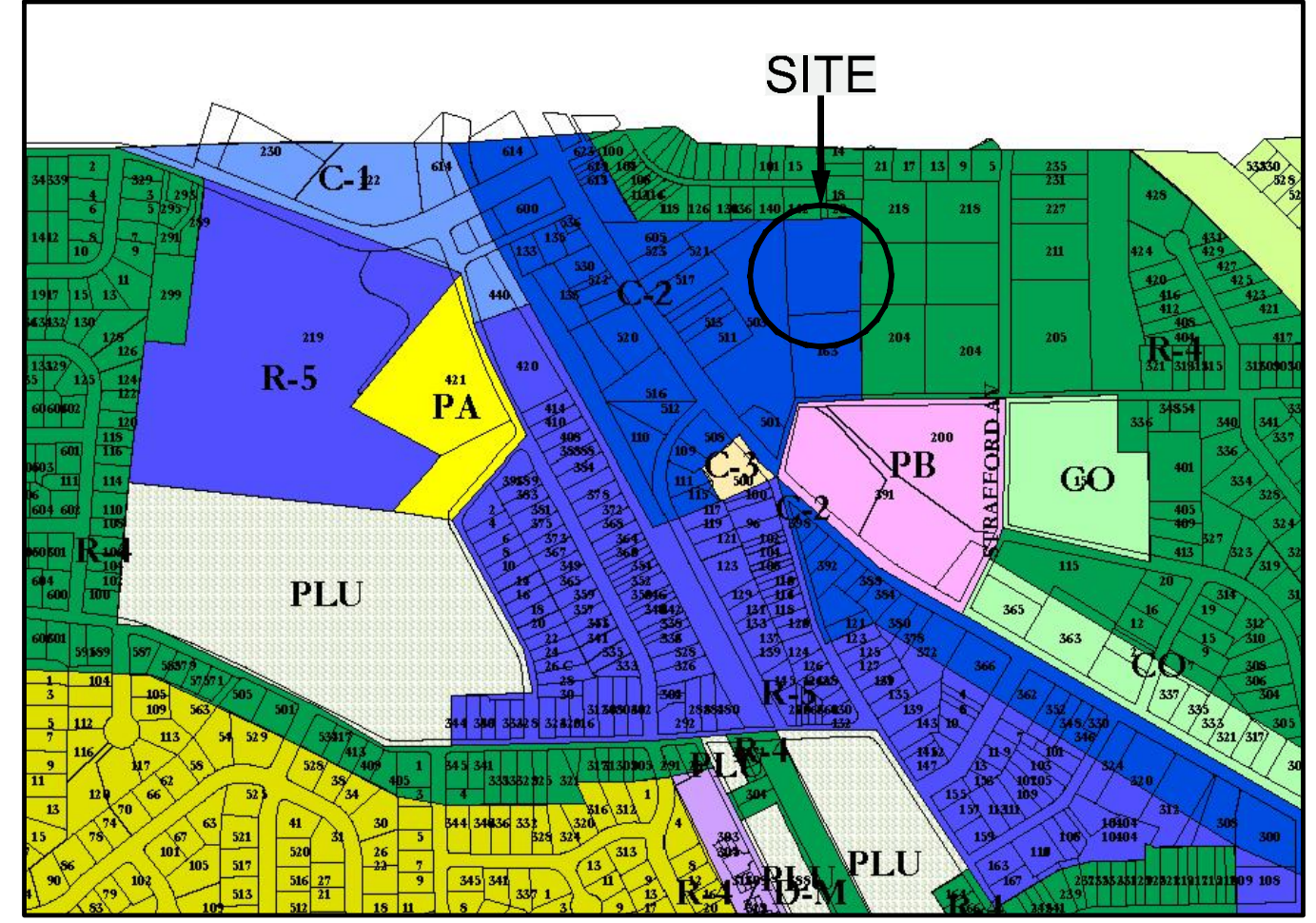
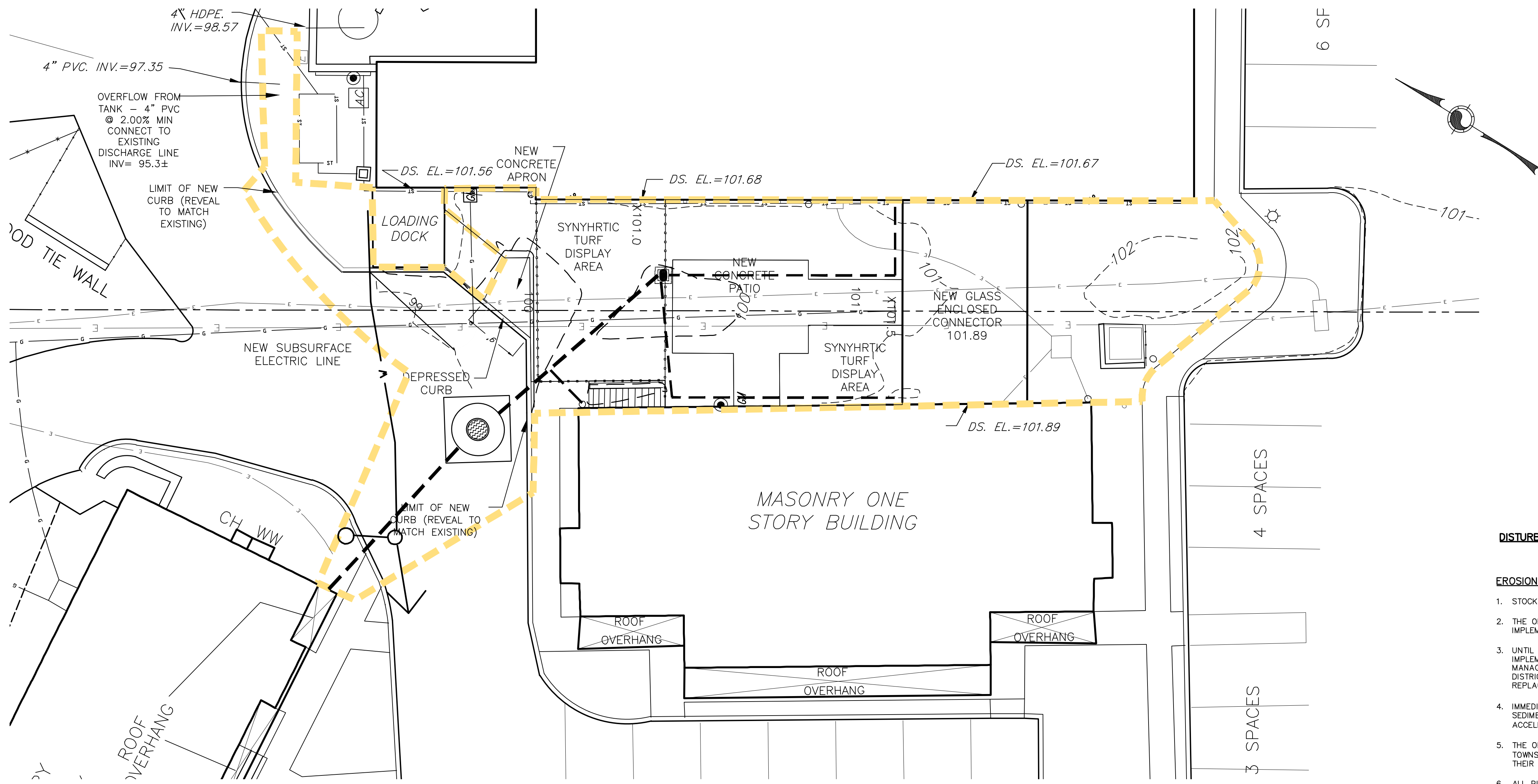
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 924 COUNTY LINE ROAD, BRYN MAWR, PA 19010
 PHONE: (610) 527-3030 FAX: (610) 527-9008

EXISTING CONDITIONS / DEMOLITION PLAN
 THE COTTAGE AT VALLEY FORGE FLOWERS - SPREAD EAGLE VILLAGE
 163 EAGLE ROAD
 RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA
 OWNER/APPLICANT: VILLAGE ASSOCIATES
 503 W. LANTANA AVE. SUITE 240
 WAYNE, PA 19087
 DRAWN BY: DRF
 CHECKED BY: DRF



REV.	DATE	PER	REVIEW	COMMENTS
1	10/21/15			

DATE: AUGUST 7, 2015
 SHEET NO. 4
 OF 7
 SCALE: 1" = 10'
 FILE NO.: 13-345



SOIL DATA [ENTIRE SITE AND SURROUNDING AREA]

NAME	% SLOPE	DEPTH TO WATER	DEPTH TO BEDROCK	HYDRO GROUP	HYDRO LIMITATIONS
MADELAND	0-8	3+	4+	B	

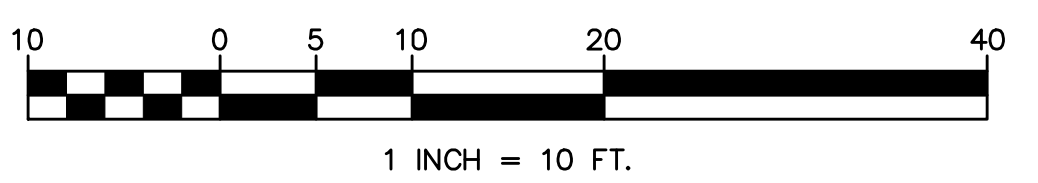
DISTURBED AREA = 4,500 SF±

EROSION AND SEDIMENT CONTROL NOTES:

- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR SHALL MAINTAIN AND MAKE AVAILABLE TO DELAWARE COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION MUST BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE TOWNSHIP, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE OPERATOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- EROSION AND SEDIMENT BMP'S MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.
- SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.
- HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY, IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTE AT THE SITE.
- TOPSOIL TAKEN FROM CONSTRUCTION AREAS SHALL BE SEEDED WITH VEGETATIVE COVER AND STOCKPILED FOR RE-USE IN FINISH GRADING.
- CRUSHED STONE BASE COURSE TO BE PLACED ON DRIVEWAYS AS SOON AS POSSIBLE AFTER GRADING TO PREVENT EROSION OF SUBGRADE.
- THE CONTRACTOR SHALL, BY SCHEDULING THE CONSTRUCTION, UTILIZE NEW PLANTINGS AND PROPERLY INSTALL EROSION CONTROL FENCING, HAY BALES AND OTHER EROSION CONTROL MEASURES TO MINIMIZE EROSION DAMAGE.
- PROVIDE CONSTRUCTION FENCING AS NECESSARY TO SECURE THE CONSTRUCTION SITE FROM UNAUTHORIZED ACCESS.
- GRADING AND EARTHMOVING OPERATIONS SHALL BE MINIMIZED DURING THE PERIOD FROM NOVEMBER 15 TO APRIL 1 WHEN RE-VEGETATION OF EXPOSED GROUND SURFACE IS DIFFICULT. MULCH, STRAW, STONE AND/OR SOD SHALL BE USED TO STABILIZE ALL AREAS DENuded DURING THIS TIME PERIOD.

CONSTRUCTION TIMING AND SEQUENCE:

- NOTIFY THE TOWNSHIP THAT CONSTRUCTION IS GOING TO COMMENCE AND SCHEDULE A PRE-CONSTRUCTION MEETING. ANTICIPATED DATE: DECEMBER 2015.
- INSTALL TREE PROTECTION / CONSTRUCTION FENCING AS INDICATED ON PLAN. FENCING MUST BE IN PLACE AND APPROVED PRIOR TO ANY DISTURBANCE. ALL DISTURBANCE SHALL BE CONTAINED TO THE DELINEATED LIMIT OF CONSTRUCTION.
- IT IS ANTICIPATED THAT CONSTRUCTION ACTIVITIES WILL BE ISOLATED AND MINIMIZED SO THAT MINIMUM EROSION CONTROLS ARE NECESSARY. CONTRACTOR SHALL STOCKPILE AMPLE SEDIMENT BARRIERS WHICH SHALL BE INSTALLED AS NEEDED THROUGHOUT THE ENTIRE PROJECT.
- BEGIN DEMOLITION AND REMOVAL OF THE PORTIONS OF EXISTING SIDEWALK, CURBING AND PAVEMENT NECESSARY FOR THE CONSTRUCTION OF FOUNDATIONS FOR THE BUILDING ADDITION. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER.
- UPON COMPLETION OF BUILDING DEMOLITION, AND EXISTING FEATURE REMOVAL, CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF NEW BUILDING CONSTRUCTION OF EXISTING VEGETATION. STRIP TOPSOIL AND STOCKPILE SUITABLE MATERIAL FOR FUTURE USE. UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SURROUND STOCKPILE WITH SILT FENCE. TEMPORARILY SEED, MULCH, ETC. ALL STOCKPILED MATERIAL PER THE TEMPORARY SEEDING SPECIFICATIONS. MAINTAIN PORTIONS OF PAVING AND SIDEWALK IN CONSTRUCTION AREA TO MINIMIZE DISTURBANCE.
- RELOCATE EXISTING OVERHEAD ELECTRIC SERVICE AND INSTALL NECESSARY UTILITY CONNECTIONS TO BUILDING LINK.
- EXCAVATE AND CONSTRUCT FOUNDATIONS FOR NEW BUILDING ADDITION.
- BACKFILL FOUNDATIONS AND CONTINUE WITH BUILDING CONSTRUCTION.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY.
- CONCURRENT WITH BUILDING CONSTRUCTION, REMOVE REMAINDER OF WALKWAY AND PAVEMENT REMOVALS. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER.
- EXCAVATE FOR AND INSTALL RAINWATER RECHARGE TANK, RAINWATER CONDUCTOR PIPING AND WATER DISTRIBUTION SYSTEM.
- INSTALL NEW CURBING, AND PERIMETER SIDEWALKS.
- GRADE COURTYARD AREA AND INSTALL DRAINAGE COLLECTION FACILITIES AND SYNTHETIC TURF BASE DRAIN.
- INSTALL GRAVEL BASE FOR PATIO AND TURF AREAS. INSTALL PATIO PAVING.
- INSTALL SYNTHETIC TURF PER MANUFACTURERS RECOMMENDATIONS.
- FINAL GRADE REMAINING AREAS DENuded DURING CONSTRUCTION, SPREAD STOCKPILED TOPSOIL AND SEED GRADED AREAS TO REESTABLISH PERMANENT VEGETATION. STABILIZE SLOPES IN EXCESS OF 4:1 WITH SOD OR EROSION CONTROL NETTING AND MULCH.
- INSTALL THE HARDSCAPE AND LANDSCAPE FEATURES AND REMOVE MATERIALS NOT REQUIRED FOR FINAL CONSTRUCTION. DISPOSAL OF DISCARDED MATERIALS SHALL BE IN AN APPROVED MANNER.
- INSTALL FINAL PAVING, SIGNAGE AND LINE STRIPING.
- IMMEDIATELY SEED AND STABILIZE ANY AREAS DENuded BY REMOVAL OF SEDIMENT BARRIERS.
- COMPLETE CONSTRUCTION. ANTICIPATED DATE: SPRING 2015.



NOTES:

- GEOTEXTILE FABRIC SHALL BE CLASS 1. GEOTEXTILE FABRIC IN ACCORDANCE WITH PENNDOT SPECIFICATION FORM 408. THE TYPE AND/OR THICKNESS SHALL BE DUPONT TYPAR #3401, AMOCO PROPEX #4545 OR APPROVED EQUAL OR AS OTHERWISE INDICATED ON THE PLAN.
- TO ALL AREA WHICH REMAIN DISTURBED FOR MORE THAN 20 DAYS AND WILL BE SUBJECT TO THE ACTION OF EARTHMOVING AND OTHER EQUIPMENT, APPLY A MULCH (WOODCHIP-20 TONS PER ACRE; HAY OR STRAW-3 TONS PER ACRE). ALL OTHER DISTURBED AREAS REMAINING OPEN FOR MORE THAN 20 DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOODCHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- THE CONTRACTOR SHALL, BY SCHEDULING THE CONSTRUCTION, UTILIZE NEW PLANTINGS AND PROPERLY INSTALL EROSION CONTROL FENCING, HAY BALES AND OTHER EROSION CONTROL MEASURES TO MINIMIZE EROSION DAMAGE.
- ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE SEEDED AND MULCHED WITH A PERMANENT SEED MIXTURE AND MULCH. DIVERSIONS, CHANNELS, SEDIMENTATION BASINS, SEDIMENT TRAPS, AND STOCKPILES MUST BE SEEDED AND MULCHED IMMEDIATELY.
- A ROUTINE "END-OF-DAY-CHECK" SHALL BE MADE DURING CONSTRUCTION TO MAKE SURE THAT ALL CONTROL MEASURES ARE WORKING PROPERLY. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL PREVENT ACCELERATED EROSION AND SEDIMENTATION. THERE SHALL BE NO ADVERSE DISCHARGE OF THE SEDIMENT OR OTHER SOLID MATERIALS FROM THE SITE AS THE RESULT OF STORMWATER RUNOFF.
- TEMPORARY EROSION CONTROL MEASURES MAY BE REMOVED ONLY AFTER THE CONSTRUCTION AREA AND CONTAINED SILT IS STABILIZED AND THE LAWN AREA ESTABLISHED.
- ALL PERSONS ENTERING ACTIVE TANKS, MANHOLES, INLETS, ETC. MUST COMPLY WITH OSHA REQUIREMENTS FOR ENTRY INTO CONFINED SPACES.

BMP NOTES:

A GENERAL EASEMENT IS HEREBY CREATED OVER THE STORMWATER MANAGEMENT SYSTEMS THAT PERMITS INGRESS AND EGRESS BY RADNOR TOWNSHIP.

NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER CONTROL OR BMP, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.

NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORMWATER CONTROL OR BMP OR WITHIN A DRAINAGE EASEMENT WHICH WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER CONTROL OR BMP WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.

MAINTENANCE OF TEMPORARY SEDIMENTATION CONTROLS:

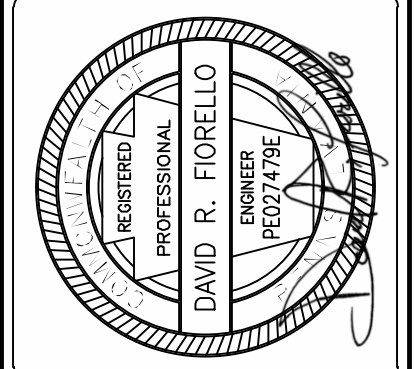
A ROUTINE "END OF DAY CHECK" SHALL BE MADE DURING CONSTRUCTION TO MAKE SURE THAT ALL CONTROL MEASURES ARE WORKING PROPERLY. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL PREVENT ACCELERATED EROSION AND SEDIMENTATION. THERE SHALL BE NO ADVERSE DISCHARGE OF THE SEDIMENT OR OTHER SOLID MATERIALS FROM THE SITE AS A RESULT OF STORMWATER RUNOFF.

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AND STOCKPILES AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, RENETTING AND STOCKPILE COVERING MUST BE PERFORMED IMMEDIATELY.

- STABILIZED CONSTRUCTION ENTRANCES: THE STABILIZED CONSTRUCTION ENTRANCES ARE TO BE CONSTRUCTED PER THE DETAIL. THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.
- SILT FENCE: SILT FENCE SHALL BE INSTALLED PER THE DETAIL. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHES 1/2 THE FENCE HEIGHT OR AS DIRECTED BY THE CONSERVATION DISTRICT OR TOWNSHIP ENGINEER. SILT FENCING WHICH HAS BEEN UNDERMINED OR TOPPED WILL BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY.
- ROCK FILTER OUTLETS: ROCK FILTER OUTLETS SHALL BE INSTALLED PER THE DETAIL. SEDIMENT SHALL BE REMOVED FROM BEHIND ROCK FILTER OUTLET AFTER EACH STORM EVENT. WHEN STONE BECOMES CLOGGED WITH SEDIMENT, THE ROCK FILTER OUTLET SHALL BE REPLACED WITH CLEAN STONE.
- INLET PROTECTION: INLET PROTECTION SHALL BE CONSTRUCTED PER THE DETAIL AND CLEANED AFTER EACH STORM EVENT OR AS DIRECTED BY THE CONSERVATION DISTRICT OR TOWNSHIP ENGINEER.
- SWALES: ALL SWALES MUST BE TEMPORARY LINED WITH CURLEX TO ALLOW VEGETATION TO ESTABLISH. IF VEGETATION CAN NOT GROW THEN THAT AREA MUST BE SODDED.
- SEDIMENT DISPOSAL: SILT REMOVED FROM TEMPORARY SEDIMENT CONTROL STRUCTURES SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS LOCATED OUTSIDE OF FLOOD PLAINS, WETLANDS, STEEP SLOPES AND DRAINAGE SWALES.
- DUST CONTROL: DUST AND OTHER PARTICLES SHALL BE KEPT WITHIN TOLERABLE LIMITS BY USING WATER OR OTHER APPROVED DUST CONTROL AGENT. APPLICATION SHALL BE AS NEEDED OR AS DIRECTED BY THE TOWNSHIP ENGINEER OR THE CONSERVATION DISTRICT. USE OF CALCIUM CHLORIDE OR OTHER SIMILAR APPROVED AGENTS SHALL BE LIMITED TO ONLY THOSE PARTICULAR SITUATIONS IN WHICH PERIODIC CLEANING AND/OR WETTING IS NOT FEASIBLE DUE TO CONDITIONS CAUSED BY WEATHER, TRAFFIC, ETC.
- AIR POLLUTION: BURNING OF TREES, STUMPS, CUTTINGS, AND OTHER PERISHABLE MATERIALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY ALLOWED BY THE MUNICIPALITY. THE PROVISIONS OF THE PENNSYLVANIA AIR POLLUTION CONTROL ACT, JANUARY 8, 1990, AS AMENDED TO DATE, WILL GOVERN AND AREA A PART OF THIS PLAN BY REFERENCE.

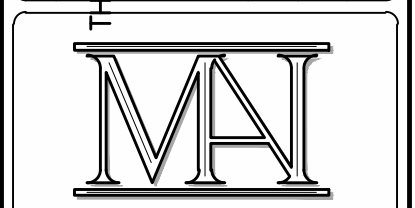
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EROSION AND SEDIMENTATION CONTROL PLAN
 THE COTTAGE AT VALLEY FORGE FLOWERS - SPREAD EAGLE VILLAGE
 163 EAGLE ROAD
 RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA
 OWNER/APPLICANT: VILLAGE ASSOCIATES
 DRAWN BY: DRF
 CHECKED BY: DRF



REV.	DATE	PER	REVIEW	COMMENTS
1	10/21/15			

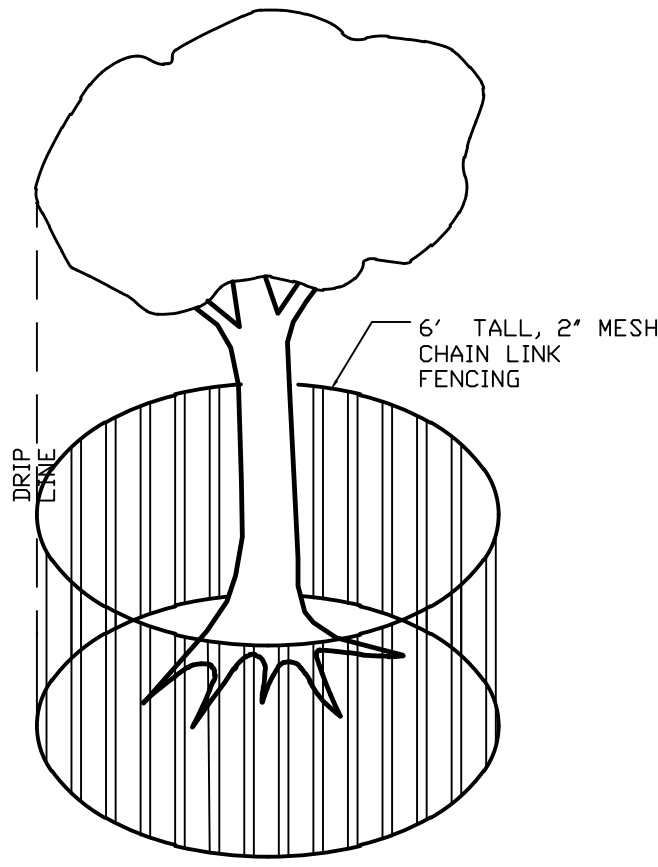
DATE: AUGUST 7, 2015
 SHEET NO. 6
 OF 7
 SCALE: 1" = 10'
 FILE NO.: 13-345

PLACING TOPSOIL OR TOPSOIL MIXTURE:

PREPARATION OF AREAS TO BE TOPSOILED:
GRADE THE AREAS TO BE COVERED BY TOPSOIL. USING ACCEPTABLE METHODS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE PLACING THE TOPSOIL. REMOVE STONES AND OTHER FOREIGN MATERIAL. 2 INCHES LARGER IN DIMENSION. REMOVE AND SATISFACTORILY DISPOSE OF UNSUITABLE AND SURPLUS MATERIAL.

PLACING AND SPREADING TOPSOIL:
PLACE TOPSOIL ON THE PREPARED AREAS AND, UNLESS OTHERWISE INDICATED, SPREAD AND COMPACT TO A 4-INCH UNIFORM DEPTH ± 1/2 INCHES. COMPACT WITH A ROLLER WEIGHING NOT OVER 120 POUNDS PER FOOT WIDTH OF ROLLER OR BY OTHER ACCEPTABLE METHODS, AS DIRECTED. REMOVE OVERDEPTH TOPSOIL, UNLESS OTHERWISE AGREED UPON IN WRITING. DO NOT PLACE TOPSOIL IN A WET OR FROZEN CONDITION.

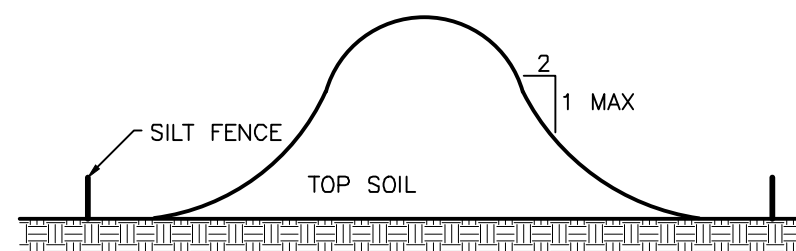
- SEEDING SPECIFICATIONS:**
WHERE DENuded AREAS ARE DESIRED TO BE LAWN:
- PERFORM ALL CULTURAL OPERATION AT RIGHT ANGLES TO THE SLOPE.
 - APPLY LIME ACCORDING TO TEST OR AT THE RATE OF 25 LBS. OF GROUND LIMESTONE PER 1,000 SQ. FT.
 - APPLY FERTILIZER ACCORDING TO SOIL TEST OR WORK IN DEEPLY 20 LBS. OF 0-20-20 OR EQUIVALENT PER 1,000 SQ. FT. AND AT THE TIME OF SEEDING, WORK INTO THE SURFACE 10 LBS. OF 10-10-10 OR EQUIVALENT PER 1,000 SQ. FT. OR OTHER APPROVED MIXTURE.
 - SMOOTH AND FIRM SEEDS PRIOR TO SEEDING.
 - SEED USING A MIXTURE OF 60% PENNSTAR KENTUCKY BLUEGRASS, 30% PENNLAWN RED FESCUE AND 10% PENNFINE PERENNIAL RYEGRASS AT THE RATE OF FIVE (5) POUNDS PER 1,000 SQ. FT. OR OTHER APPROVED MIXTURE.
 - COVER GRASS AND LEGUME SEEDS WITH 1/4" OF SOIL WITH SOIL EQUIPMENT, MULCH (RATE OF 3 TONS PER ACRE).
 - MOW AS REQUIRED.
 - WHERE SLOPES EXCEED 25% AUTE NETTING OR OTHER APPROVED (EQUAL) SLOPE STABILIZATION MEASURES SHALL BE UTILIZED. IN ADDITION, THE SEEDING SPECIFICATIONS FOR STEEP SLOPES SHALL BE INCREASED TO INCLUDE 3 LBS/1,000 SQ. FT. OF ANNUAL RYEGRASS FOR RAPID VEGETAL ESTABLISHMENT.



TREE PROTECTION FENCE PLACEMENT
N.T.S.

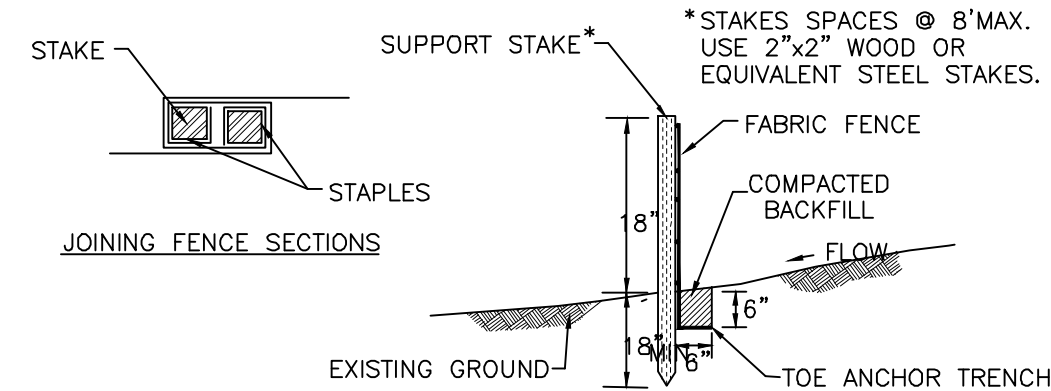
HYDROSEEDING SPECIFICATIONS:
DEFINITION: STABILIZING SEDIMENT PRODUCING AND SEVERELY ERODED AREAS BY ESTABLISHING PERMANENT GRASS COVER.
PURPOSE: TO PROVIDE PERMANENT VEGETATIVE COVER TO CONTROL RAPID RUN-OFF AND EROSION.
PROCEDURE: SURFACE TO BE HYDRO-SEEDED SHALL BE CLEANED OF ALL DEBRIS AND OTHER MATTER HARMFUL TO UNIFORM GERMINATES. A WATER-SLURRY MIXTURE COMPOSED OF THE BELOW MENTIONED "MATERIALS" SHALL BE SPRAYED UNIFORMLY OVER THE AREAS TO BE HYDRO-SEEDED.
MATERIALS:
PERMANENT SEEDING

NAME	DESCRIPTION	APPLICATION RATE (PER ACRE)
1) SEED MIXTURE % BY WEIGHT	60% PENNSTAR KENTUCKY BLUEGRASS	130 LBS
	30% PENNLAWN RED RESCUE	
	10% PENNFINE PERENNIAL RYEGRASS	
2) COMMERCIAL FERTILIZER	10/20/20/20	1,000 LBS
3) LIME	GROUND AGRICULTURAL LIMESTONE (MAY BE APPLIED SEPARATELY)	2 TONS
4) MULCH	HAY OR STRAW	3 TONS
5) SOIL STABILIZER	TERRA TACK OR EQUIVALENT	20 LBS
TEMPORARY SEEDING		
1) SEED	ANNUAL RYEGRASS (95% PURE)	40 LBS
2) COMMERCIAL FERTILIZER	5-5-5	1,000 LBS
3) LIME	GROUND AGRICULTURAL LIMESTONE (MAY BE APPLIED SEPARATELY)	1 TON
4) MULCH	HAY OR STRAW	3 TONS



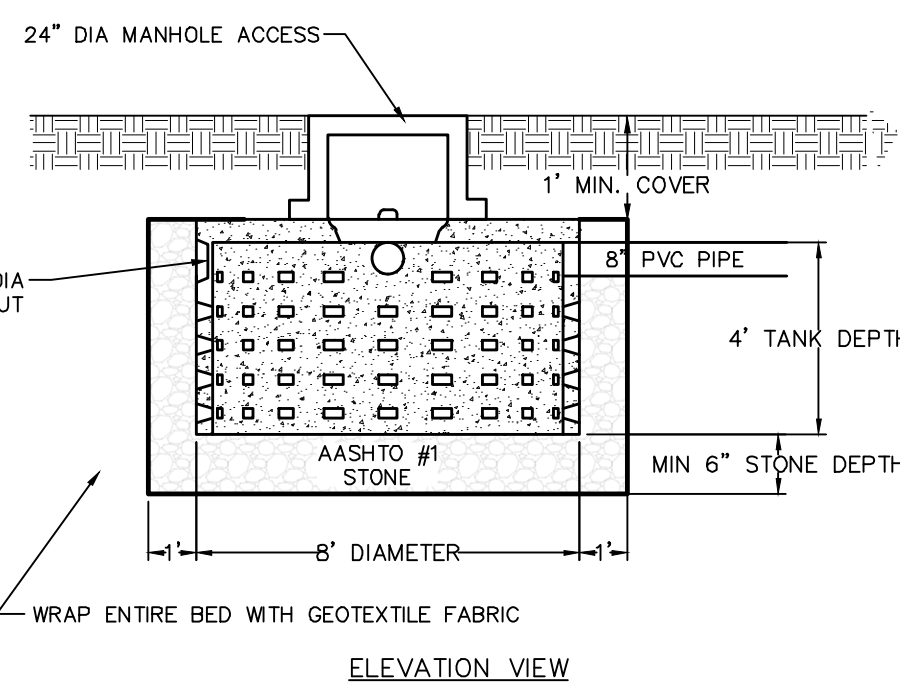
TYPICAL SOIL STOCKPILE CROSS SECTION
N.T.S.

- NOTES:**
- SILT FENCE MUST COMPLETELY ENIRCLE STOCKPILES
 - TOPSOIL SHALL NOT BE REMOVED FROM THE DEVELOPMENT SITE OR USED AS FILL. TOPSOIL SHALL BE REMOVED FROM THE AREAS OF CONSTRUCTION AND STORED SEPARATELY. THE TOPSOIL SHALL BE STABILIZED TO MINIMIZE EROSION DURING STORAGE. UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHALL BE UNIFORMLY REDISTRIBUTED ON THE SITE.

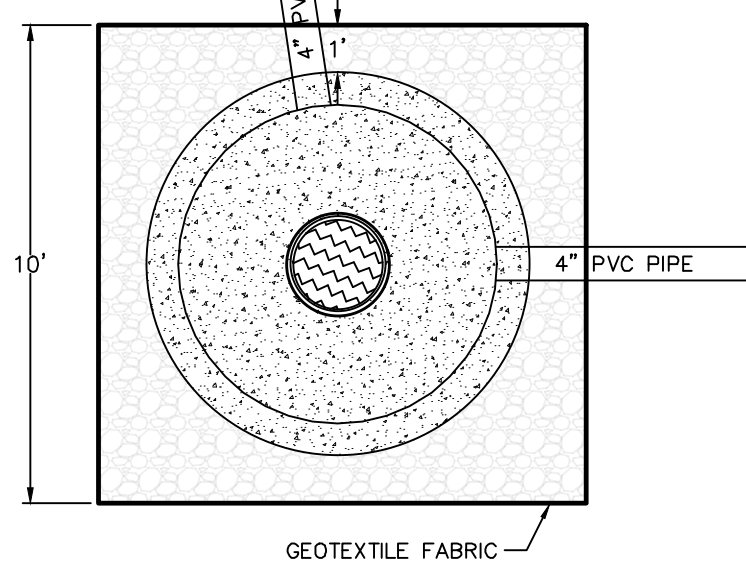


STANDARD SILT FENCE
N.T.S.

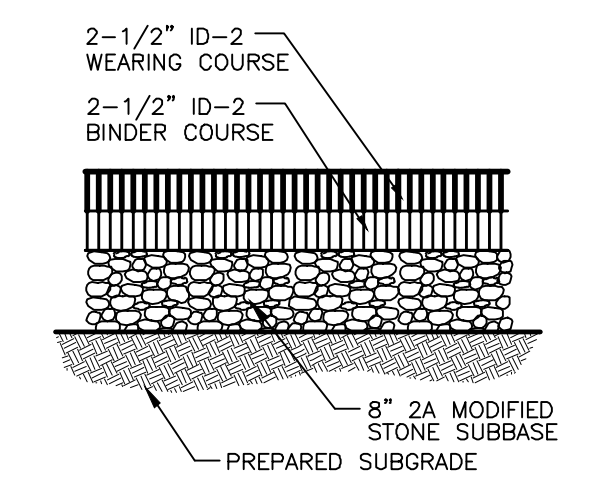
- SILT FENCE NOTES:**
- FILTER FABRIC FENCE MUST BE PLACED AT LEVEL GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8' UP SLOPE AT 45° TO THE MAIN BARRIER ALIGNMENT.
 - ANY SILT FENCING WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY. SEE ROCK FILTER OUTLET DETAIL.
 - SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT THE FENCE.



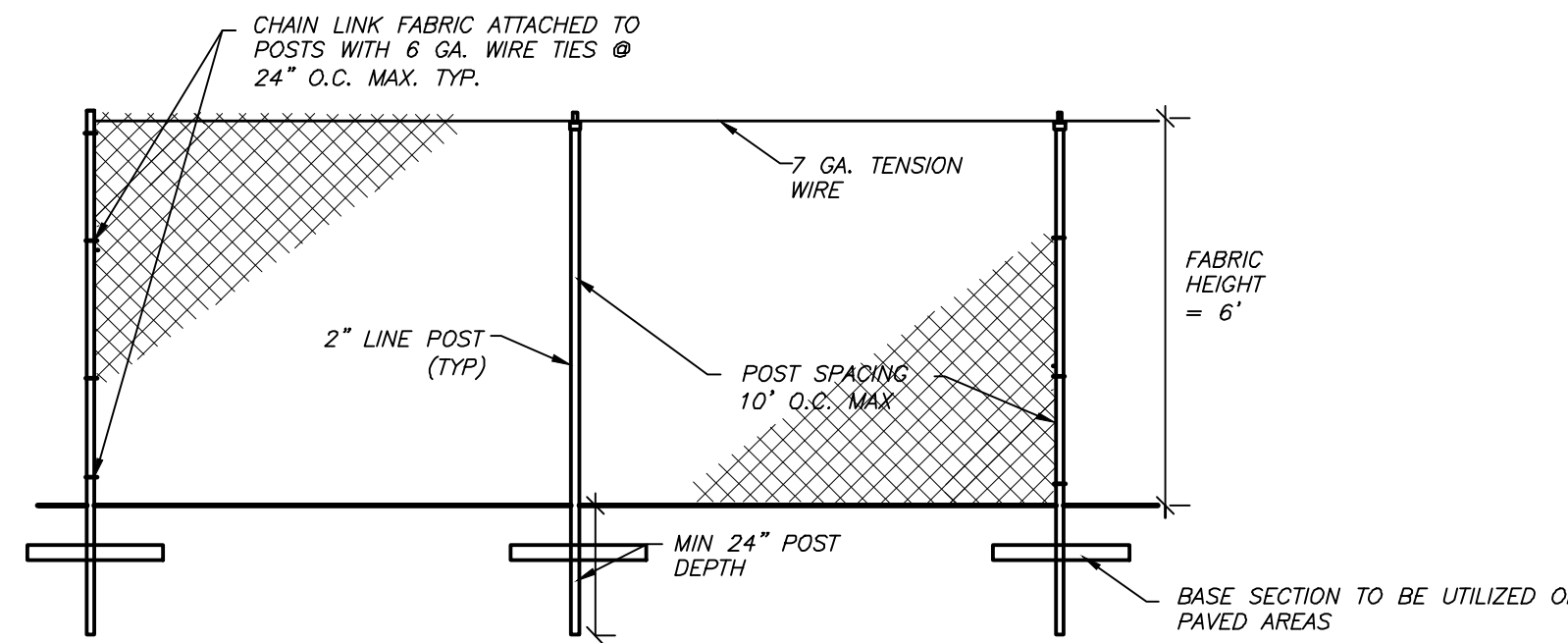
SEEPAGE TANK DETAIL
N.T.S.



SEEPAGE TANK DETAIL
N.T.S.

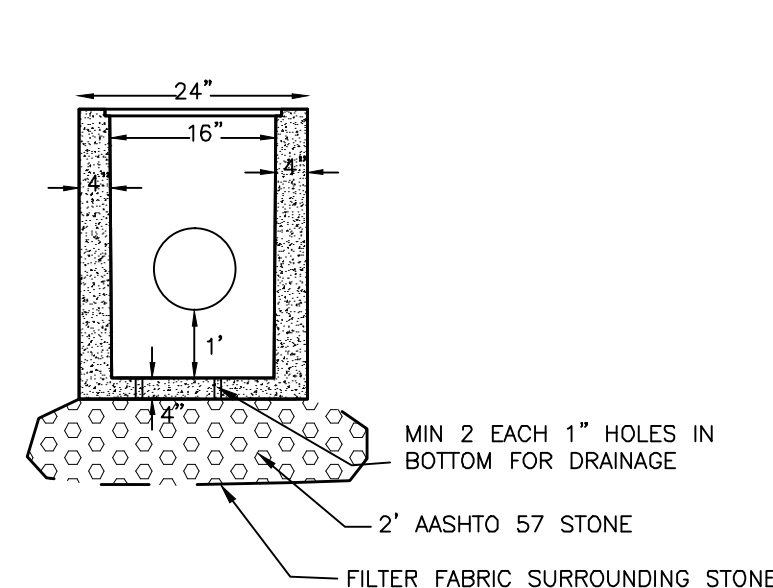


ASPHALT PAVEMENT CROSS SECTION
N.T.S.

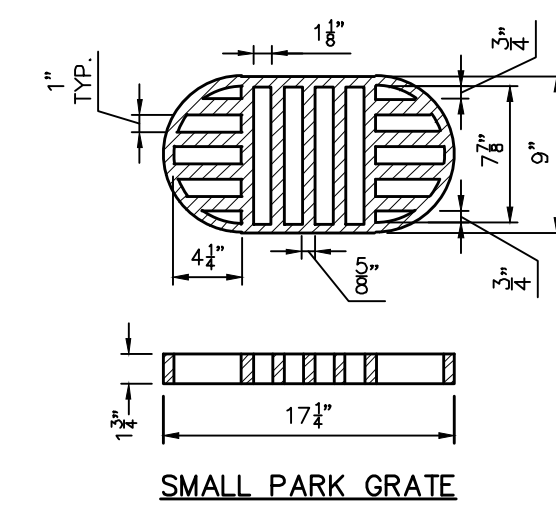


- PROTECTION BARRIERS SHALL BE 6 FEET HIGH, CONSTRUCTED OF 2" CHAIN LINK MESH FABRIC.
- FABRIC SHALL BE SECURED TO 2" POSTS WITH 6 GA. ALUMINUM WIRE TIES AT 24" O.C.
- POSTS SHALL BE A MINIMUM OF 2 FEET IN THE GROUND AND SPACED 10 FEET ON CENTER MAX.
- PLASTIC ZIP-TIES MAY NOT BE USED TO SECURE FABRIC TO POSTS.

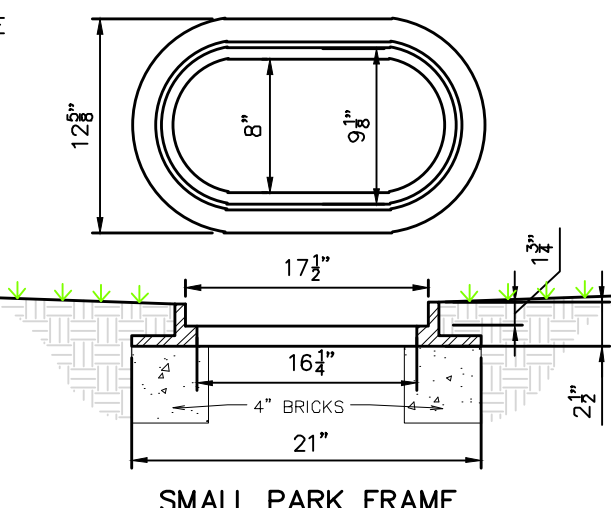
TREE PROTECTION BARRIER FENCING
N.T.S.



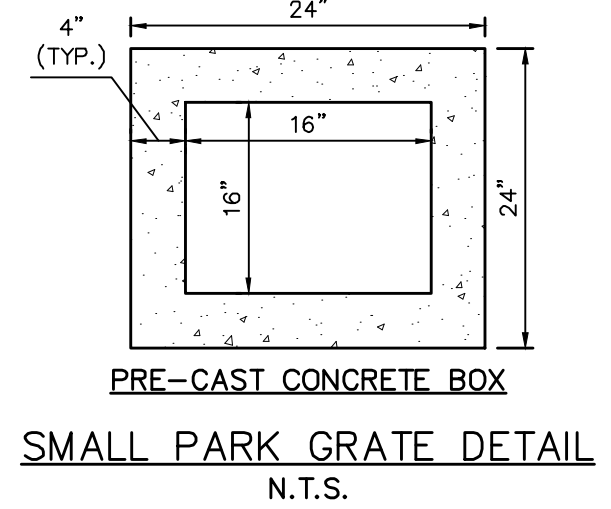
SMALL PARK GRATE BOX
(NON-TRAFFIC BEARING)



SMALL PARK GRATE

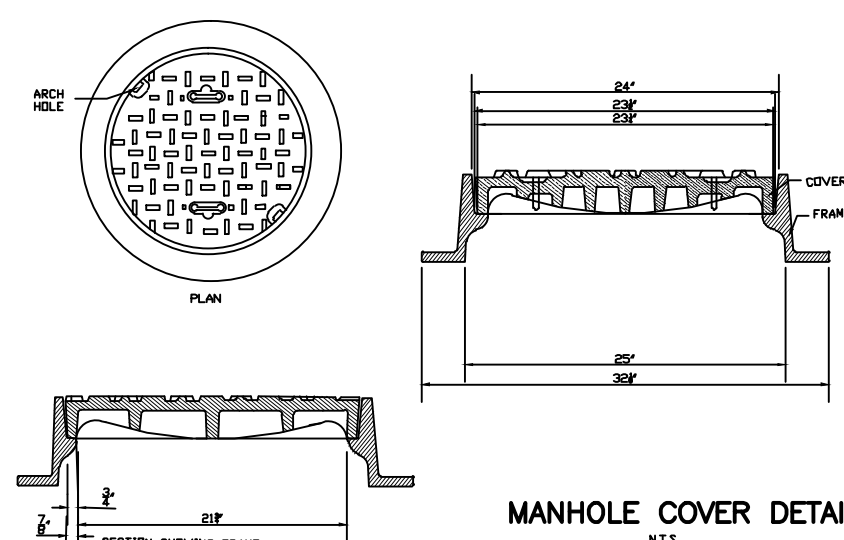


SMALL PARK FRAME

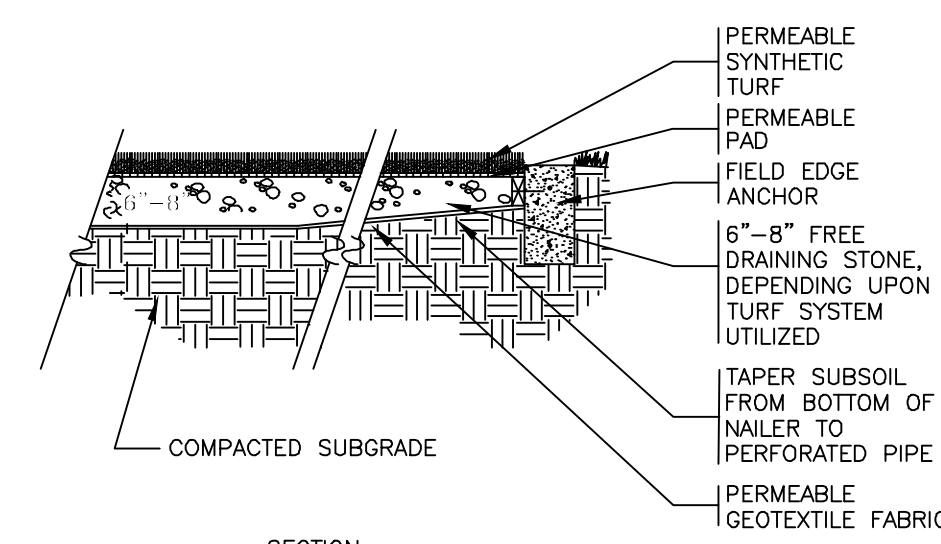


PRE-CAST CONCRETE BOX

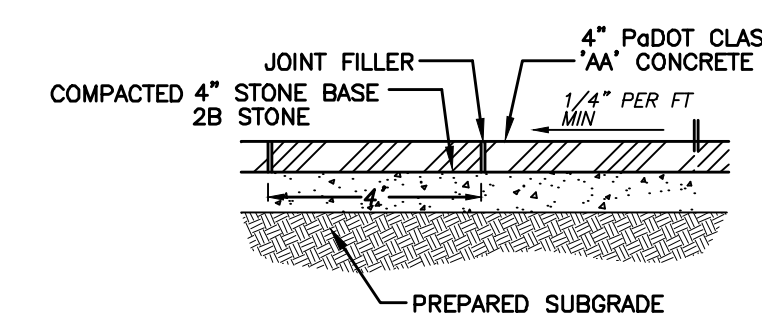
SMALL PARK GRATE DETAIL
N.T.S.



MANHOLE COVER DETAIL
N.T.S.

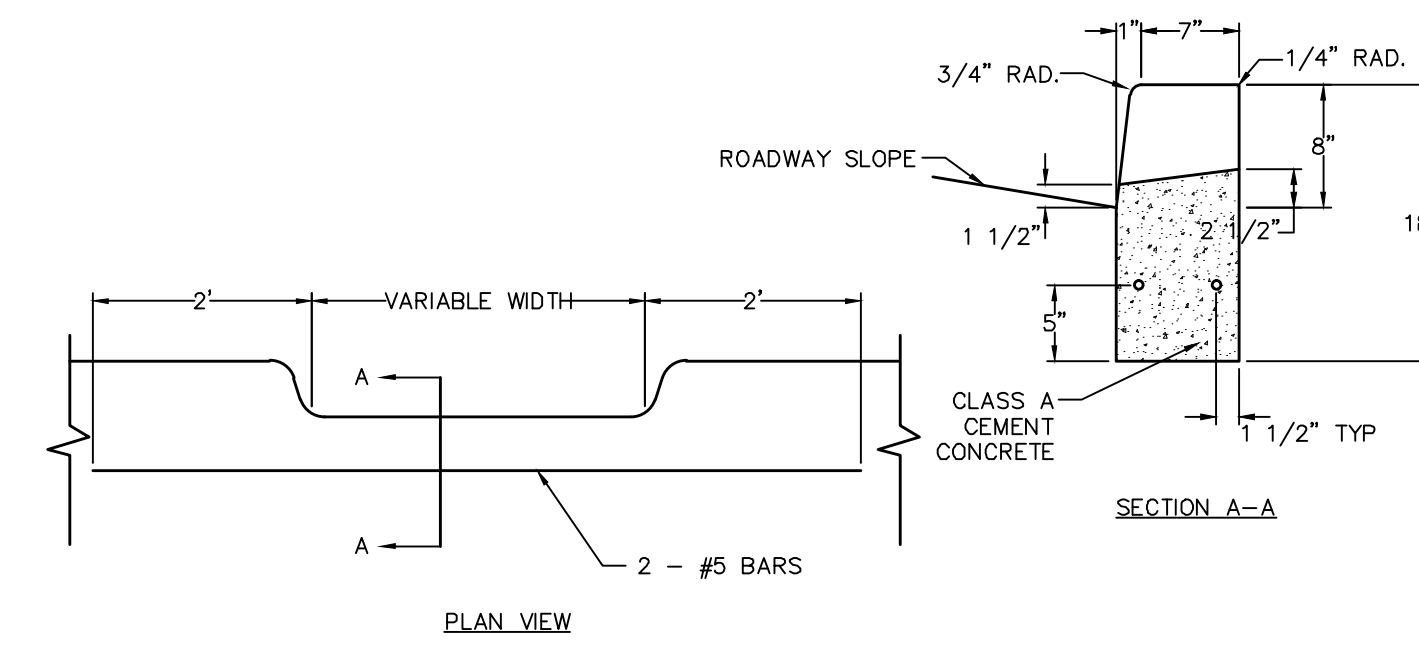


SYNTHETIC TURF PLACEMENT DETAIL
NOT TO SCALE

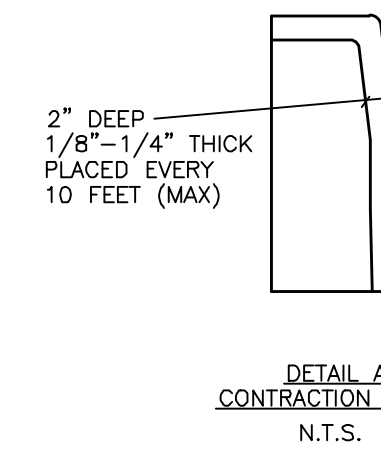


SIDEWALK/PATIO DETAIL
N.T.S.

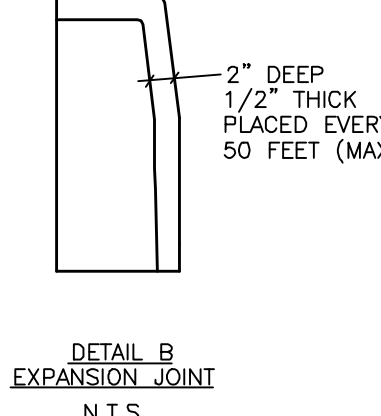
NOTE: THE BED FOR CONCRETE SIDEWALKS SHALL BE THOROUGHLY COMPACTED BY TAMING AND, WHEN SO COMPACTED, SHALL BE UNIFORMLY 4 INCHES BELOW THE FINISHED SURFACE. ON THIS FOUNDATION SHALL BE CONSTRUCTED A 4 INCH CONCRETE PAVEMENT. JOINTS SHALL BE MADE EVERY 4 FEET AND A SPACE OF 1/4 INCH TO 1/2 INCH LEFT BETWEEN BLOCKS AT EVERY TENTH JOINT AND FILLED WITH PREPARED JOINT FILLER. ALL CONCRETE SHALL BE CURED WITH THE USE OF AN APPROVED WHITE-PIGMENTED CURING COMPOUND.



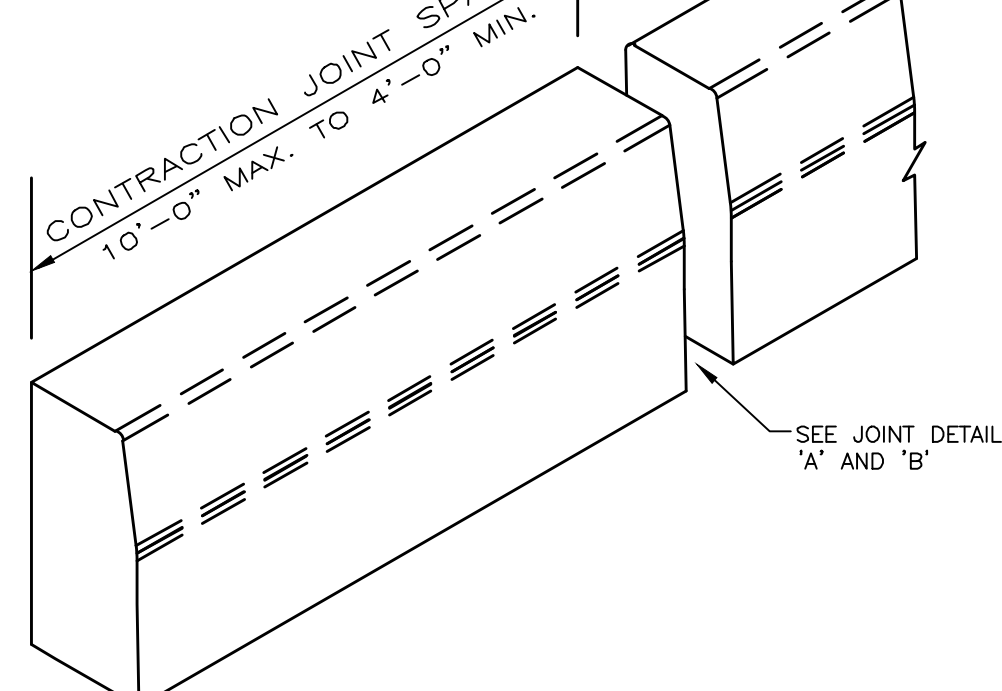
DEPRESSED CURB FOR DRIVEWAYS
N.T.S.



DETAIL A CONTRACTION JOINT
N.T.S.



DETAIL B EXPANSION JOINT
N.T.S.

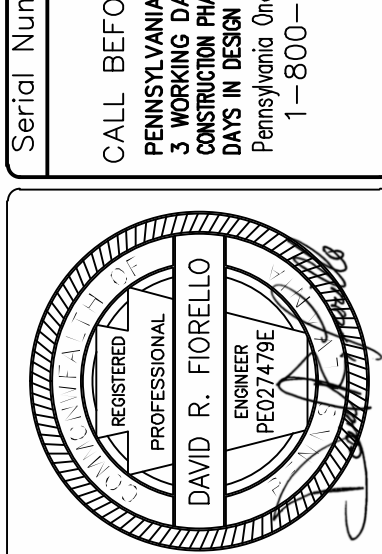


PLAIN CEMENT CONCRETE CURB
N.T.S.

- MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 AND 640 FOR PLAIN CEMENT CONCRETE CURB.
- SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
- PLACE 1/2" PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
- IN ACCORDANCE WITH SECTION 141.20.G(5), CURB TO BE CONSTRUCTED IN UNIFORM LENGTHS OR BLOCKS, SEPARATED BY CONTRACTION JOINTS EVERY TEN FEET (SEE DETAIL 'A') AND EXPANSION JOINTS EVERY 50 FEET (SEE DETAIL 'B').
- ALL WEARING COURSE SURFACES SHALL BE SEALED TO THE CONCRETE CURB WITH A ONE-FOOT WIDE GRADE BM-1 OR A-1 BITUMINOUS GUTTER SEAL.
- ALL CONCRETE SHALL BE CURED WITH THE USE OF AN APPROVED WHITE-PIGMENTED CURING COMPOUND.

THESE SPECIFICATIONS ARE BASED ON THE ASSUMPTION THAT THE SOIL IS OF AVERAGE QUALITY AND THAT THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AUTHORITIES.

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CONSTRUCTION DETAILS
THE COTTAGE AT VALLEY FORGE FLOWERS - SPREAD EAGLE VILLAGE
163 EAGLE ROAD
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA
OWNER/APPLICANT: VILLAGE ASSOCIATES
DRAWN BY: DRF
CHECKED BY: DRF



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1	10/21/15			

DATE: AUGUST 7, 2015
SHEET NO. 7
SCALE: AS NOTED
FILE NO.: 13-345