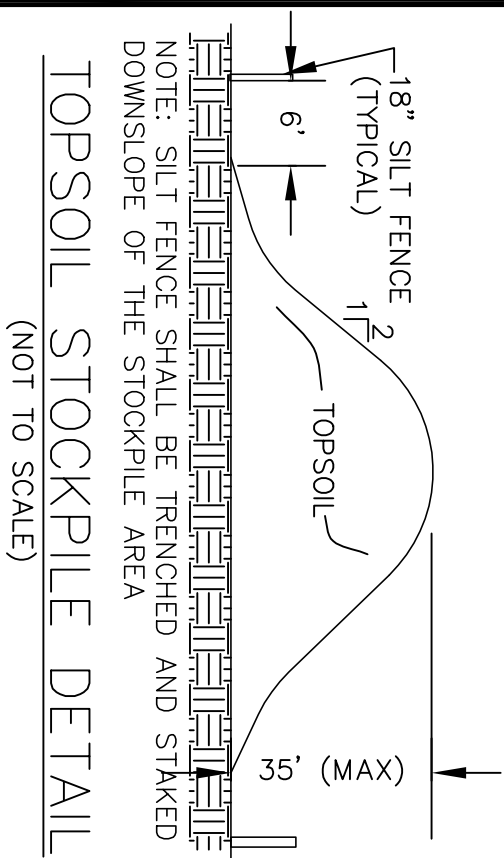


TEMPORARY SEEDING

LINE:	190 LBS/1000 SF GROUND LAMINONE INCORPORATED 4 INCHES INTO SOIL
FERTILIZER:	25 LBS/1000 SF 16-20-0 INCORPORATED 4 INCHES INTO SOIL
SEED:	1.0 LBS/1000 SF ANNUAL Ryegrass
MULCH:	140 LBS/1000 SF STRAW MULCH
PERMANENT SEEDING:	MINIMUM STANBARD FOR LAMINONE AND FERTILIZER LAMINONE SHALL BE APPLIED AT A RATE OF 1 TON PER ACRE. FERTILIZER SHALL BE APPLIED AT A RATE OF: NITRITENITROGEN: 30 LBS/ACRE, AVERAGE PHOSPHORUS: 100 LBS/ACRE, AVERAGE POTASSIUM: 120 LBS/ACRE, AVERAGE
LINE:	190 LBS/1000 SF GROUND LAMINONE INCORPORATED 4 INCHES INTO SOIL
FERTILIZER:	25 LBS/1000 SF 16-20-0 INCORPORATED 4 INCHES INTO SOIL
SEEDING:	LAWN AND MOWED AREAS - KENTUCKY BLUEGRASS - 30 LBS/AC RETOP - 3 LBS/AC TOTAL SEEDING - 30 LBS/AC OR PENNA. WINDMINE FESCUE - 40 LBS/AC RETOP - 3 LBS/AC TOTAL SEEDING - 43 LBS/AC TOTAL SEEDING - 60 LBS/AC

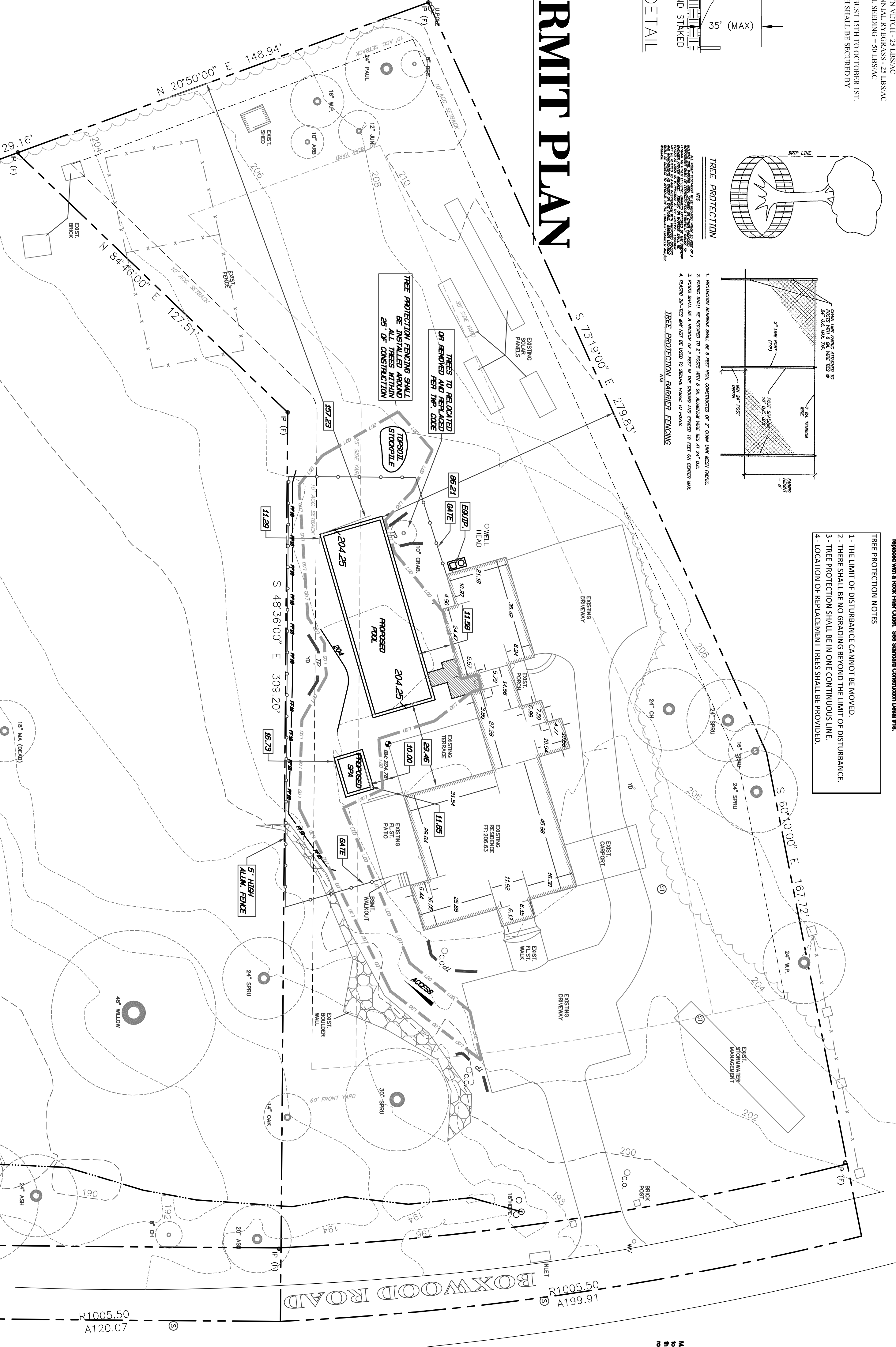
SLOPES OR UNMOWED AREAS - GROWN VETCH - 25 LBS/AC
PERENNIAL RYEBGRASS - 25 LBS/AC
TOTAL SEEDING = 30 LBS/AC

PLANTING DATE: MARCH 1ST TO MAY 15TH, AND AUGUST 15TH TO OCTOBER 1ST.
MULCH STRAW AT A RATE OF 140 LBS/1000 SF. MULCH SHALL BE SECURED BY APPROVED METHODS



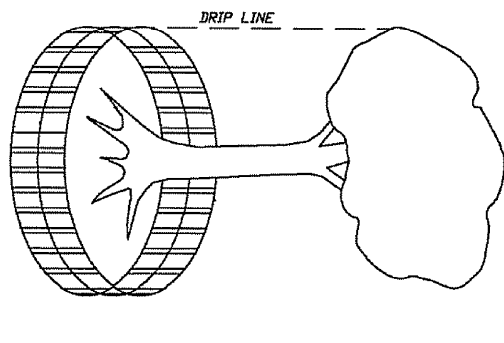
POOL PERMIT PLAN

Scale: 1" = 20'

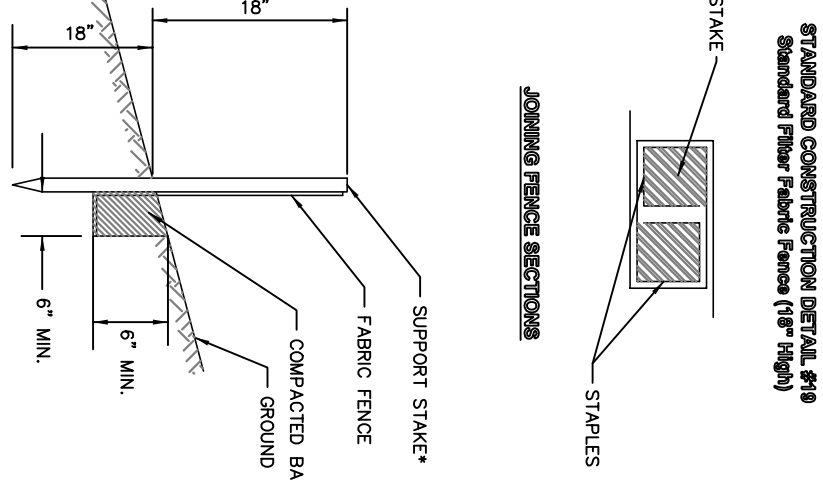


EROSION & SEDIMENTATION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE BARRIAR AREAS OF THESE CONTROLS.
2. AFTER FINISHING THE BARRIAR AREAS, THE EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY.
3. FILTER FABRIC FENCE MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION MUST EXTEND AT LEAST TEN FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
4. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH THE ABOVE-GROUND HEIGHT OF THE FENCE.
5. THE FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPAIRED WITH A ROCK FILTER OUTLET. SEE ROCK FILTER OUTLET DETAIL.
6. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
7. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED, MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATION. DURING NON-DEVELOPMENTAL PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES.
8. EROSION AND SEDIMENTATION CONTROLS MUST BE STABILIZED IMMEDIATELY.
9. HAY OR STRAW MULCH MUST BE APPLIED AT RATES OF AT LEAST 30 TONS PER ACRE.
10. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RAINFALL EVENT AND ON WEEKLY BASIS. ALL PREVENTATIVE AND REPAIR MAINTENANCE ACTIVITIES MUST BE PERFORMED IMMEDIATELY.
11. ACTION TO IMPROVE EROSION CONTROL CONDITIONS DEVELOPED DURING CONSTRUCTION, THE CONTRACTOR SHALL RESULT OF FRESH BASED RUNOFF AND/OR SEDIMENT DISCHARGE. STOCKPILES OF WOODCHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO BE APPLIED IMMEDIATELY WITHIN THE EROSION CONTROL AREAS.
12. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE EROSION CONTROL APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION.
13. PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
14. PROTECTION TO EXISTING TREES AND SHRUBS WHERE EARTH MOVING HAS CEASED MUST BE PERMANENTLY STABILIZED IMMEDIATELY.
15. ALL SMALL SHALL BE PROTECTED WITH EROSION CONTROL BLANKETS.



- TREE PROTECTION**
1. PROTECTIVE BARRIERS SHALL BE 6 FEET HIGH, CONSTRUCTED OF 2\"/>
 2. BARRIERS SHALL BE SECURED TO 2\"/>
 3. BARRIERS SHALL BE 2 FEET FROM THE TRUNK AND 18 INCHES FROM THE TRUNK.
 4. BARRIERS SHALL BE 2 FEET FROM THE TRUNK AND 18 INCHES FROM THE TRUNK.
- TREE PROTECTION - BARBER LEAVINGS**
1. PROTECTIVE BARRIERS SHALL BE 6 FEET HIGH, CONSTRUCTED OF 2\"/>
 2. BARRIERS SHALL BE SECURED TO 2\"/>
 3. BARRIERS SHALL BE 2 FEET FROM THE TRUNK AND 18 INCHES FROM THE TRUNK.
 4. BARRIERS SHALL BE 2 FEET FROM THE TRUNK AND 18 INCHES FROM THE TRUNK.



- STABILIZED CONSTRUCTION ENTRANCE DETAIL**
1. THE LIMIT OF DISTURBANCE CANNOT BE MOVED.
 2. THERE SHALL BE NO GRADING BEYOND THE LIMIT OF DISTURBANCE.
 3. TREE PROTECTION SHALL BE IN ONE CONTINUOUS LINE.
 4. LOCATION OF REPLACEMENT TREES SHALL BE PROVIDED.

NOTES:

1. TOPOGRAPHIC INFORMATION OBTAINED FROM MEASUREMENTS CONDUCTED ON 08/15/15.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
3. THE BOUNDARY SHOWN HEREON HAS BEEN ESTABLISHED FROM PHYSICAL FEATURES ONLY AND IS NOT TO BE CONSIDERED A BOUNDARY SURVEY BY THIS OFFICE.
4. A SILT FENCE MUST BE PLACED AROUND ALL EROSION PRONE & EARTH DISTURBED AREAS BY THE CONTRACTOR BEFORE CONSTRUCTION.
5. HAIL ALL EXCESS EXCAVATION OFF THE LOT. CLEAN ALL SILT OFF THE CONSTRUCTION VEHICLES BEFORE ENTERING THE PUBLIC ROAD.
6. THE RESPONSIBILITY OF THE CONTINUED MAINTENANCE AND OPERATION OF THE ROAD DRAINAGE SYSTEMS IN EXCESS OF 25% SHALL BE STABILIZED WITH SOD OR TURF PLANTING, AND SEED. THE SWALE AROUND THE POOL SHALL BE STABILIZED WITH SOD.

ZONING REQUIREMENTS

R 1 RESIDENTIAL DISTRICT	REQUIRED
MINIMUM LOT SIZE	1 ACRE
MINIMUM FRONT YARD	120 FEET
MINIMUM SIDE YARD	60 FEET
MINIMUM REAR YARD	25 FEET EA. - 60 FT TL.
MINIMUM BUILDING AREA COVERAGE	40 PERCENT
MAXIMUM BUILDING HEIGHT	35 FEET
MAXIMUM IMPERVIOUS SURFACES	22 PERCENT
ACCESSORY STRUCTURES UNATTACHED	10 FEET FROM PROP LINE
ACCESSORY STRUCTURES UNATTACHED	15 FEET FROM PROP LINE
A/C UNITS	

IMPERVIOUS COVER COMPUTATION

Net Lot Area	64,426 sq ft
Existing:	
Residence	3,908.00 sq ft
Driveway	5,335.00 sq ft
Walk	2,150.00 sq ft
Car Port	3,680.00 sq ft
Patio	586.00 sq ft
Pool	4,800.00 sq ft
Brick	5,930.00 sq ft
Subtotal:	11,569.00 sq ft
Proposed:	
Pool	1,260.00 sq ft - not included
Copied	10,000 sq ft - not included
Dwelling	21,400 sq ft
Subtotal:	33,900 sq ft
TOTAL:	11,899.00 sq ft
	18.48%

REV	BY	DATE	DESCRIPTION

LEGEND

EXISTING

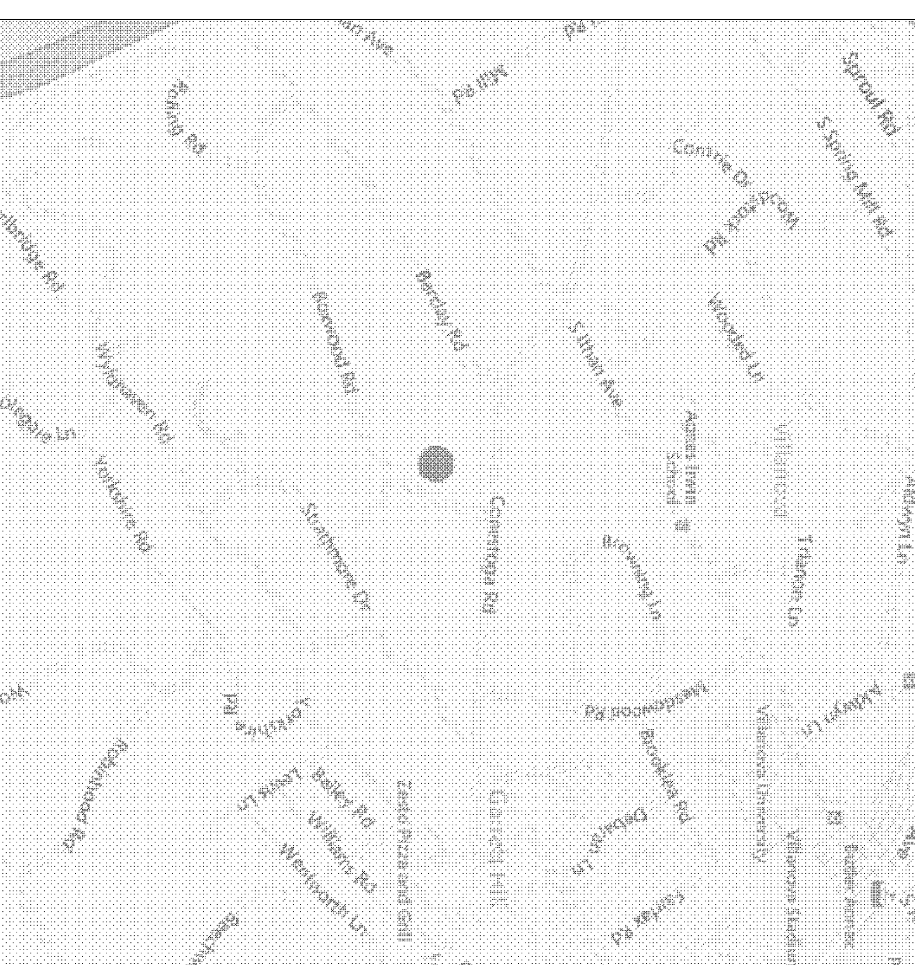
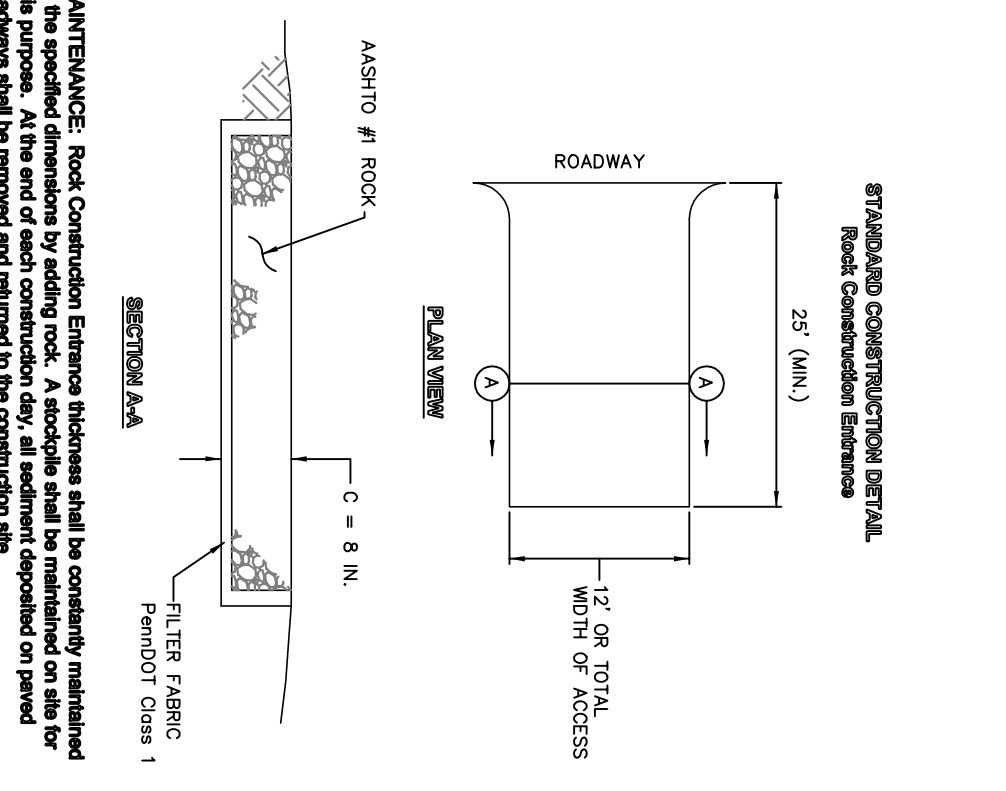
- 100 INDEX CONTOURS
- NORMAL CONTOURS
- X 100.00 SPOT ELEVATION
- TREELINE
- 15-25% SLOPES
- 5:25% SLOPES

PROPOSED

- 100 INDEX CONTOURS
- NORMAL CONTOURS
- X 100.00 SPOT ELEVATION
- TREELINE
- 18' SILT FENCE 18"
- 30' SILT FENCE 30"
- SSP SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- ROCK FILTER
- EROSION CONTROL BLANKET

5,900 S.F. PROPOSED

5' HIGH ALUM. FENCE



CALL BEFORE YOU DIG

1-800-4-A-DIG

FOR INFORMATION ON HOW TO LOCATE UTILITIES, CONTACT THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) AT 1-800-4-A-DIG. FOR MORE INFORMATION, VISIT WWW.PA-DEP.GOV. PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 300 SOUTH ZEEB ROAD, HARRISBURG, PA 17103-1000. PA DEP IS AN EQUAL OPPORTUNITY AND IS SUBJECT TO FINES UP TO \$25,000.00 PER OCCURRENCE.

Date: 05/18/15
Scale: AS NOTED
Drawn: GS
Checked: MM

Project: STEPHANIE SPOSATO & CHARAN CHADHA
404 Boxwood Road
Bryn Mawr, PA 19010

Applicant: STEPHANIE SPOSATO & CHARAN CHADHA
404 Boxwood Road
Bryn Mawr, PA 19010

MESKO ASSOCIATES, INC
(610) 280-9541
MESKO Engineering.com
Architectural, Civil / Structural Engineering and Surveying
672 Exton Commons
Exton, PA 19341

MUST BE SIGNED IN RED

Matthew Meeko, PE

GENERAL NOTES:

1. THE TOWNSHIP ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
2. ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004.
3. CONTRACTOR TO PROTECT OR RELOCATE UTILITIES AS NEEDED.
4. MAINTAIN MINIMUM COVER OVER ALL EXISTING AND PROPOSED UTILITIES AT ALL TIMES.
5. LOT WAS DEVELOPED IN 2000 UNDER PERMIT # 00-39.
6. NOTE TO CONTRACTOR: THIS PLAN CAN BE USED FOR CONSTRUCTION ONLY AFTER ALL REQUIRED AGENCY APPROVALS ARE FINALIZED, PERMITS ARE ISSUED AND WRITTEN AUTHORIZATION TO PROCEED IS GRANTED BY THE OWNER.
7. A CUT AND FILL ANALYSIS WAS NOT PERFORMED AND MATERIAL BALANCE IS NEITHER IMPLIED NOR GUARANTEED. PROPOSED GRADES MAY NOT NECESSARILY INCORPORATE SPREADING OF CUT MATERIAL NOR DO THEY PRECLUDE THE NEED FOR IMPORTING FILL MATERIAL TO OBTAIN THE GRADES SHOWN ON THE PLAN. EXCESS MATERIAL MAY BE SPREAD THROUGHOUT THE PROJECT AREA AFTER CONSULTING WITH THE DESIGN ENGINEER AND TOWNSHIP REGARDING IMPACT TO EXISTING AND PROPOSED DRAINAGE PATTERNS OR STORMWATER FACILITIES. IMPORTED MATERIAL MUST BE CLEAN FILL AS DESIGNATED BY THE PaDEP.

TREE PROTECTION NOTES:

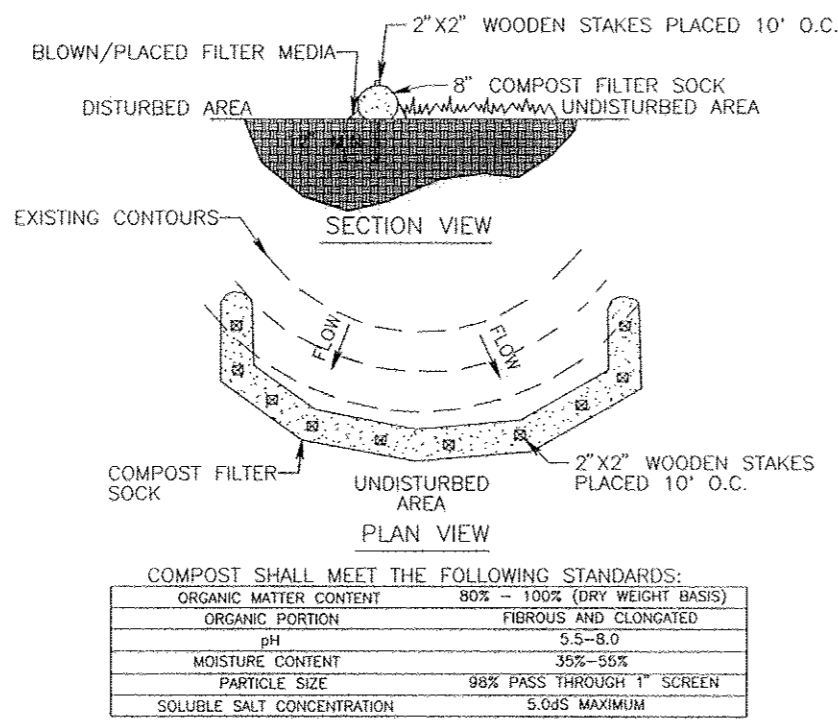
1. TREES SHALL BE TREATED TO PROTECT THE ROOT SYSTEM PRIOR TO CONSTRUCTION WHERE IMPROVEMENTS ARE SHOWN WITHIN THE DRILINES OF TREES TO REMAIN.
 2. WHERE EXCAVATION TRENCHES ARE PROPOSED WITHIN THE DRILINES OF TREES, ALL DISTURBED ROOTS MUST BE CUT AS CLEANLY AS POSSIBLE. THE TRENCH MUST BE BACKFILLED AS QUICKLY AS POSSIBLE, AVOIDING COMPACTION.
- GRADING NOTES:**
1. THE TOWNSHIP ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
 2. NEWLY GRADED SLOPES OF OVER 25% MUST BE STABILIZED WITH SOD OR EROSION CONTROL BLANKET.
 3. NO GRADING CHANGES SHALL BE SHOWN WITHIN FIVE (5') FEET OF THE PROPERTY LINE IN ORDER TO ENSURE TRANSITION TO THE GRADING OF THE ADJOINING PROPERTY.
 4. GRADING AND EARTHMOVING OPERATIONS SHALL BE MINIMIZED DURING THE PERIOD FROM NOVEMBER 15 TO APRIL 1 WHEN RE-VEGETATION OF EXPOSED GROUND SURFACE IS DIFFICULT. MULCH, STRAW, STONE AND/OR SOD SHALL BE USED TO STABILIZE ALL AREAS DENuded DURING THIS TIME PERIOD.

FLOOD PLAIN NOTE:

1. NO FLOOD PLAIN ON PROPERTY.

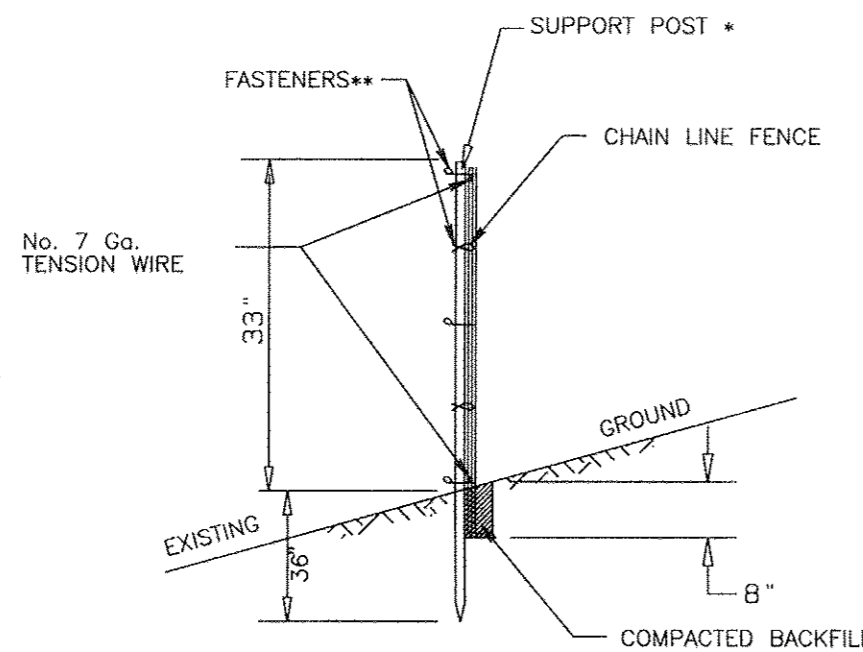
CONSTRUCTION SCHEDULE:

1. ANTICIPATED START: JULY 2015
2. ANTICIPATED COMPLETION: JULY 2015



8" COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE DIAMETER OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

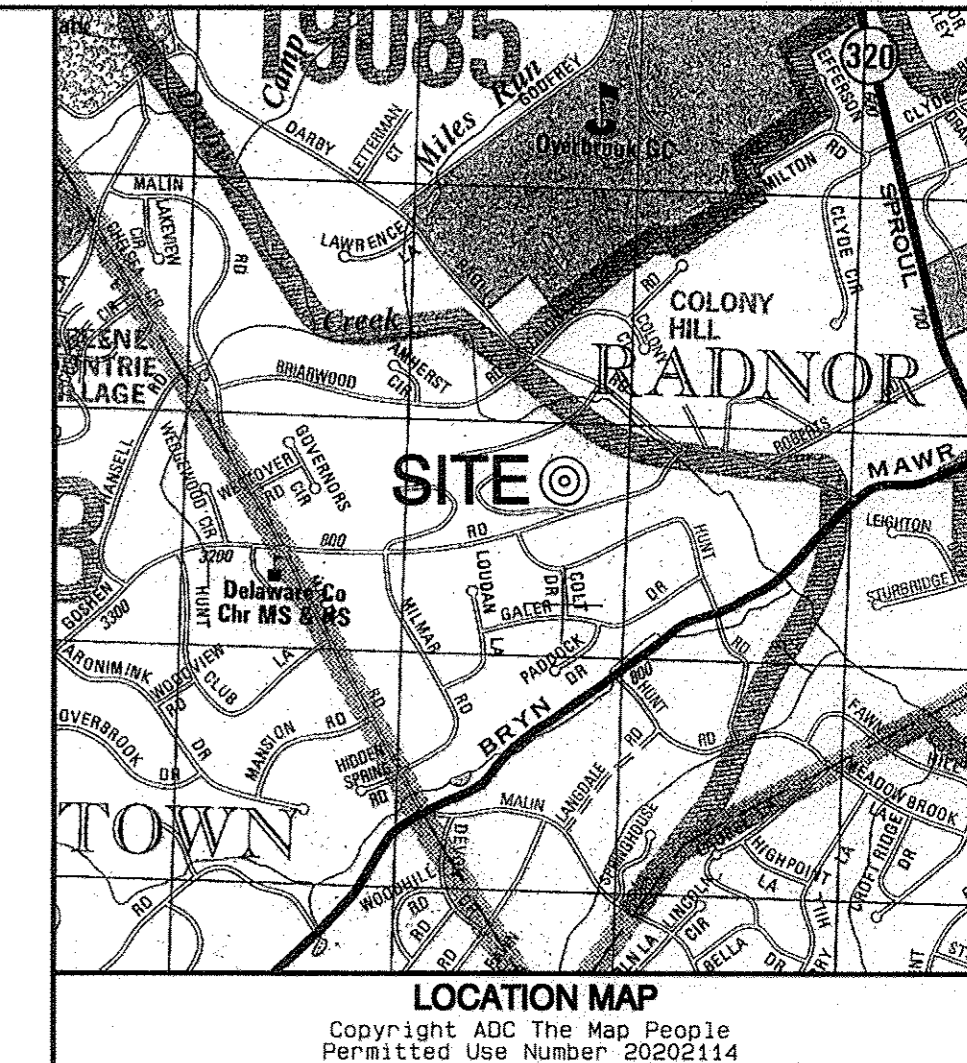
1 COMPOST FILTER SOCK



- * POSTS SPACED @ 10' MAX. USE 2 1/2" DIA. GALVANIZED OR ALUMINUM POSTS.
- ** CHAIN LINK TO POST FASTENERS SPACED @ 14" MAX. USE No. 6 GAL. ALUMINUM WIRE OR No. 9 STEEL GALVANIZED PREFORMED CLIPS. CHAIN LINK TO TENSION WIRE FASTENERS SPACED @ 60" MAX. USE No. 10 GAL. GALVANIZED STEEL WIRE. FABRIC TO CHAIN LINK FASTENERS SPACED @ 24" MAX. C. TO C.

1. PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.
2. ADDITIONAL WARNING SIGNS SHOULD ALSO BE PLACED ON THE FENCING AND IN APPROPRIATE AREAS NEAR THE WORK ZONE.

2 TREE PROTECTION FENCE



ZONING REGULATIONS
R-1 Residence District

	REQUIRED	EXISTING
LOT AREA	17 Ac.	65,756 Sq. Ft.
LOT WIDTH	120 Ft.	120 Ft. of building line
BUILDING AREA	15%	6.4%
FRONT YARD	60 Ft. (min.)	280 Ft.
SIDE YARD (Single-family detached dwelling)	30 Ft. (min./60 Ft. AGG)	30 Ft. min./130 Ft. agg
REAR YARD	40 Ft. (min.)	75 Ft.
IMPERVIOUS SURFACES	22% (max.)	22.0%
BUILDING HEIGHT	3 Stories (max.); 35 Ft. (max.)	2 Stories; <35 Ft.

FOR COMPLETE ZONING INFORMATION, REFER TO RADNOR TOWNSHIP ZONING ORDINANCE, CHAPTER 280.

NOTE CONCERNING YARDS: THE YARD ASSIGNMENTS AND DIMENSIONS SHOWN ON THIS PLAN ARE YERKES ASSOCIATES, INC. INTERPRETATION OF THE ZONING CODE. PLEASE BE AWARE THAT THE FINAL DETERMINATION OF THESE MATTERS IS MADE BY THE TOWNSHIP AND TOWNSHIP ZONING OFFICERS.

IMPERVIOUS SURFACES SUMMARY

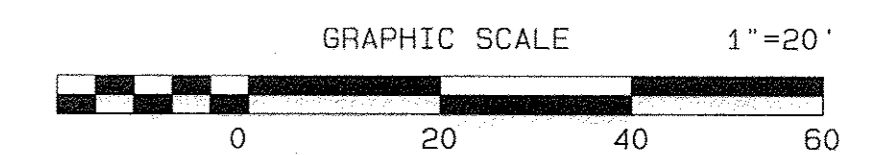
	EXISTING
BUILDINGS	4,224 S.F.
WALKS	92 S.F. (6.4%)
PATIOS	1,107 S.F.
DRIVES	7,446 S.F.
DECKS	662 S.F.
OTHER	112 S.F.
FUTURE	822 S.F.
TOTAL	14,466 S.F. (22.0%)

SURVEYOR'S NOTES:

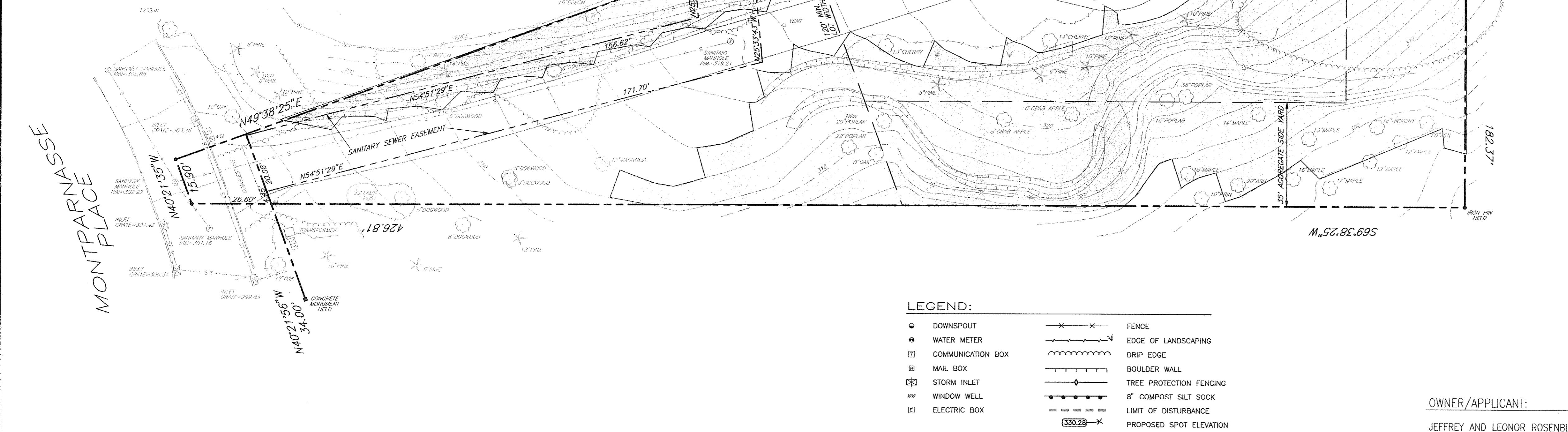
1. THIS IS THE SAME PREMISES DESCRIBED IN RECORD BOOK 2158 PAGE 824 AT THE DELAWARE COUNTY RECORDER OF DEEDS.
2. THIS PLAN IS BASED UPON A FIELD SURVEY BY YERKES ASSOCIATES, INC., IN MARCH 2013.
3. ELEVATION DATUM APPROXIMATE U.S.G.S. BASED UPON THE EXISTING GARAGE FLOOR PER A GRADING PLAN FOR LOT 3 BY CHESTER VALLEY ENGINEERS.

PROJECT DESCRIPTION

THIS PROPERTY IS LOCATED AT 800 MONTPARNASSE IN RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA. THE PROPERTY CONSISTS OF A DEVELOPED LOT IN ZONING DISTRICT R-1 WITH A TOTAL TRACT AREA OF 65,756 SQUARE FEET (1.51 ACRES). THE CLIENT HAS RECENTLY CONSTRUCTED A POOL HOUSE, POOL, PORCH AND DECK UNDER A PREVIOUS PERMIT. THIS PERMIT IS TO GRADE AN AREA TO INSTALL A BATHING CAGE WITH A GRASS GROUND COVER. THE IMPERVIOUS COVERAGE IS NOT AFFECTED BY THIS APPLICATION AND THE STORMWATER SYSTEM CAN ACCOMMODATE 822 SF OF FUTURE IMPERVIOUS COVERAGE.



TOTAL LOT AREA = 65,756.40 SQUARE FEET (1.510 ACRES)



LEGEND:

- DOWNSPOUT
- WATER METER
- COMMUNICATION BOX
- MAIL BOX
- STORM INLET
- WINDOW WELL
- ELECTRIC BOX
- X — FENCE
- — — EDGE OF LANDSCAPING
- — — DRIP EDGE
- — — BOULDER WALL
- — — TREE PROTECTION FENCING
- — — 8" COMPOST SILT SOCK
- — — LIMIT OF DISTURBANCE
- — — PROPOSED SPOT ELEVATION

OWNER/APPLICANT:

JEFFREY AND LEONOR ROSENBLUM
800 MONTPARNASSE PLACE
NEWTOWN SQUARE, PA 19073

1	JUNE 3, 2015	RESPONSE TO MARCH 19, 2015 COMMENTS
NO.	DATE	REVISION COMMENT
PROPOSED SITE PLAN		
GRADING PERMIT APPLICATION REVISED FOR PROPOSED BATHING CAGE PREPARED FOR		
800 MONTPARNASSE PLACE NEWTOWN SQUARE, PA 19073 RADNOR TOWNSHIP * DELAWARE COUNTY * PENNSYLVANIA		
Yerkes		
YERKES ASSOCIATES, INC.		
CONSULTING ENGINEERS * LAND SURVEYORS * LAND PLANNERS		
1444 PHOENIXVILLE PIKE * P.O. BOX 1568 * WEST CHESTER, PA 19380 TEL: (610) 644-4254 * FAX: (610) 640-0771		
PROJECT -	B-13-6695	
DATE -	MARCH 3, 2015	
SCALE -	1" = 20'	
DRAWN -	LPS	
CHECKED -	LPS	
CAD FILE -	B6695 Eng	
TAX PARCEL -	36040244208	
PLAN NO.	D-36-48-27.8	
SHEET 1 OF 1		

6/2/2015 10:13:13 AM - W:\ENERGY_Montparnasse\Cad\Eng_2015-06-03_B6695_Eng.dwg

CONSTRUCTION STAGING

1. EROSION AND SEDIMENT CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE MAY BEGIN. ONLY LIMITED DISTURBANCE WILL BE PERMITTED FOR THE CONSTRUCTION OF THE SEDIMENT CONTROL FACILITIES.
2. CONSTRUCTION PROCEDURES AND STAGING MUST BE ADHERED TO CAREFULLY TO MINIMIZE THE TIME THAT SOIL IS EXPOSED TO EROSION. CONSTRUCTION IS TO BE STAGED AS FOLLOWS:
3. EXCAVATE FOR FOUNDATIONS.
4. EXCAVATE FOR FOUNDATIONS.
5. EXCAVATE FOR FOUNDATIONS.
6. EXCAVATE FOR FOUNDATIONS.
7. INSTALL PIPING AND UTILITIES.
8. GRADE AND STONE NEW DRIVEWAY.
9. PAVE NEW DRIVEWAY.
10. CONSTRUCT SEEPAGE BED.
11. SPREAD TOPSOIL AND FINISH GRADE.
12. SEED AND MULCH DISTURBED AREAS IN ACCORDANCE WITH PADOT FORMULAR B.
13. REMOVE EROSION AND SEDIMENTATION CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREAS.

PLANTING SCHEDULE

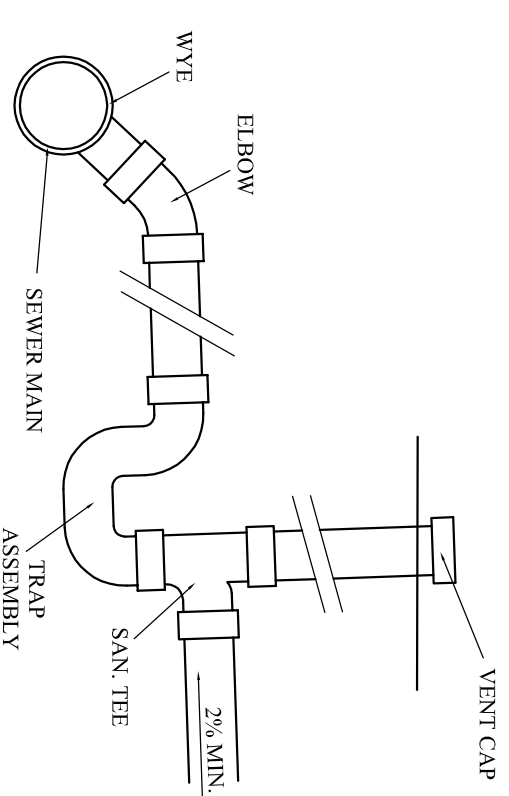
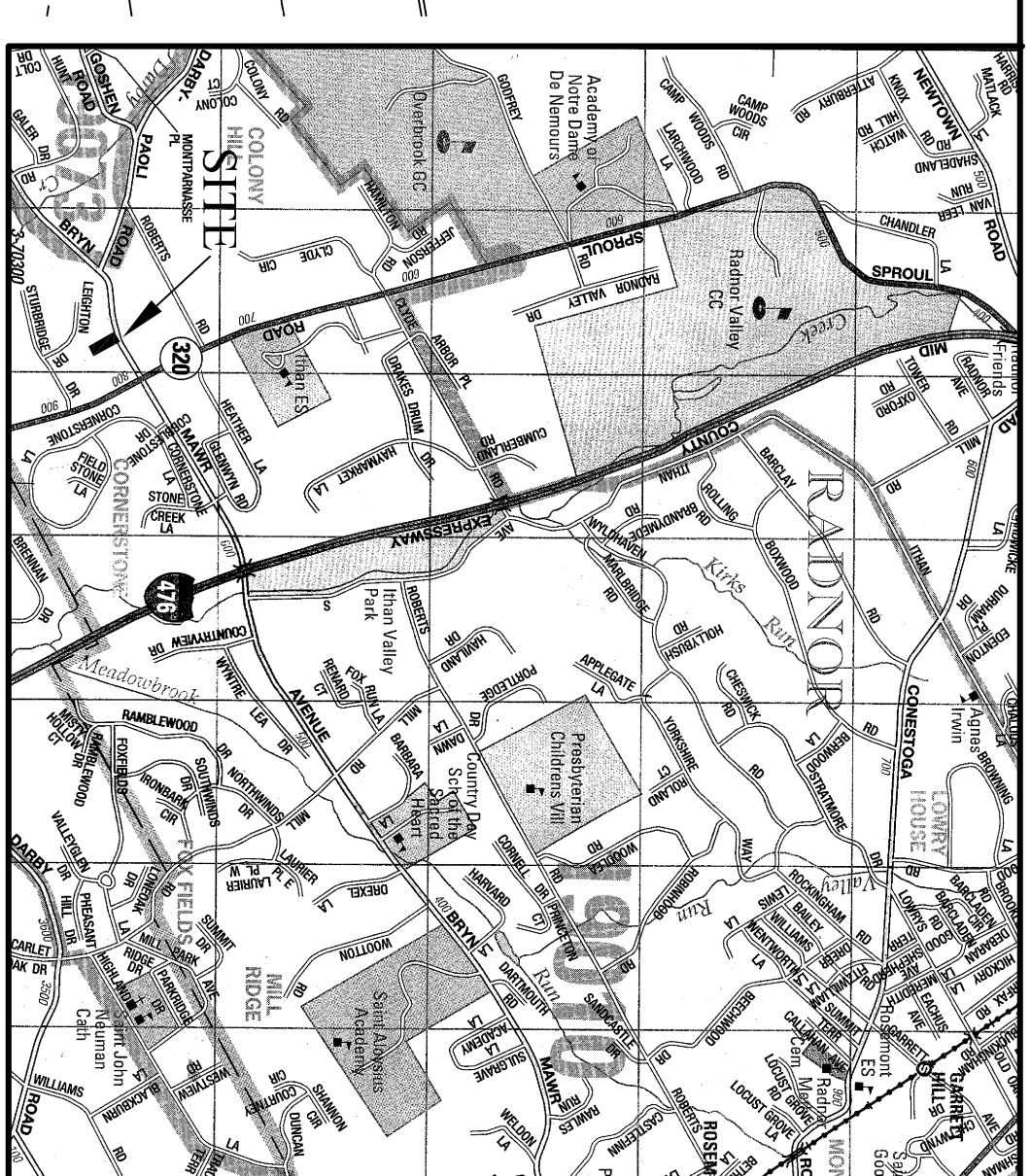
BOT. NAME	COM. NAME	QUANT.	CALIPER	SYML
QUERCUS BICOLOR	SWAMP WHITE OAK	3	2.5"	(09)
ACER RUBRUM	RED MAPLE	4	2.5"	(09)
NYSSA SYLVATICA	TUPEDO	2	2.5"	(09)
CERES C. ANADONENSIS	EASTERN REDBUD	2	2.5"	(09)
CORNUS KUSA	KOUSA DOGWOOD	2	2.5"	(09)
TOTAL		13		

TREE REMOVAL CHART

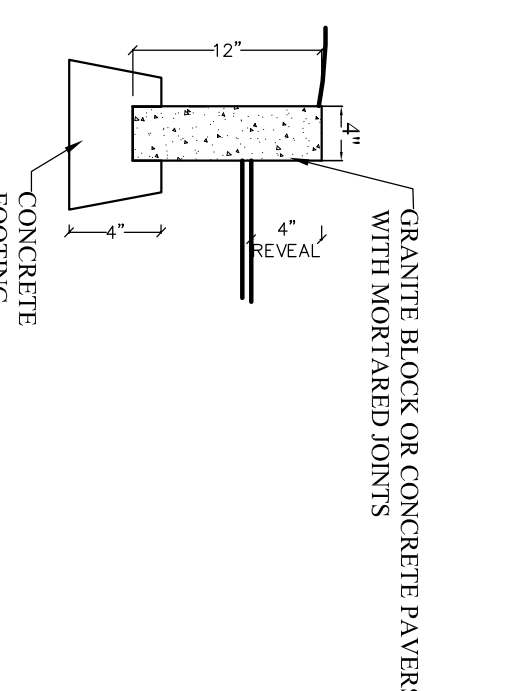
QUANT.	CALIPER	REPLACE
4	6"-18"	4
3	19"-30"	9
0	OVER 30"	0
7		13

GENERAL NOTES

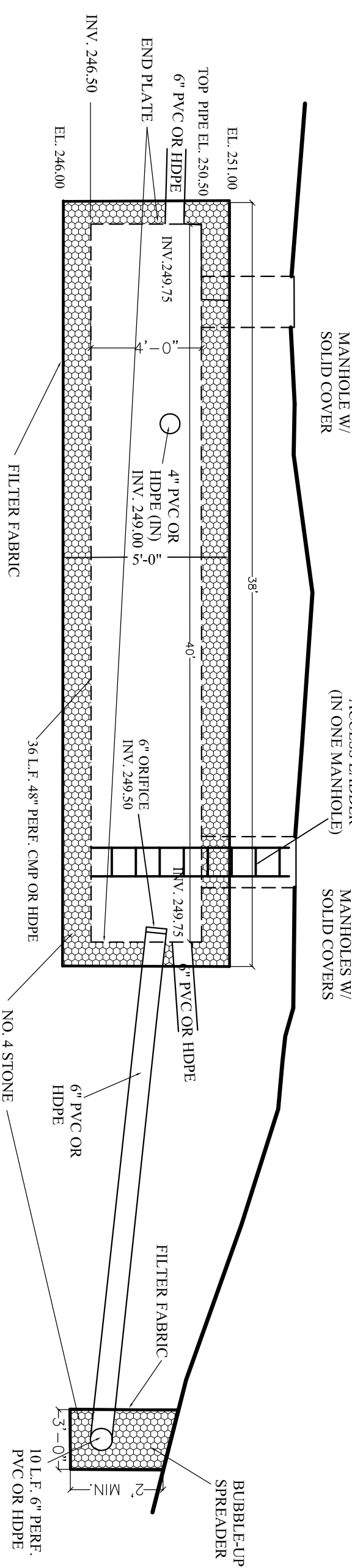
1. THE CONTRACTOR SHALL COMPLY WITH ALL LEGAL AND APPLICABLE ORDINANCES GOVERNING THE WORKS AND DEPTHS OF ALL UNDERGROUND FACILITIES BEFORE THE START OF WORK.
2. THE CONTRACTOR MUST VERIFY THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES BEFORE THE START OF WORK.
3. GEOTEXTILE FILTER FABRIC SEDIMENT CONTROL BARRIERS SHALL BE PLACED AS DIRECTED BY THE ENGINEER.
4. DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR MORE THAN 30 DAYS SHALL BE MULCHED AND SEEDED.
5. ALL ROOT DRAINS ARE TO BE TIED TO BISMAR.
6. ALL TREE ROOTS WITHIN 10 FEET OF THE PROPERTY LINE HAVE BEEN LOCATED.
7. ALL TREE ROOTS DISTURBED DURING CONSTRUCTION ACTIVITIES SHALL BE CUT CLEANLY.



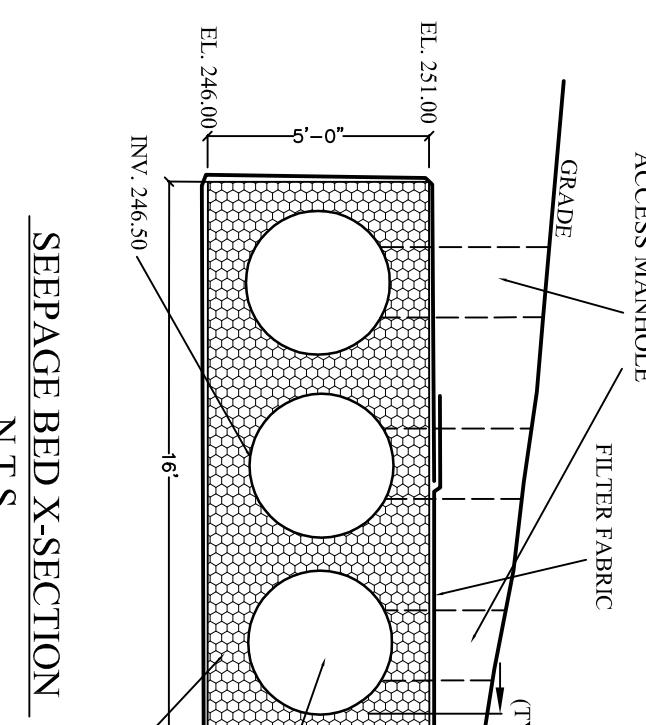
SAN LATERAL CONNECTION
NO SCALE



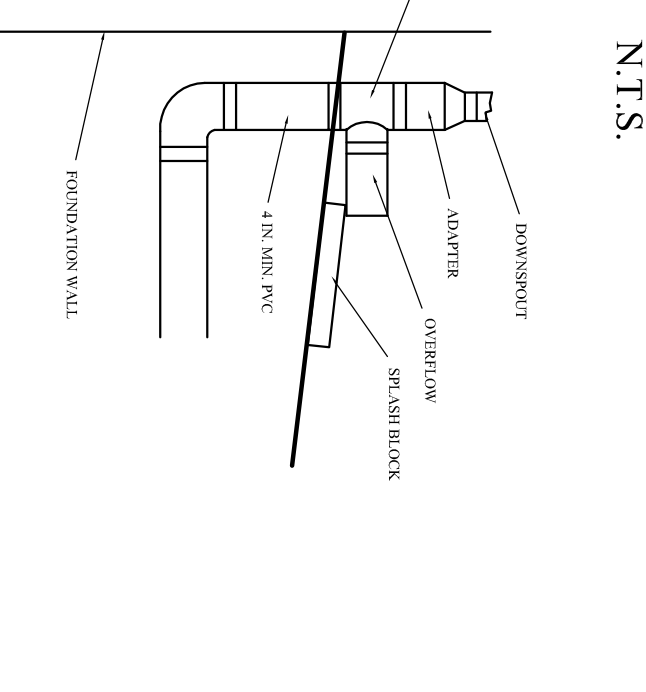
DRAINAGE CURB DETAIL
NO SCALE



SEEPAGE BED LONGITUDINAL SECTION
N.T.S.



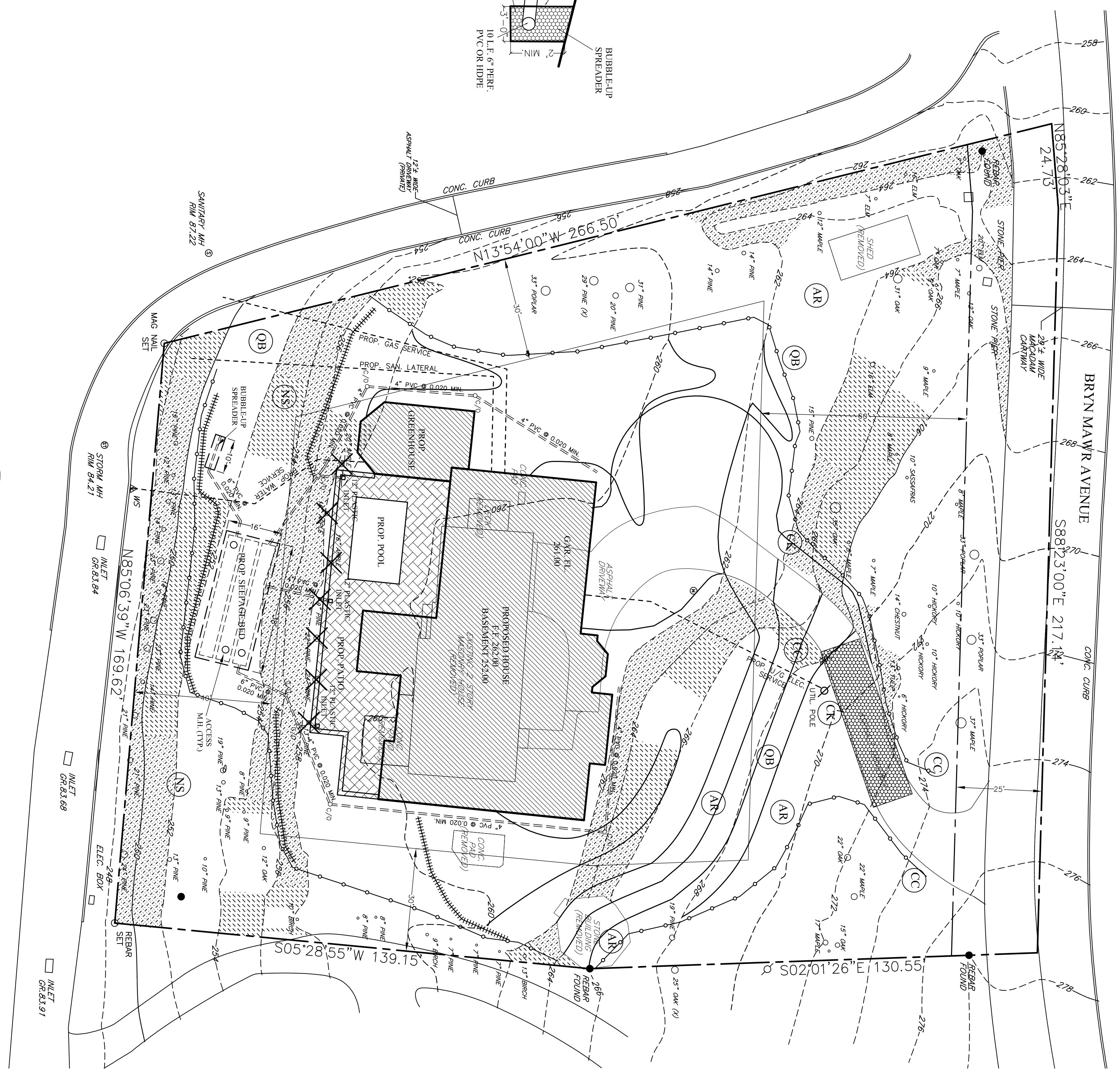
SEEPAGE BED X-SECTION
N.T.S.



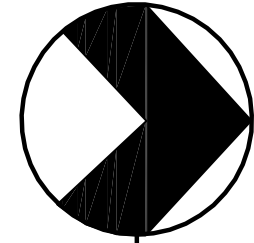
DOWNSPOUT DETAIL
NO SCALE

LEGEND

- EXIST. CONTOUR
- PROP. CONTOUR
- EXIST. TREE TO BE REMOVED
- SILT FENCE
- TREE PROTECTION FENCE
- UTILITIES
- PROP. STORM DRAINS
- CONSTRUCTION ENTRANCE
- TIRE CLEANER
- PROPERTY LINES
- STEEP SLOPES 14% TO 29%
- STEEP SLOPES OVER 30%



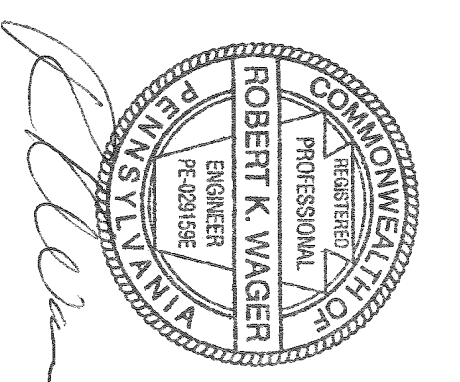
SITE PLAN



THE APPLICANT, DO HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE RADNOR TOWNSHIP.

DATE: 6/12/15

SHEET 1 OF 2



REVISIONS

ENGINEERING SERVICES

GRADING PLAN

ROBERT K. WAGER, P.E.
1640 BELHAM AVENUE
HAYWARD, PA 19188
(610) 642-0961

719 S. BRYN MAWR AVE.
RADNOR TOWNSHIP
PENNSYLVANIA

DATE: 6/12/15 SCALE: 1"=20'-0" DRAWN BY: RKW PROJ. NO.: 15012

PROPOSED

HOUSE: 2133 S.F.
DRIVEWAY: 2524 S.F.
PATIO: 1864 S.F.
TOTAL IMPERVIOUS COVER: 11171 S.F. (20.16%)
TOTAL BLDG. COVER: 5215 S.F. (9.41%)

EXISTING

HOUSE: 2133 S.F.
DRIVEWAY: 2524 S.F.
PATIO: 1864 S.F.
TOTAL IMPERVIOUS COVER: 6197 S.F. (11.19%)
TOTAL BLDG. COVER: 2783 S.F. (5.02%)

IMPERVIOUS COVER BUILDING AREA

IMPERVIOUS COVER: 6197 S.F. (11.19%)
BLDG. AREA TOTAL: 2783 S.F. (5.02%)
IMPERVIOUS COVER: 5215 S.F. (9.41%)

PROPOSED

HOUSE: 2133 S.F.
DRIVEWAY: 2524 S.F.
PATIO: 1864 S.F.
TOTAL IMPERVIOUS COVER: 11171 S.F. (20.16%)
TOTAL BLDG. COVER: 5215 S.F. (9.41%)

NOTE: THE SEEPAGE BED/RETENTION BASIN WAS DESIGNED FOR 100% OF FUTURE IMPERVIOUS. ALL FUTURE IMPERVIOUS COVER SHALL BE NOTIFIED DIRECTLY TO THE SEEPAGE BED AND WILL REQUIRE A GRASS/DRIVE STRIP.

SOILS:

GcC-2 (GENERIC CHANNELRY SILT/LOAM 8 TO 15 PERCENT SLOPES, MODERATELY BROOD - HYDROLOGIC GROUP B)

NOTE:

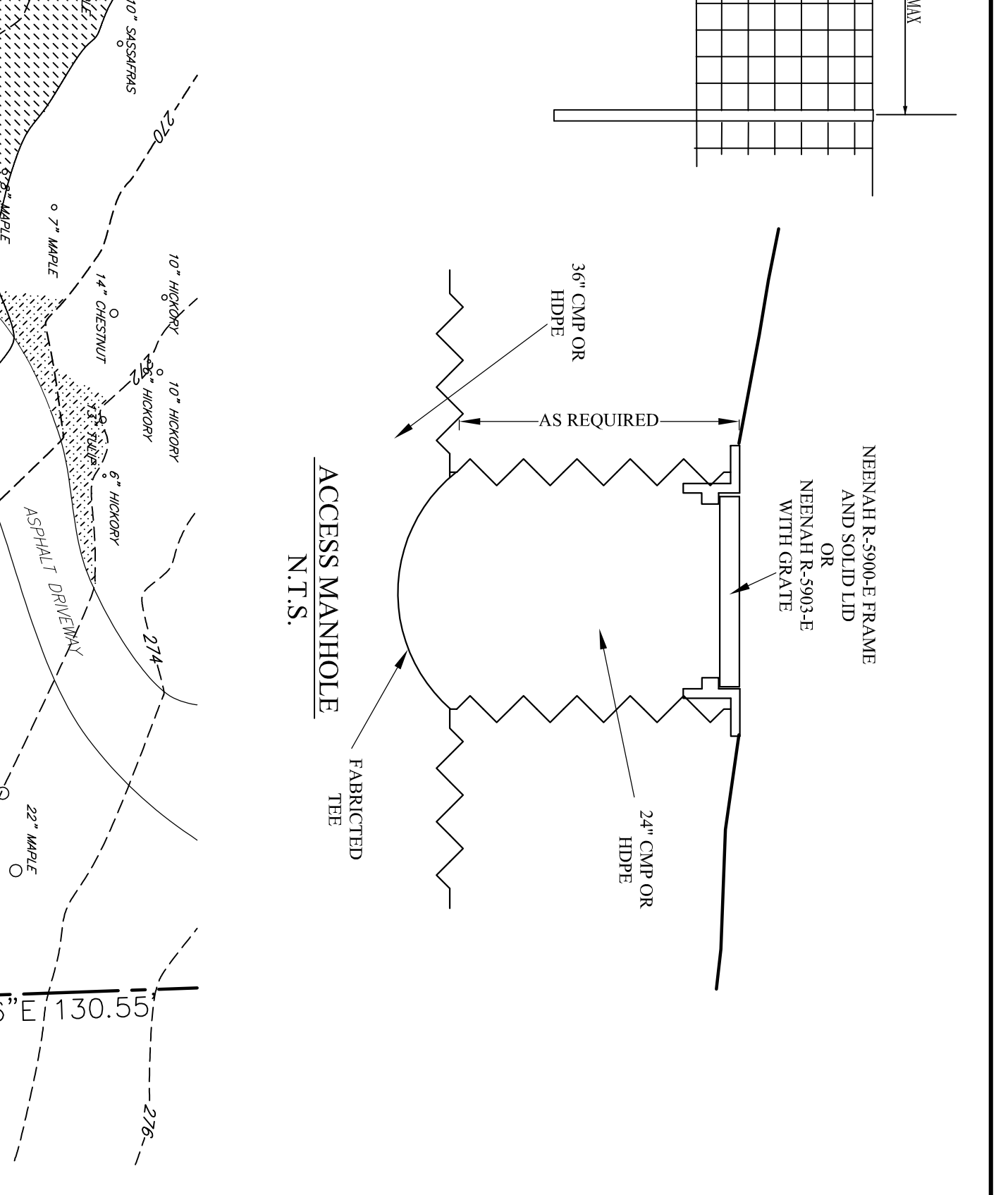
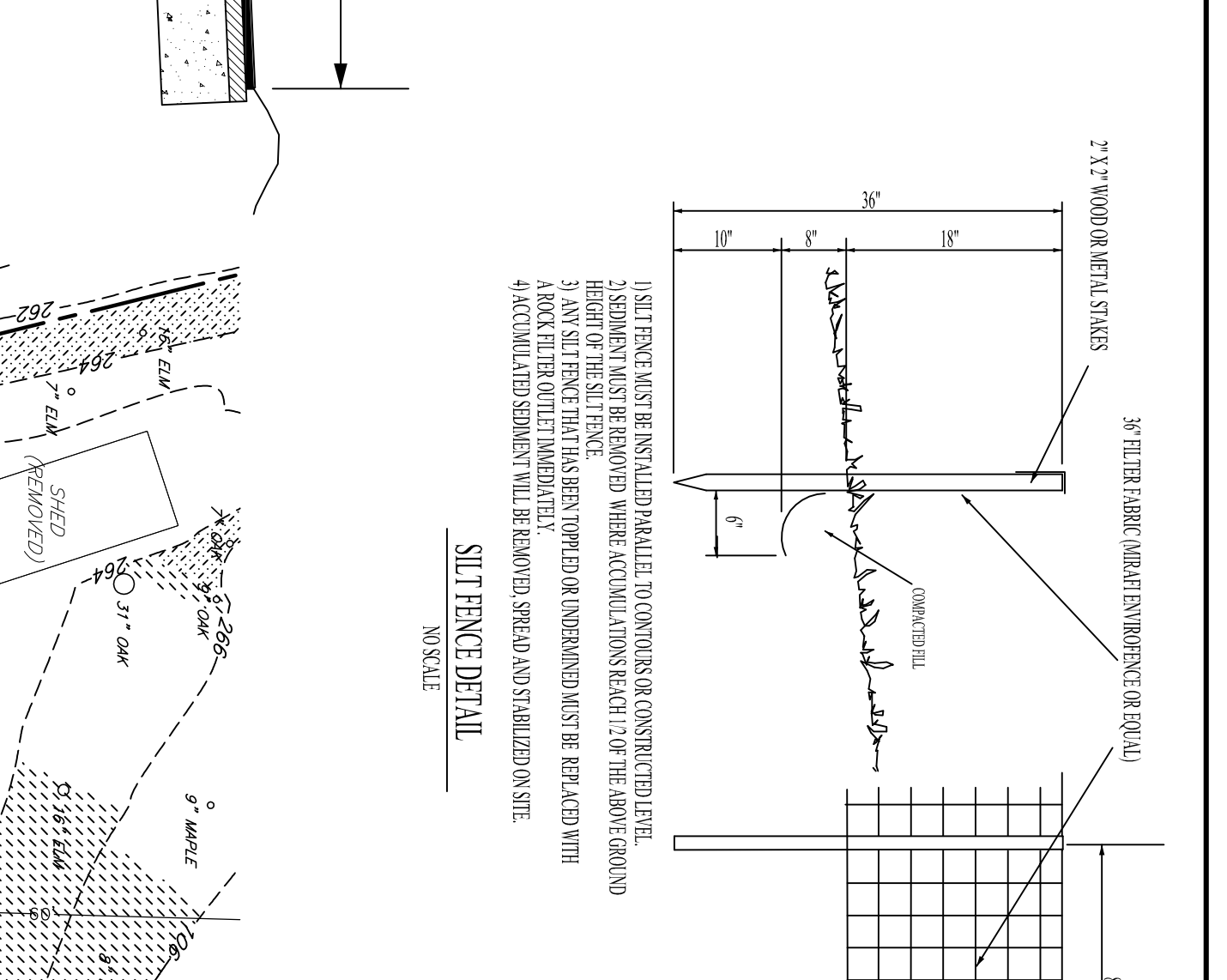
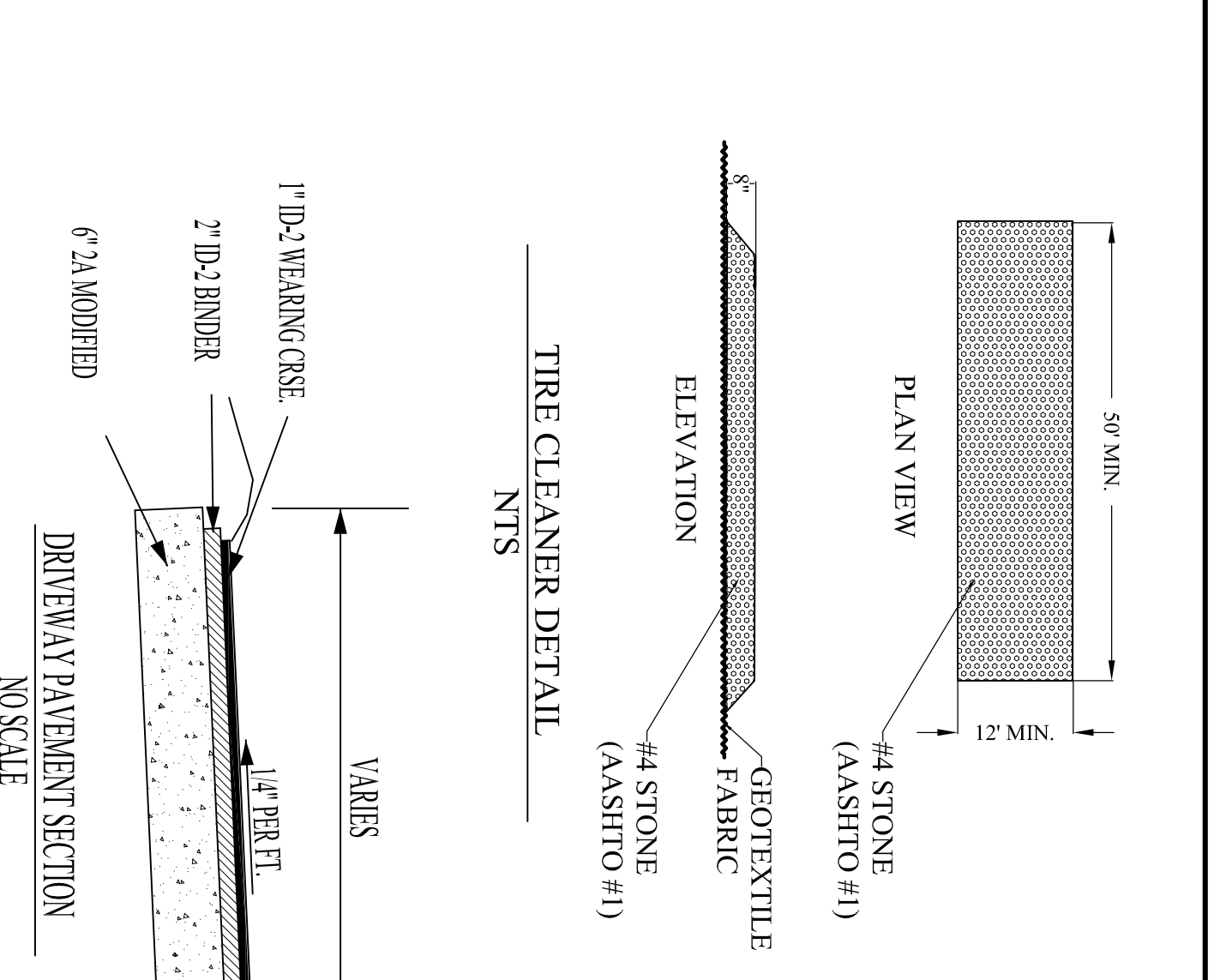
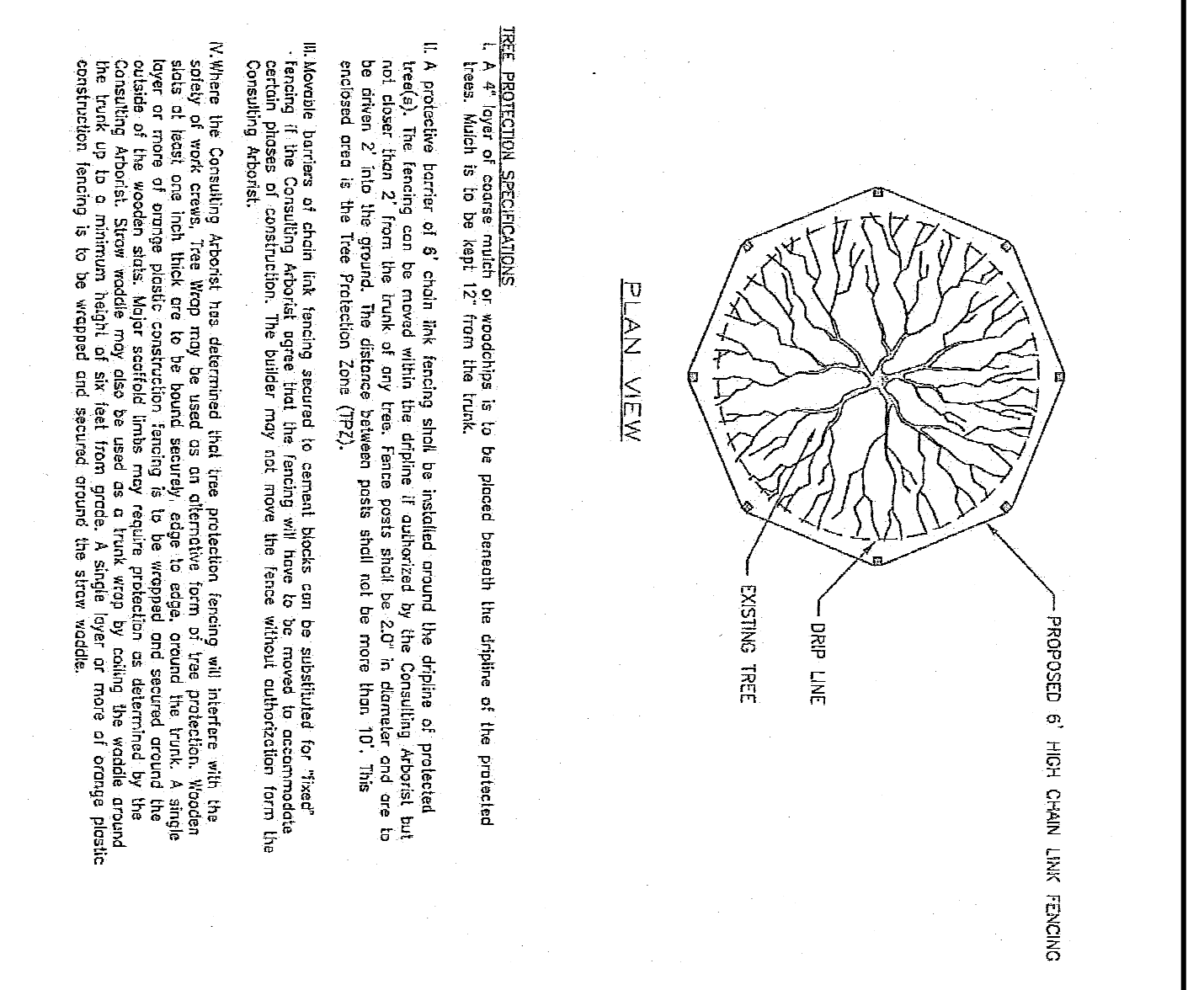
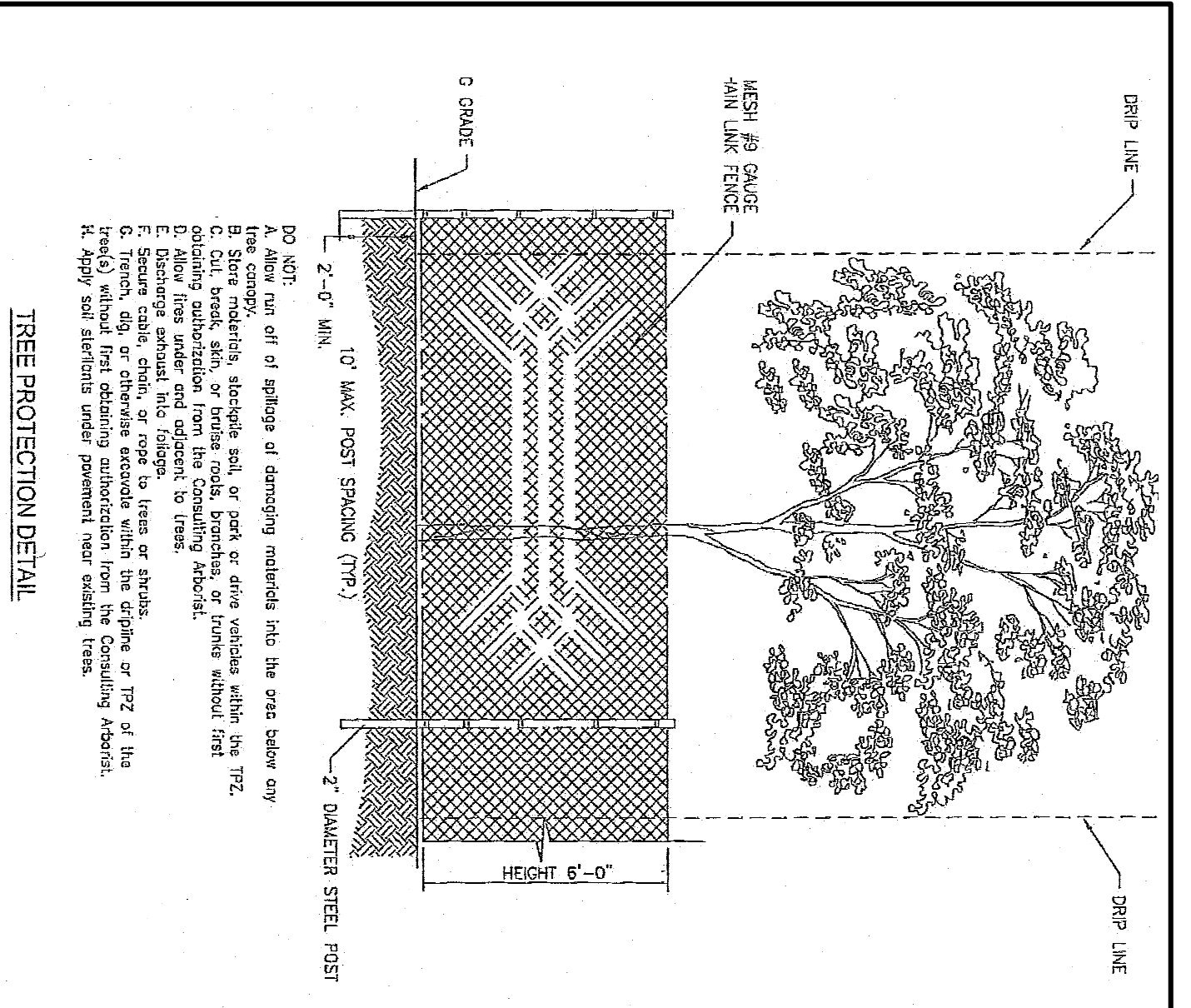
1. TREE IS TO BE REMOVED

APPLICANT:

STEPHEN OWENS & VU KHANH
PHILADELPHIA, PA 19131

NOTES:

PHYSICAL FEATURES FROM FIELD SURVEY BY (PATRICK CAVANAGH), P.L.S.



STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

1. Vehicles and equipment may not enter public roads without having the tires cleaned or washed.
2. Stockpile heights must not exceed 35 feet; stockpile slopes must be 2:1 or flatter.
3. All sediment control structures shall be constructed in accordance with the approved EESS control plan and implemented.
4. Until the site achieves final stabilization, the operator shall ensure that the best management practices are implemented, operated, and maintained properly and completely. The maintenance shall include inspection of all best management practice facilities. The operator shall ensure that all best management practices are maintained and that the erosion inspection log of all these inspections, including cleaning, repair, replacement, upgrading, and rehabilitation shall be performed immediately.
5. Immediately upon discovering unforeseen circumstances posing a potential for the best management practices to be ineffective, the operator shall immediately notify the project engineer and the local conservation district.
6. Before initiating any revision to the approved erosion and sediment control plan or before revising any other plans which may affect the effectiveness of the approved EESS control plan, the operator must receive approval of the revision from the local Conservation District.
7. The operator shall ensure that an erosion and sediment control plan has been prepared, approved by the local Conservation District, and is being implemented and maintained for the duration of the project.
8. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag, discharging over non-disturbed areas.
9. The operator shall become thoroughly familiar with the provisions of the Appendix 64 Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental and Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
10. A copy of the approved erosion and sediment control plan must be available at the project site at all times.
11. The operator shall employ and display a PA ONE CALL SYSTEM.
12. Erosion and sediment BMP's must be constructed, stabilized, and functional before site disturbance begins within the primary areas of those BMP's.
13. Erosion and sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.

TREE PROTECTION SPECIFICATIONS

1. A protection barrier of 6\"/>

DRIVEWAY PAVEMENT SECTION

NO SCALE

Labels: 1\"/>

SILT FENCE DETAIL

NO SCALE

Labels: 3\"/>

ACCESS MANHOLE

N.T.S.

Labels: 36\"/>

TOP VIEW OF RISER

Labels: 1\"/>

LADDER DETAIL

Labels: 1\"/>

LADDER DETAIL

Labels: 1\"/>

CMP LADDER DETAIL

Labels: 1\"/>

LADDER DETAIL

Labels: 1\"/>

TOP VIEW OF RISER

Labels: 1\"/>

LADDER DETAIL

Labels: 1\"/>

LADDER DETAIL

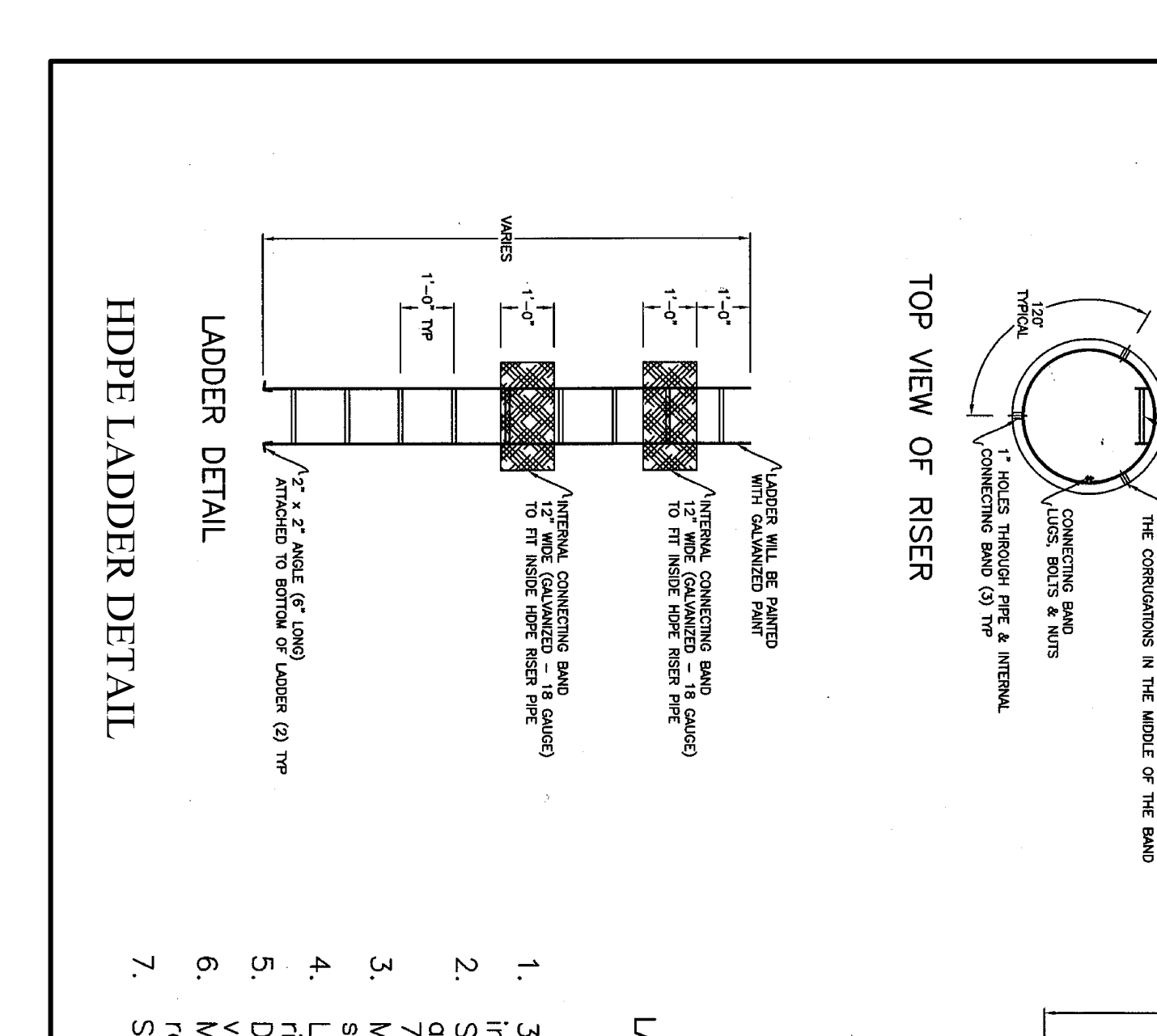
Labels: 1\"/>

CMP LADDER DETAIL

Labels: 1\"/>

LADDER DETAIL

Labels: 1\"/>



REVISIONS

NO.	DATE	DESCRIPTION
1	6/12/15	ISSUED FOR PERMITS
2	6/12/15	ISSUED FOR PERMITS
3	6/12/15	ISSUED FOR PERMITS
4	6/12/15	ISSUED FOR PERMITS
5	6/12/15	ISSUED FOR PERMITS
6	6/12/15	ISSUED FOR PERMITS
7	6/12/15	ISSUED FOR PERMITS

SCALE

0 20 40 60

SITE PLAN

DETAILS - E&S NOTES

REVISIONS

1. 3/4\"/>

LADDER DETAIL

1. 3/4\"/>

LADDER DETAIL

1. 3/4\"/>

REVISIONS

1. 3/4\"/>

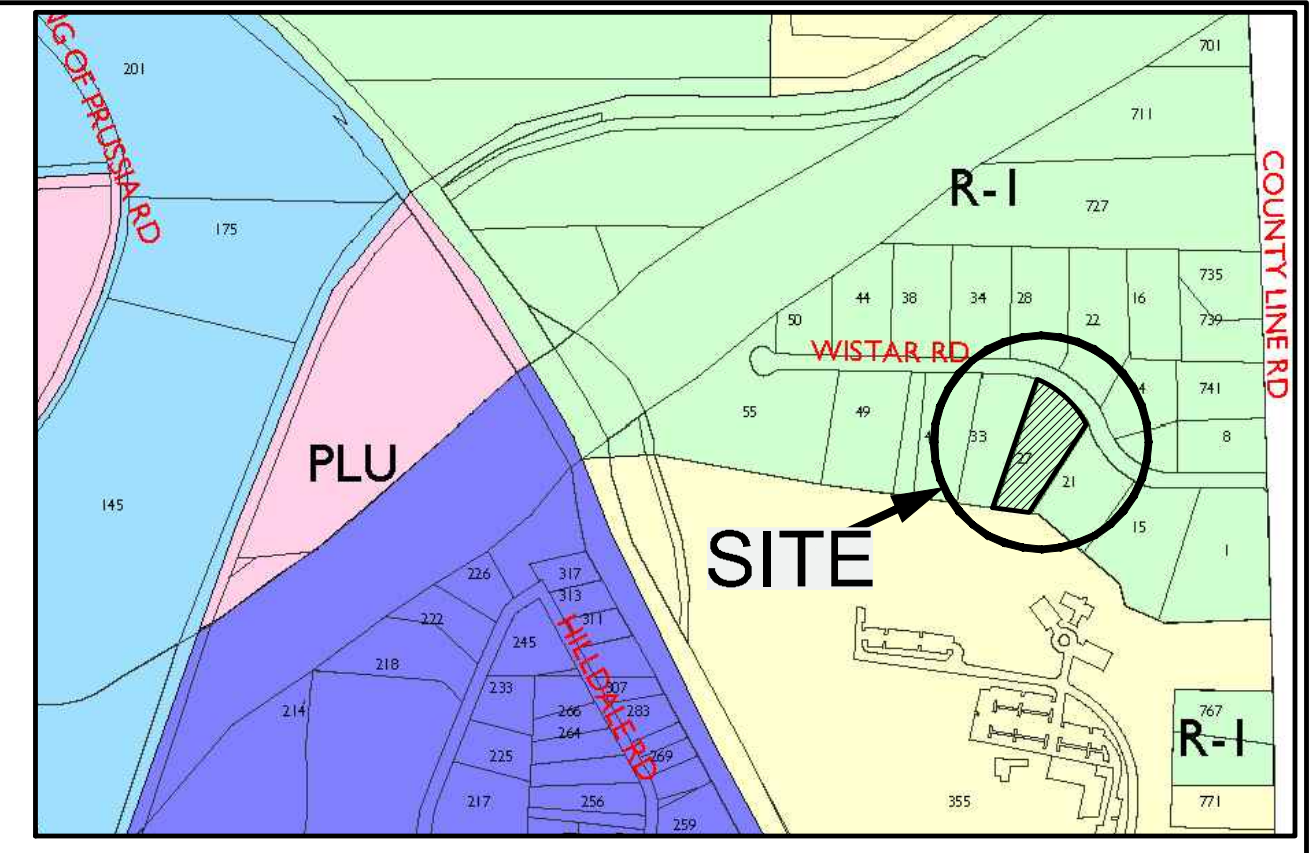
REVISIONS

1. 3/4\"/>

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.

AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1778 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.



LOCATION MAP
SCALE: 1" = 600'

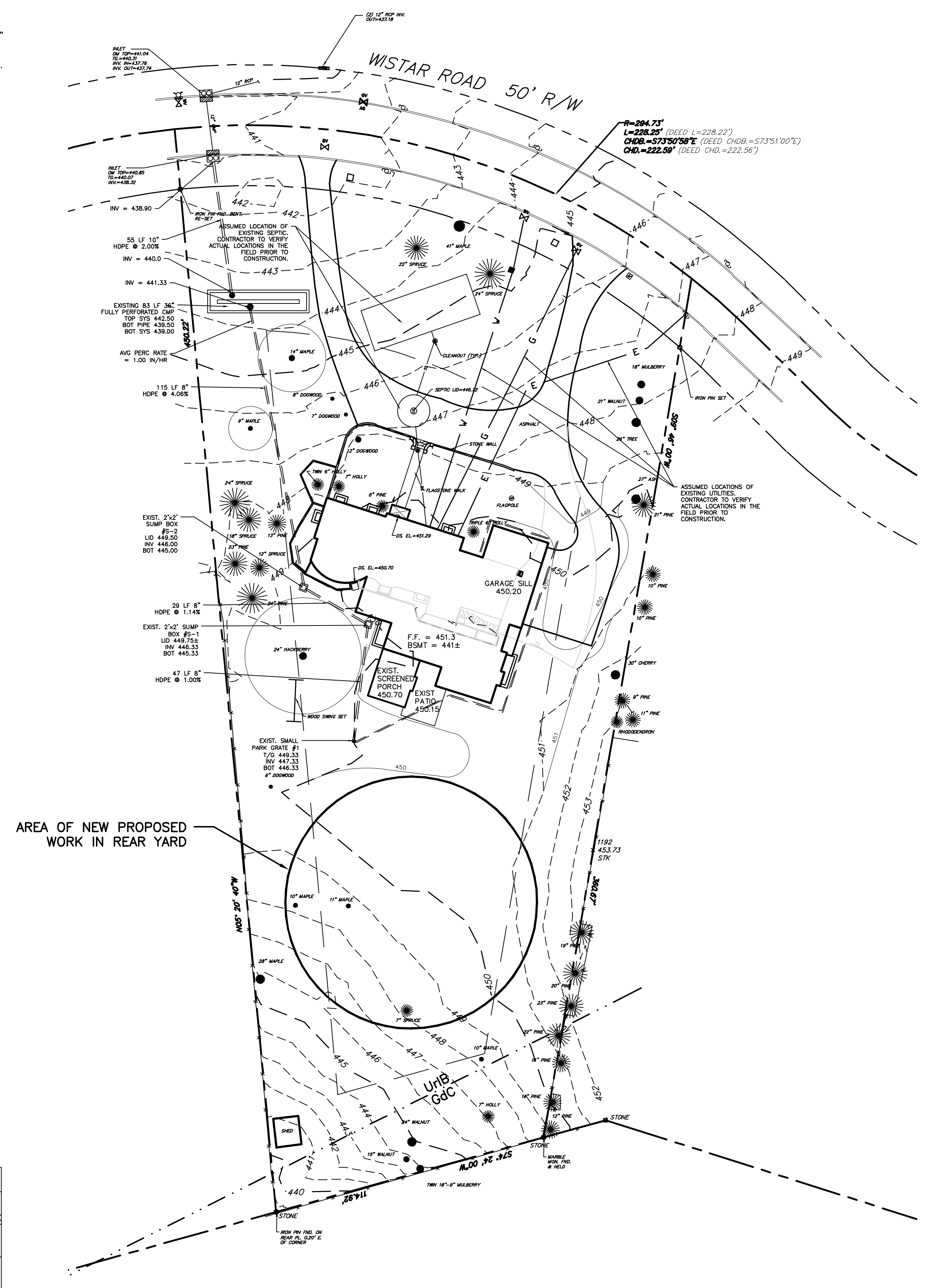
ZONING DISTRICT R-1 (RESIDENCE DISTRICT)
 LOT SIZE 1-ACRE MIN
 LOT WIDTH 120' MIN
 BUILDING AREA 15% MAX
 FRONT YARD 60' MIN
 SIDE YARD 25' MIN, 60' AGG
 REAR YARD 40' MIN
 BUILDING HEIGHT 35' MAX OR 3 STORIES
 IMPERVIOUS COVERAGE 22% MAX

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

EXISTING TRACT AREA:
 GROSS TRACT AREA (TO TITLE LINES) 68,611 S.F. (1.575 AC.)

GENERAL NOTES:

- OWNER/APPLICANT: MAUREEN BLOCK, 27 WISTAR ROAD, VILLANOVA, PA 19085
- BOUNDARY AND TOPOGRAPHIC DATA TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 27 WISTAR ROAD", PREPARED BY MOMENEE SURVEY GROUP, INC., DATED MAY 3, 2013, FILE #13-158.
- INFORMATION FROM PLANS ENTITLED "GRADING PERMIT PLANS - 27 WISTAR ROAD" PREPARED BY MOMENEE & ASSOCIATES, INC., DATED JULY 17, 2013, LAST REVISED AUGUST 1, 2013. FILE NO. 13-158.
- THE NOTED SURVEY PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE PREMISES ON MAY 2, 2013 AND DEPICTS CONDITIONS ON THAT DATE.
- THE VERTICAL DATUM IS PER NAVD 1988 OBTAINED VIA VRS NETWORK.
- THE NOTED SURVEY WAS COMPLETED WITHOUT THE AVAILABILITY OF A CURRENT TITLE REPORT AND SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE REPORT.
- TAX PARCEL # 36-02-01482-00
- SOURCE OF TITLE: DEED BOOK 1748 PAGE 24
- SOIL DATA RETRIEVED VIA THE WEB SOIL SURVEY PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE AVAILABLE ONLINE AT HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/.
- THE INTENT OF THESE PLANS IS TO DEPICT THE DEMOLITION OF SOME EXISTING IMPERVIOUS FEATURES TOGETHER WITH THE CONSTRUCTION OF AN ADDITION TO THE EXISTING RESIDENCE, PORCHES, PATIO, DRIVEWAY IMPROVEMENTS, AND OTHER SITE IMPROVEMENTS.
- THIS LOT IS CURRENTLY SERVED BY ON LOT SEPTIC AND PUBLIC DOMESTIC WATER SERVICES.
- THE EXISTENCE AND/OR LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- THE STORMWATER MANAGEMENT DETENTION AND COLLECTION SYSTEM AND INLETS ARE TO BE OWNED AND MAINTAINED BY THE LOT OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND PROPOSED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.
- THE GROUND IMMEDIATELY ADJACENT TO THE PROPOSED FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN FIVE (5%) PERCENT FOR A MINIMUM DISTANCE OF TEN (10) FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN TEN (10) FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF TWO (2%) PERCENT AWAY FROM THE BUILDING.
- THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
- IN ACCORDANCE WITH FEMA PANEL NUMBER 42045C0036F EFFECTIVE DATE NOVEMBER 18, 2009, PREMISES IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD PLAN.
- ALL WOODY VEGETATION TO BE RETAINED WITHIN TWENTY-FIVE FEET OF A BUILDING SITE OR DISTURBED AREA SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING PLACED AT THE DRIPLINES.
- GRADE CHANGES AROUND THE DRIPLINES OF TREES TO BE RETAINED SHALL BE MINIMIZED. TREATMENT OF THE TREES PRIOR TO CONSTRUCTION TO PROTECT THE ROOT SYSTEM SHALL BE PERFORMED.
- ALL DISTURBED ROOTS MUST BE CUT AS CLEANLY AS POSSIBLE. THE TRENCH MUST BE BACKFILLED AS QUICKLY AS POSSIBLE, AVOIDING COMPACTION. TREE LIMBS MUST BE CUT BACK IN PROPORTION TO THE ROOT AREA LOSS.



EXISTING IMPERVIOUS COVERAGE (PER 2013 SURVEY):

RESIDENCE	2,379 SF
SHED	123 SF
DRIVEWAY	5,494 SF
WALLS & MISC	379 SF
TOTAL	8,375 SF (12.2%)

EXISTING IMPERVIOUS COVERAGE (PER 2013 GRADING PERMIT):

RESIDENCE	4,505 SF
COVERED PORCH	59 SF
SCREENED PORCH	334 SF
SHED	123 SF
DRIVEWAY	5,161 SF
PATIO	294 SF
WALKS	125 S.F.
WALLS & MISC	183 SF
TOTAL	10,784 SF (15.72%)

LINE/TYPE LEGEND

---	PROPERTY LINE
- - -	ROW LINE
- - - -	BUILDING SETBACK
- X - X -	FENCE LINE
- - - -	OVERHEAD ELECTRIC
- - - -	ELECTRIC LINE
- - - -	GAS LINE
- - - -	WATER LINE
- - - -	SANITARY LINE
- - - -	EXISTING STORM PIPES
- - - -	EXISTING 1' CONTOUR
- - - -	EXISTING 5' CONTOUR
- - - -	EXISTING CONTOUR (PER 2013 PERMIT)
⊗	WATER VALVE
⊕	UTILITY POLE
⊙	IRON PIN
⊘	CLEANOUT
⊚	SANITARY MANHOLE
⊛	WATER METER
⊜	GAS VALVE
⊝	FLAGPOLE
⊞	MAILBOX

SOILS INFORMATION

SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO SH WATER	DEPTH TO BEDROCK
GcC	GLADSTONE GRAVELLY LOAM	8 TO 15 PERCENT SLOPES	B	6.6+	5.67
UHB	URBAN LAND-GLADSTONE COMPLEX	0 TO 8 PERCENT SLOPES	NOT RATED	6.6+	6.6+

Serial Number: 20131161902

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

CONTRACTOR: MOMENEE & ASSOCIATES, INC. CONSULTING ENGINEERS, EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND ALL OTHER PROPRIETARY RIGHTS IN THESE PLANS. ALL DRAWINGS, SPECIFICATIONS AND PORTIONS THEREOF ARE AND SHALL REMAIN THE PROPERTY OF MOMENEE & ASSOCIATES, INC. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NEITHER TO BE USED ON ANY OTHER PROJECT, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF MOMENEE & ASSOCIATES, INC. ANY REUSE, REPRODUCTION, PERMISSION, VERIFICATION, CONSENT OR ADAPTATION BY MOMENEE & ASSOCIATES, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE THIRD PARTY'S SOLE RISK AND WITHOUT LIABILITY OF LEGAL EXPOSURE TO MOMENEE & ASSOCIATES, INC. THE THIRD PARTY SHALL FURTHER INDEMNIFY AND HOLD HARMLESS MOMENEE & ASSOCIATES, INC. FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES RESULTING THEREFROM.

I, _____, ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE MUNICIPALITY.

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE EXISTING CONDITIONS ARE AS SHOWN AND THAT THIS DRAINAGE PLAN COMPLIES WITH ALL THE DESIGN STANDARDS AND CRITERIA OF THE RADNOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

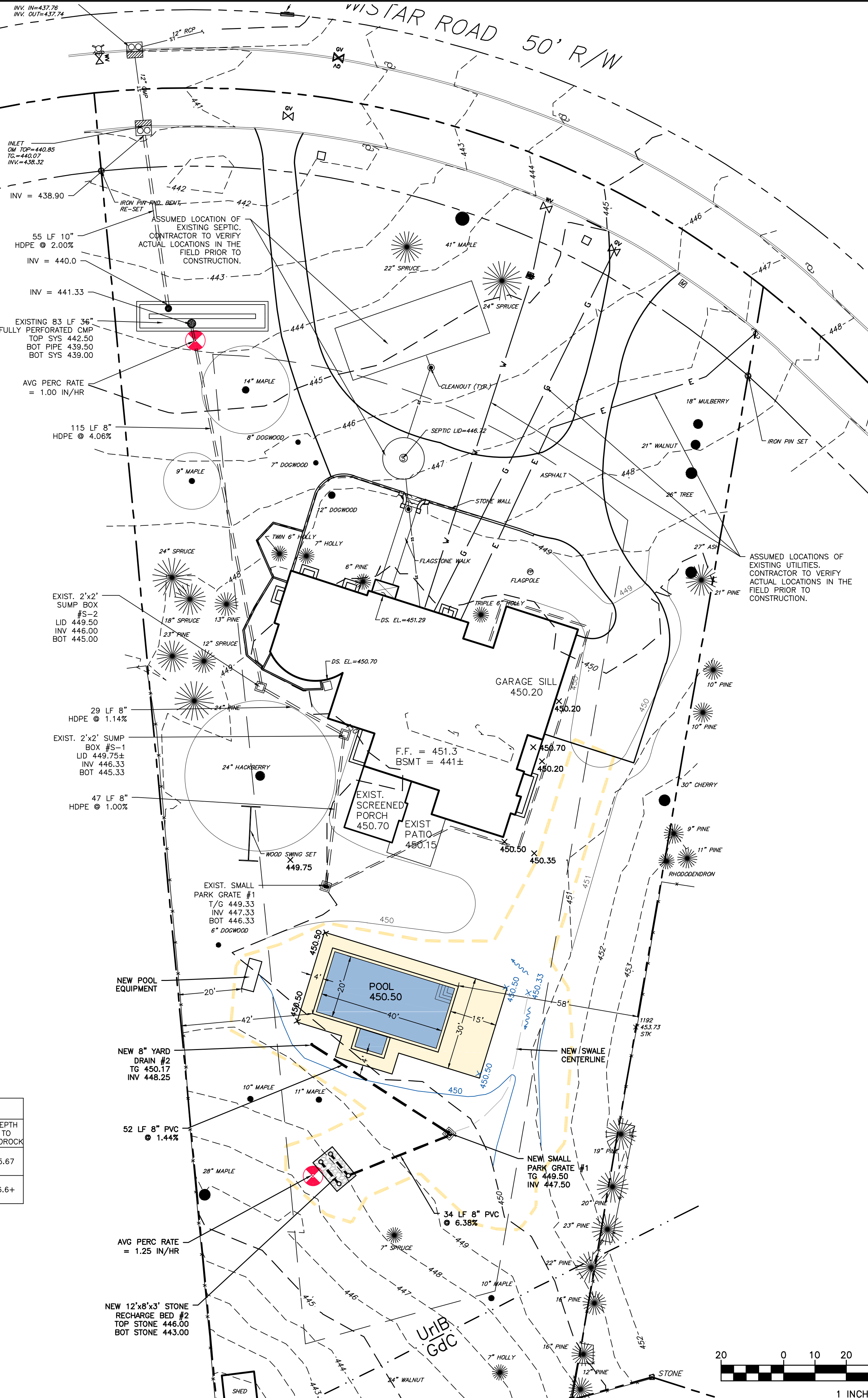
KEVIN R. MOMENEE, P.E. _____ DATE _____

NEW POOL 6/15/15 12/07/13 PER SHADE TREE/ARBORIST REV. DATE COMMENTS		GRADING PERMIT PLANS		DATE: JULY 17, 2013 SHEET NO. 1 OF 4 SCALE: 1" = 30' FILE NO.: 13-158
		MOMENEE & ASSOCIATES, INC. CIVIL ENGINEERS AND LAND SURVEYORS 924 COUNTY LINE ROAD, BRYN MAWR, PA 19010 PHONE: (610) 527-3030 FAX: (610) 527-9008		
ONE-CALL: 20131161902 DRAWN BY: BDM CHECKED BY: DRF	OWNER/APPLICANT MAUREEN BLOCK 27 WISTAR ROAD VILLANOVA, PA 19085			

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

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AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1776 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.



STORMWATER MANAGEMENT FACILITY MAINTENANCE PLAN

THE STORMWATER MANAGEMENT FACILITIES ON THIS LOT CONSISTS OF A SUBSURFACE DETENTION/RECHARGE BASIN AND A SUBSURFACE RECHARGE BASIN. THE DETENTION/RECHARGE BASIN IS COMPOSED OF FULLY PERFORATED CORRUGATED METAL PIPE WITHIN A STONE BED SURROUNDED BY FILTER FABRIC. AN INTERNAL CONTROL RISER ALLOWS CONTROLLED DISCHARGE OF FLOWS FROM THE SYSTEM. WATER RUNOFF IS DIRECTED TO THE INFILTRATION BED VIA ROOF DRAINS, A SMALL PARK GRATE, SUMP BOX, AND PIPING WHICH CAPTURE AND COLLECT RUNOFF FROM PORTIONS OF THE BUILDING AND SOME OTHER AREAS ON THE PROPERTY. THE INLETS ARE PROVIDED WITH A ONE FOOT SUMP BELOW THE INLET AND OUTLET PIPES SO THAT DEBRIS CAN BE COLLECTED PRIOR TO FLOWING INTO THE SUBSURFACE INFILTRATION BED.

THE STONE RECHARGE BED IS COMPRISED OF FULLY PERFORATED DISTRIBUTION PIPE WITHIN A STONE BED SURROUNDED BY FILTER FABRIC. WATER RUNOFF IS DIRECTED TO THE INFILTRATION BED VIA TWO INLETS AND CONVEYANCE PIPING. THE SMALL PARK GRATE IS PROVIDED WITH A ONE FOOT SUMP BELOW THE INLET AND OUTLET PIPES SO THAT DEBRIS CAN BE COLLECTED PRIOR TO FLOWING INTO THE SUBSURFACE INFILTRATION BED. RUNOFF IN EXCESS CAPACITY OF THE STONE BED WILL OVERTOP THROUGH THE VENTED CLEANOUTS AND DISCHARGE TO GRADE.

THE SYSTEMS ARE DESIGNED TO PROMOTE GROUNDWATER RECHARGE. A CONTROL STRUCTURE WITHIN THE SYSTEM DISCHARGES TO THE EXISTING INLET IN WISTAR ROAD. AN ACCESS MANHOLE WITH A LADDER IS PROVIDED AT THE END OF THE SUBSURFACE PIPE SYSTEM TO FACILITATE ACCESS AND MAINTENANCE OF THE SYSTEM.

THE RESPONSIBILITY FOR THE CONTINUED OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES ON THIS LOT IS THAT OF THE PROPERTY OWNER.

MAINTENANCE OF THE FACILITIES SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

1. THE OWNER, OCCUPANT, TENANT OR OTHER USER OF THE PROPERTY SHALL NOT IMPEDE THE FLOW OF WATER DRAINING TO THE STORMWATER MANAGEMENT BASIN.
2. ALL ROOF DOWNSPOUTS, INLETS, CURB OPENINGS AND OTHER WATER WAYS SHALL BE KEPT OPEN AND OPERATION TO PASS THE FLOW OF WATER TO THE BASIN AS INTENDED.
3. GRASS AND LANDSCAPING IN THE VICINITY OF ALL INLETS SHALL BE KEPT TRIM AND FREE FROM DEBRIS ACCUMULATION, AND DOWNSPOUTS AND INLETS SHALL BE KEPT FREE OF OBSTRUCTIONS THAT COULD BLOCK THE FREE FLOW OF WATER TO AND WITHIN THEM.
4. INLET SUMPS SHALL BE CLEARED OF ACCUMULATED DEBRIS BEFORE ANY DEBRIS CAN BE DISCHARGED INTO THE SYSTEMS. INLET STRUCTURES SHALL BE INSPECTED AT LEAST MONTHLY TO INSURE THAT THEY ARE CLEAN AND REMAIN OPERATIONAL.
5. SUBSURFACE PIPES SHALL BE INSPECTED ON AN ANNUAL BASIS TO INSURE THAT THEY ARE CLEAN AND OPERATIONAL. ANY ACCUMULATED DEBRIS AND SILT SHALL BE REMOVED IN A TIMELY MANNER. THE SUBSURFACE PIPES SHALL BE KEPT FREE OF OBSTRUCTIONS THAT COULD BLOCK THE FREE FLOW OF WATER WITHIN THEM.
6. PROMPT REMEDIAL MEASURES ARE TO BE TAKEN IN THE EVENT OF ANY BLOCKAGE OR MALFUNCTION OF THE SYSTEM.

THE OWNER, OCCUPANT, TENANT OR OTHER USER OF THE PROPERTY SHALL NOT TAKE ANY MEASURES TO DISRUPT OR IN ANY WAY IMPAIR THE EFFECTIVENESS OF THE BASIN OR ITS CONTROLS. THIS INCLUDES ALTERATION OF GRADES IN ANY MANNER THAT WOULD DIVERT RUNOFF AWAY FROM INLET COLLECTION POINTS.

CARE OF EXISTING TREES:

1. TREE PROTECTION FENCING SHALL BE INSTALLED TO PROTECT ALL EXISTING TREES FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION FENCING FOR THE DURATION OF PROJECT.
2. SELECTIVELY PRUNE EXISTING TREES AT THE EDGE OF ALL TREE PROTECTION ZONES, AND OTHER EXISTING TREES AFFECTED BY CONSTRUCTION, UNDER LANDSCAPE ARCHITECT'S DIRECTION. REMOVE SUCKER SHOOTS, DEAD, RUBBING AND DAMAGED BRANCHES.
3. ANY EXCAVATION NEAR ADJACENT ROOT SYSTEMS WILL REQUIRE ROOT PRUNING OF AFFECTED TREE(S).
4. FERTILIZE PRUNED EXISTING TREES WITH 3 TO 4 LBS. OF LIQUID FERTILIZER PER 1,000 SQUARE FEET OF DRIP AREA, OR, 5 GALLONS OF LIQUID FERTILIZER PER CALIPER INCH OF TRUNK DIAMETER.
5. FERTILIZE IN EARLY SPRING BEFORE GROWTH BEGINS.
6. FERTILIZE BEGINNING 2' FROM TRUNK AT INTERVALS 2' TO 3' ON CENTER IN A GRID-LIKE PATTERN TO A DEPTH OF 6-18" WITHIN THE DRIFLINE AND BEYOND WHERE POSSIBLE. INJECTION FERTILIZATION METHOD SHALL BE ACCEPTABLE SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL.

TREES TO BE REMOVED:

NONE

TREE REPLACEMENT FORMULA:

- 6 - 18 INCH DBH REMOVED = 1 REPLACEMENT TREE
- 19 - 29 INCH DBH REMOVED = 3 REPLACEMENT TREES, 2 BEING LARGE CANOPY TREES
- 30 INCH DBH & GREATER REMOVED = 6 REPLACEMENT TREES, 4 BEING LARGE CANOPY TREES

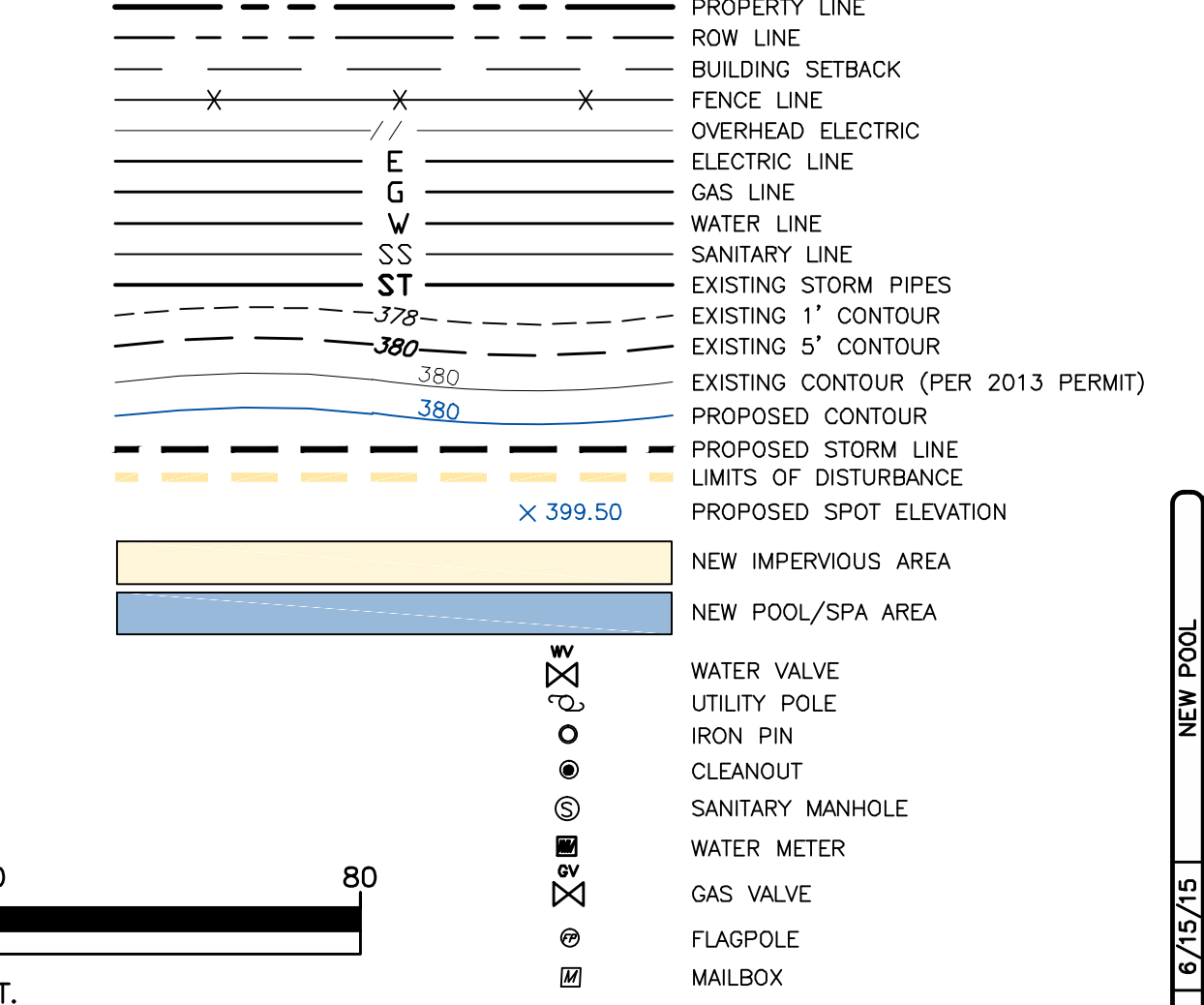
TOTAL TREES BEING REMOVED:

- 6 - 18 INCH DBH = 0
- 19 - 29 INCH DBH = 0
- 30 INCH DBH & GREATER = 0
- TOTAL = 0

REPLACEMENT TREES REQUIRED = 0

SHOULD ANY ADDITIONAL TREES BE REMOVED, ADDITIONAL REPLACEMENT TREES SHALL BE PROVIDED IN ACCORDANCE WITH THE RADNOR TOWNSHIP ORDINANCE No. 2012-05.

LINE/TYPE LEGEND



NOTES:

- 1) THE STONE RECHARGE BED #2 IS DESIGNED FOR THE NEW AND/OR REPLACEMENT IMPERVIOUS COVER ON SITE OF 1,109 SF PLUS AN ADDITIONAL 291 SF FOR POSSIBLE FUTURE DEVELOPMENT. IF THIS IMPERVIOUS COVER IS CONSTRUCTED IN THE FUTURE, IT MAY BE DIRECTED TO STONE RECHARGE BED #2.
- 2) THE MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES IS THE RESPONSIBILITY OF THE OWNER.
- 3) THE TOWNSHIP ENGINEER'S OFFICE SHALL BE NOTIFIED 48 HOURS PRIOR TO THE CONSTRUCTION OF THE SEEPAGE BED AND PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
- 4) ON-SITE TREES ARE TO BE SAVED AND PRESERVED WHEREVER POSSIBLE.
- 5) ALL WOODY VEGETATION TO BE RETAINED WITHIN TWENTY-FIVE FEET OF A BUILDING SITE OR DISTURBED AREA SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING PLACED AT THE DRIFLINES.
- 6) GRADE CHANGES AROUND THE DRIFLINES OF TREES TO BE RETAINED SHALL BE MINIMIZED. TREATMENT OF THE TREES PRIOR TO CONSTRUCTION TO PROTECT THE ROOT SYSTEM SHALL BE PERFORMED.
- 7) ALL DISTURBED ROOTS MUST BE CUT AS CLEANLY AS POSSIBLE. THE TRENCH MUST BE BACKFILLED AS QUICKLY AS POSSIBLE, AVOIDING COMPACTION. TREE LIMBS MUST BE CUT BACK IN PROPORTION TO THE ROOT AREA LOSS.
- 8) ON-SITE TREES TO BE SAVED SHALL BE PREPARED FOR CONSTRUCTION BY APPROPRIATE CROWN AND DEEP ROOTING FERTILIZATION AND PROTECTED BY APPROPRIATE FENCING. ALL TREES ARE TO BE DEEP ROOT FERTILIZED USING 16-32-16 SLOW RELEASE, WATER DISPERSIBLE @ 15 LBS. PER 100 GALLON OR EQUAL.

OPERATION AND MAINTENANCE NOTES:

1. THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE STORMWATER MANAGEMENT SYSTEM AND OTHER DRAINAGE FACILITIES SHALL BE THE OBLIGATION OF THE PROPERTY OWNER.

INFILTRATION BMP NOTES:

- 1) INFILTRATION BMP FILTER FABRIC AND STONE SHOULD BE KEPT CLEAR OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION SEEPAGE BEDS, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM FABRIC, STONE, BED ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
- 2) ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION BMP SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
- 3) THE BOTTOM OF ALL INFILTRATION BMP'S SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
- 4) INFLOW AND OUTFLOW POINTS INTO THE INDIVIDUAL ON-LOT SYSTEM SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES AND DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THE SYSTEM. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.
- 5) AFTER THE INFILTRATION BED IS COMPLETELY INSTALLED, ALL HEAVY CONSTRUCTION EQUIPMENT SHALL BE RESTRICTED FROM THE INFILTRATION BEDS TO ELIMINATE IMPACTS WHICH MAY COMPROMISE IT. IN THE EVENT ANY IMPACTS COMPROMISE THE FUNCTIONALITY OF THE INFILTRATION BEDS, IT MUST BE IMMEDIATELY REPAIRED OR REPLACED TO DESIGN SPECIFICATIONS.



ZONING DISTRICT R-1 (RESIDENCE DISTRICT)

LOT SIZE	1-ACRE MIN
LOT WIDTH	120' MIN.
BUILDING AREA	15% MAX
FRONT YARD	60' MIN
SIDE YARD	25' MIN, 60' AGG
REAR YARD	40' MIN
BUILDING HEIGHT	35' MAX OR 3 STORIES
IMPERVIOUS COVERAGE	22% MAX

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

EXISTING TRACT AREA:

GROSS TRACT AREA (TO TITLE LINES)	68,611 S.F. (1,575 AC.)
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EXISTING IMPERVIOUS COVERAGE (PER 2013 SURVEY):

RESIDENCE	2,379 SF
SHED	123 SF
DRIVEWAY	5,494 SF
WALKS	125 SF
WALLS & MISC	327 SF
TOTAL	8,448 SF (12.31%)

EXISTING IMPERVIOUS COVERAGE (PER 2013 GRADING PERMIT):

RESIDENCE	4,505 SF
COVERED PORCH	59 SF
SCREENED PORCH	334 SF
SHED	123 SF
DRIVEWAY	5,161 SF
PATIO	294 SF
WALKS	125 S.F.
WALLS & MISC	183 SF
TOTAL	10,784 SF (15.72%)

IMPERVIOUS COVERAGE TO BE REMOVED:

TOTAL	0 SF
-------	------

IMPERVIOUS COVERAGE TO BE ADDED:

POOL PATIO AND COPING	1,109 SF
TOTAL	1,109 SF

PROPOSED IMPERVIOUS COVERAGE:

RESIDENCE	4,505 SF
COVERED PORCH	59 SF
SCREENED PORCH	334 SF
SHED	123 SF
DRIVEWAY	5,161 SF
PATIO	294 SF
WALKS	125 S.F.
WALLS & MISC	183 SF
POOL PATIO AND COPING	1,109 SF
TOTAL	11,893 SF (17.3%)

NET INCREASE 1,109 SF
MAXIMUM ALLOWABLE 15,094 SF (22%)

SOILS INFORMATION

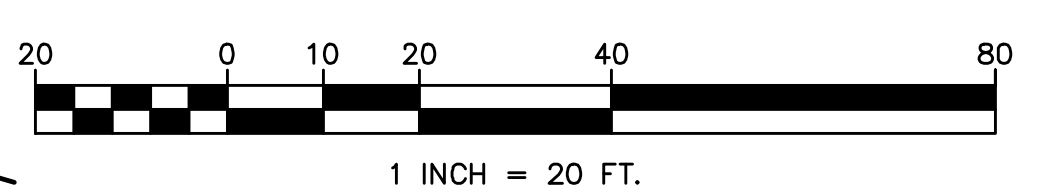
SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO SH WATER	DEPTH TO BEDROCK
GdC	GLADSTONE GRAVELLY LOAM	8 TO 15 PERCENT SLOPES	B	6.6+	5.67
U1B	URBAN LAND-GLADSTONE COMPLEX	0 TO 8 PERCENT SLOPES	NOT RATED	6.6+	6.6+

Serial Number: 20131161902

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

CONTRACTOR: MOMENEE & ASSOCIATES, INC. CONSULTING ENGINEERS, EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND ALL OTHER PROPRIETARY RIGHTS IN THESE PLANS. ALL DRAWINGS, SPECIFICATIONS AND NOTES HEREOF ARE THE SOLE PROPERTY OF MOMENEE & ASSOCIATES, INC. THESE PLANS ARE TO BE USED ONLY FOR THE PROJECT AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN PERMISSION AND WRITTEN PERMISSION OF MOMENEE & ASSOCIATES, INC. ANY REUSE WITHOUT WRITTEN PERMISSION, VERIFICATION, CONSENT OR ADAPTATION BY MOMENEE & ASSOCIATES, INC. FOR THE SPECIFIC PURPOSE INTENDED, WILL BE AT THE THIRD PARTY'S SOLE RISK AND WITHOUT LIABILITY OF MOMENEE & ASSOCIATES, INC. THE THIRD PARTY SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ASSOCIATED FEES FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING THEREOF OR RESULTING THEREFROM.



NEW POOL

6/15/15

REV. DATE

COMMENTS

REGISTERED PROFESSIONAL ENGINEER

KEVIN R. MOMENEE

ENGINEER PE020326E

GRADING PERMIT PLANS

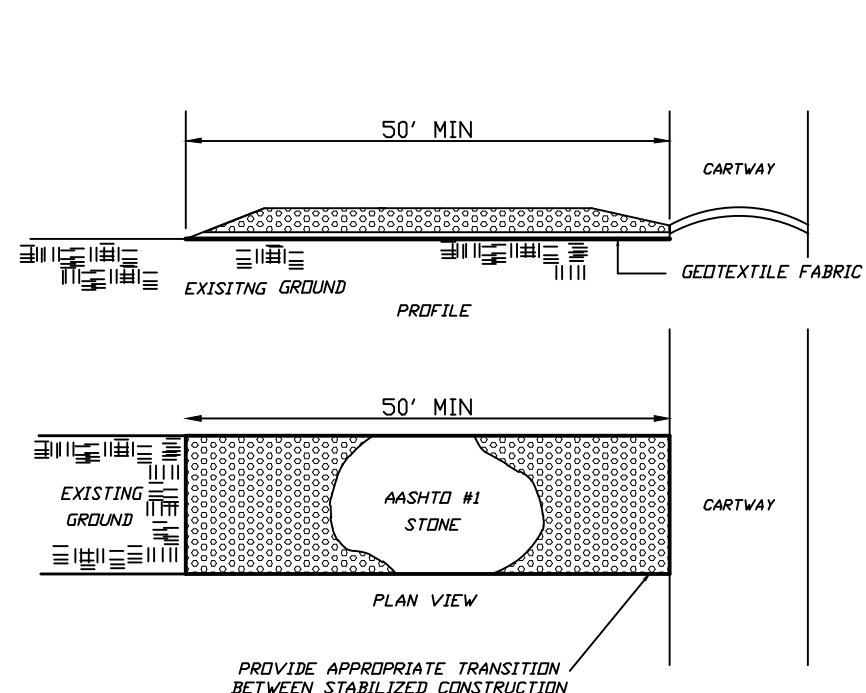
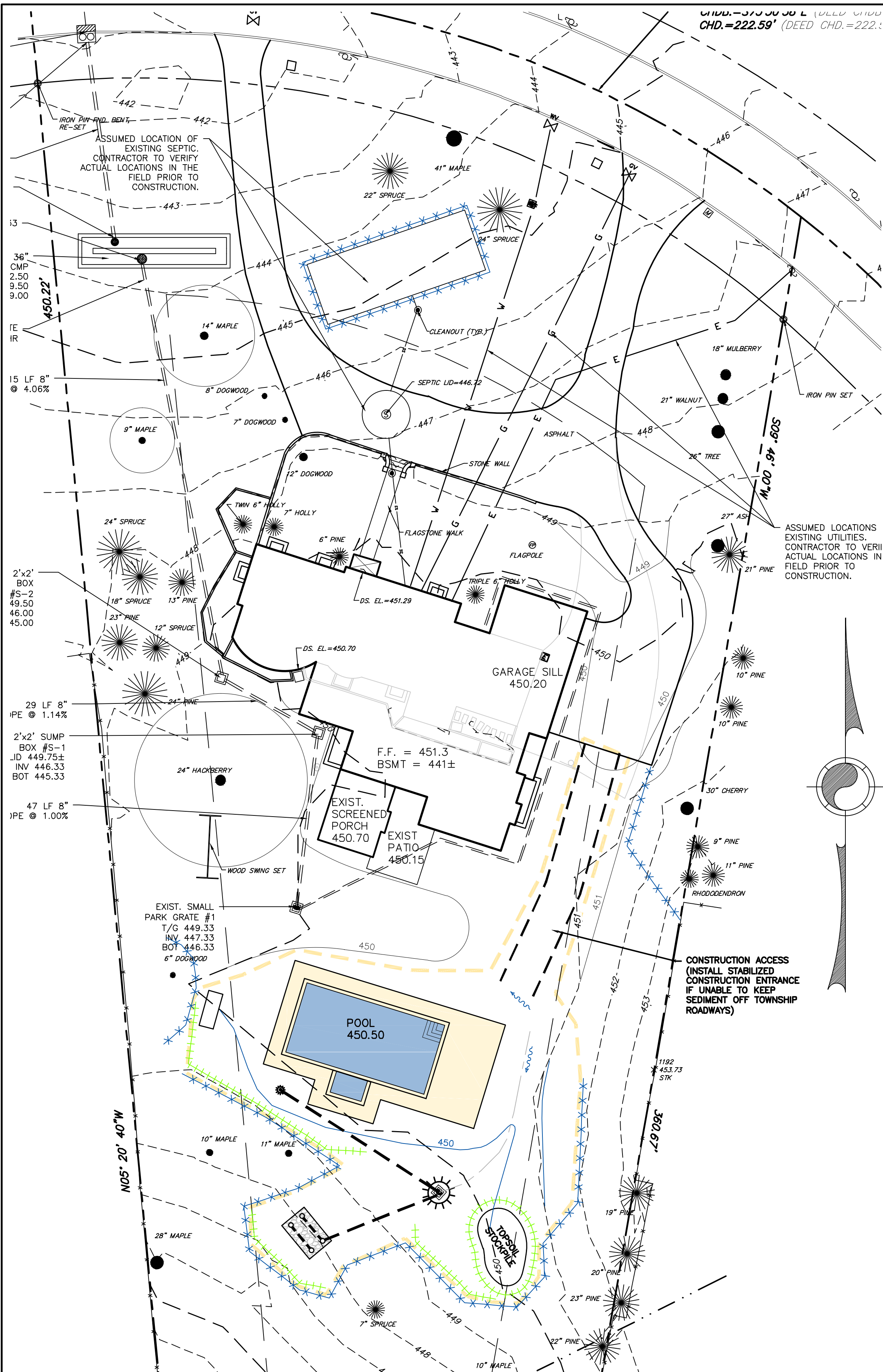
MOMENEE & ASSOCIATES, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
924 COUNTY LINE ROAD, BRYN MAWR, PA 19010 PHONE: (610) 527-3030 FAX: (610) 527-9008

GRADING & UTILITY PLAN
27 WISTAR ROAD
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

DATE: JULY 17, 2013
SHEET NO. 2
OF 4
SCALE: 1" = 20'
FILE NO.: 13-158

ONE-CALL: 20131161902
DRAWN BY: BDM
CHECKED BY: DRF

OWNER/APPLICANT
MAUREEN BLOCK
27 WISTAR ROAD
VILLANOVA, PA 19085



STABILIZED CONSTRUCTION ENTRANCE
NTS

- THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL PORTS OF ACCESS OR EGRESS.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SHALL BE REMOVED IMMEDIATELY ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

MAINTENANCE OF TEMPORARY SEDIMENTATION CONTROL STRUCTURES

STABILIZED CONSTRUCTION ENTRANCE: THE STABILIZED CONSTRUCTION ENTRANCES ARE TO BE CONSTRUCTED PER THE DETAIL AND CLEANED AFTER EACH STORM EVENT OR AS DIRECTED BY THE CONSERVATION DISTRICT OR TOWNSHIP ENGINEER.

INLET SILT TRAPS: INLET SILT TRAPS SHALL BE CONSTRUCTED PER THE DETAIL AND CLEANED AFTER EACH STORM EVENT OR AS DIRECTED BY THE CONSERVATION DISTRICT OR TOWNSHIP ENGINEER.

SILT FENCE: SILT FENCE SHALL BE INSTALLED PER THE DETAIL WITH ROCK FILTER OUTLETS PROVIDED EVERY 100 FEET AND AT EXISTING AND GRADED LOW POINTS. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHES 1/2 THE FENCE HEIGHT OR AS DIRECTED BY THE CONSERVATION DISTRICT OR TOWNSHIP ENGINEER. SILT FENCING WHICH HAS BEEN UNDERMINED OR TOPPED WILL BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY.

SEDIMENT DISPOSAL: SILT REMOVED FROM TEMPORARY SEDIMENT CONTROL STRUCTURES SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS LOCATED OUTSIDE OF FLOOD PLAINS, WETLANDS, STEEP SLOPES AND DRAINAGE SWALES.

DUST CONTROL: DUST AND OTHER PARTICULATES SHALL BE KEPT WITHIN TOLERABLE LIMITS BY USING WATER. APPLICATION SHALL BE AS NEEDED OR AS DIRECTED BY THE TOWNSHIP ENGINEER OR THE CONSERVATION DISTRICT.

PLACING TOPSOIL OR TOPSOIL MIXTURE

PREPARATION OF AREAS TO BE TOPSOILED

PLACE THE AREAS TO BE COVERED BY TOPSOIL USING ACCEPTABLE METHODS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE PLACING THE TOPSOIL. REMOVE STONES AND OTHER FOREIGN MATERIAL 2 INCHES OR LARGER IN DIMENSION. REMOVE AND SATISFACTORILY DISPOSE OF UNSUITABLE AND SURPLUS MATERIAL.

PLACING AND SPREADING TOPSOIL

PLACE TOPSOIL ON THE PREPARED AREAS AND, UNLESS OTHERWISE INDICATED, SPREAD AND COMPACT TO A 4-INCH UNIFORM DEPTH ± 1 1/2 INCHES. COMPACT WITH A ROLLER WEIGHING NOT OVER 120 POUNDS PER FOOT WIDTH OF ROLLER OR BY OTHER ACCEPTABLE METHODS, AS DIRECTED. REMOVE OVERDEPTH TOPSOIL, UNLESS OTHERWISE AGREED UPON IN WRITING. DO NOT PLACE TOPSOIL IN A WET OR FROZEN CONDITION.

SEEDING SPECIFICATIONS:

WHERE DENUDED AREAS ARE DESIRED TO BE LAWN:

- PERFORM ALL CULTURAL OPERATION AT RIGHT ANGLES TO THE SLOPE.
- APPLY LIME ACCORDING TO TEST OR AT THE RATE OF 25 LBS. OF GROUND LIMESTONE PER 1,000 SQ. FT.
- APPLY FERTILIZER ACCORDING TO SOIL TEST OR WORK IN DEPTH 20 LBS. OF 0-20-20 OR EQUIVALENT PER 1,000 SQ. FT. AND AT THE TIME OF SEEDING, WORK INTO THE SURFACE 10 LBS. OF 10-10-10 OR EQUIVALENT PER 1,000 SQ. FT. OR OTHER APPROVED MIXTURE.
- SMOOTH AND FIRM SEEDS PRIOR TO SEEDING.
- SEED USING A MIXTURE OF 60% PENNSYLVANIA KENTUCKY BLUEGRASS, 30% PENNLAWN RED FESCUE AND 10% PENNSYLVANIA PERENNIAL RYEGRASS AT THE RATE OF FIVE (5) POUNDS PER 1,000 SQ. FT. OF OTHER APPROVED MIXTURE.
- COVER GRASS AND LEGUME SEEDS WITH 1/4" OF SOIL WITH SOIL EQUIPMENT, MULCH, USING 2 BALES/1,000 SQ. FT.
- MOW AS REQUIRED.
- WHERE SLOPES EXCEED 25% JUTE NETTING OR OTHER APPROVED (EQUAL) SLOPE STABILIZATION MEASURES SHALL BE UTILIZED. IN ADDITION, THE SEEDING SPECIFICATIONS FOR STEEP SLOPES SHALL BE INCREASED TO INCLUDE 3 LBS/1,000 SQ. FT. OF ANNUAL RYEGRASS FOR RAPID VEGETAL ESTABLISHMENT.

CONSTRUCTION TIMING AND SEQUENCE

NOTE: THE TOWNSHIP ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO THE INSTALLATION OF THE SEEPAGE BED AND PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

- NOTIFY THE TOWNSHIP THAT CONSTRUCTION IS GOING TO COMMENCE. ANTICIPATED DATE: JULY 2015.
- THE EXISTING DRIVE IS TO BE UTILIZED FOR CONSTRUCTION ACCESS. PROVIDE A HOSE TO CLEAN TIRES TO PREVENT SEDIMENT FROM BEING TRACKED OFF SITE INTO PUBLIC ROADWAYS. IN THE EVENT THAT SEDIMENT CANNOT BE KEPT OFF OF TOWNSHIP ROADWAYS A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED. ALL CONSTRUCTION VEHICLES ENTERING/EXITING THE SITE MUST USE THIS ENTRANCE.
- INSTALL TREE PROTECTION AS INDICATED ON THE PLAN. PLACE CONSTRUCTION FENCING AROUND THE EXISTING SEPTIC SYSTEM.
- INSTALL SILT FENCE AS SHOWN ON THE PLAN AND ON THE DOWNHILL SLOPE OF ANY EXCAVATION OR ANTICIPATED DISTURBANCE.
- PRIOR TO EARTH DISTURBANCE, NOTIFY THE TOWNSHIP ENGINEER THAT CONSTRUCTION IS GOING TO BEGIN.
- ONCE THE EROSION AND SEDIMENT CONTROLS ARE IN PLACE AND FUNCTIONING, CLEAR AND GRUB THE AREAS AS NECESSARY WITHIN THE LIMITS OF DISTURBANCE OF EXISTING VEGETATION. STRIP TOPSOIL FROM AREAS OF CONSTRUCTION AND STOCKPILE SUITABLE MATERIAL FOR FUTURE USE. UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SURROUND TOPSOIL WITH SILT FENCE AND SEED TO ESTABLISH TEMPORARY VEGETATIVE COVER.
- ROUGH GRADE AREAS AS NECESSARY FOR POOL CONSTRUCTION.
- EXCAVATE FOR AND CONSTRUCT THE PROPOSED POOL AND BACKFILL WHEN COMPLETED.
- UPON POOL CONSTRUCTION COMPLETION, INSTALL POOL DECKING AND UTILITIES.
- CONCURRENT WITH THE POOL AND PATIO CONSTRUCTION, INSTALL THE 8" YARD DRAIN, SMALL PARK GRATE, AND CONVEYANCE PIPING. PLACE INLET PROTECTION ON THE INLET.
- INSPECT SEDIMENT BARRIERS FREQUENTLY, ESPECIALLY AFTER HEAVY STORMS. REPLACE AND REPAIR SEDIMENT BARRIERS AS NECESSARY.
- UPON FINAL STABILIZATION OF THE CONTRIBUTORY AREA AND UPON APPROVAL FROM THE TOWNSHIP ENGINEER, INSTALL PERMANENT STONE RECHARGE BED #2. CONNECT THE SMALL PARK GRATE TO THE STONE BED AS SHOWN ON THE PLANS.
- FINAL GRADE DENUDED AREAS, SPREAD STOCKPILED TOPSOIL AND SEED GRADED AREAS TO REESTABLISH PERMANENT VEGETATION. STABILIZE SLOPES IN EXCESS OF 4:1 WITH SOD OR EROSION CONTROL NETTING AND MULCH.
- INSTALL FINAL LANDSCAPE FEATURES, AND COMPLETE CONSTRUCTION.
- UPON PERMANENT STABILIZATION, REMOVE THE SEDIMENT BARRIERS. IMMEDIATELY SEED ANY DENUDED AREAS DUE TO THEIR REMOVAL.
- CONSTRUCTION COMPLETED. ANTICIPATED DATE: AUGUST 2015.

HYDROSEEDING SPECIFICATIONS

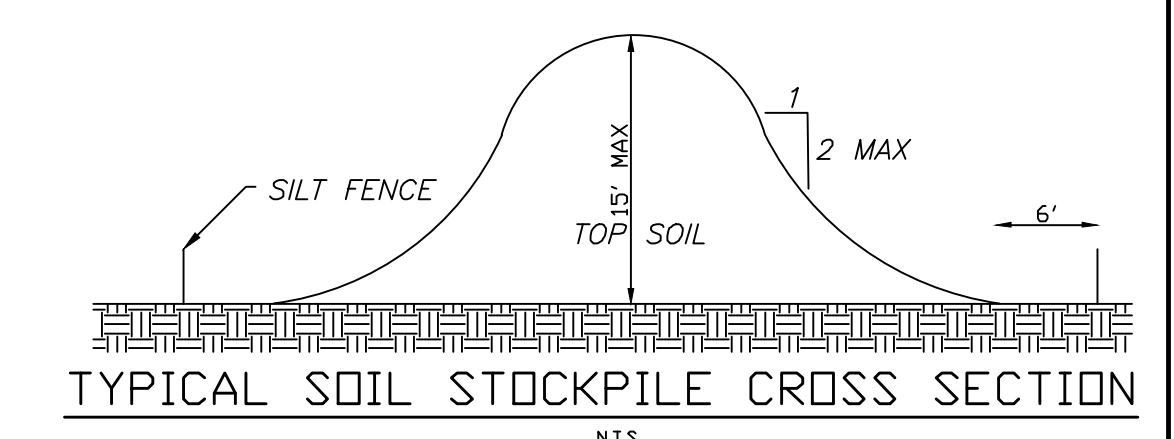
DEFINITION: STABILIZING SEDIMENT PRODUCING AND SEVERELY ERODED AREAS BY ESTABLISHING PERMANENT GRASS COVER.

PURPOSE: TO PROVIDE PERMANENT VEGETATIVE COVER TO CONTROL RAPID RUN-OFF AND EROSION.

PROCEDURE: SURFACE TO BE HYDRO-SEEDED SHALL BE CLEANED OF ALL DEBRIS AND OTHER MATTER HARMFUL TO UNIFORM GERMINATION. A WATER-SLURRY MIXTURE COMPOSED OF THE BELOW MENTIONED "MATERIALS" SHALL BE SPRAYED UNIFORMLY OVER THE AREAS TO BE HYDRO-SEEDED.

MATERIALS:

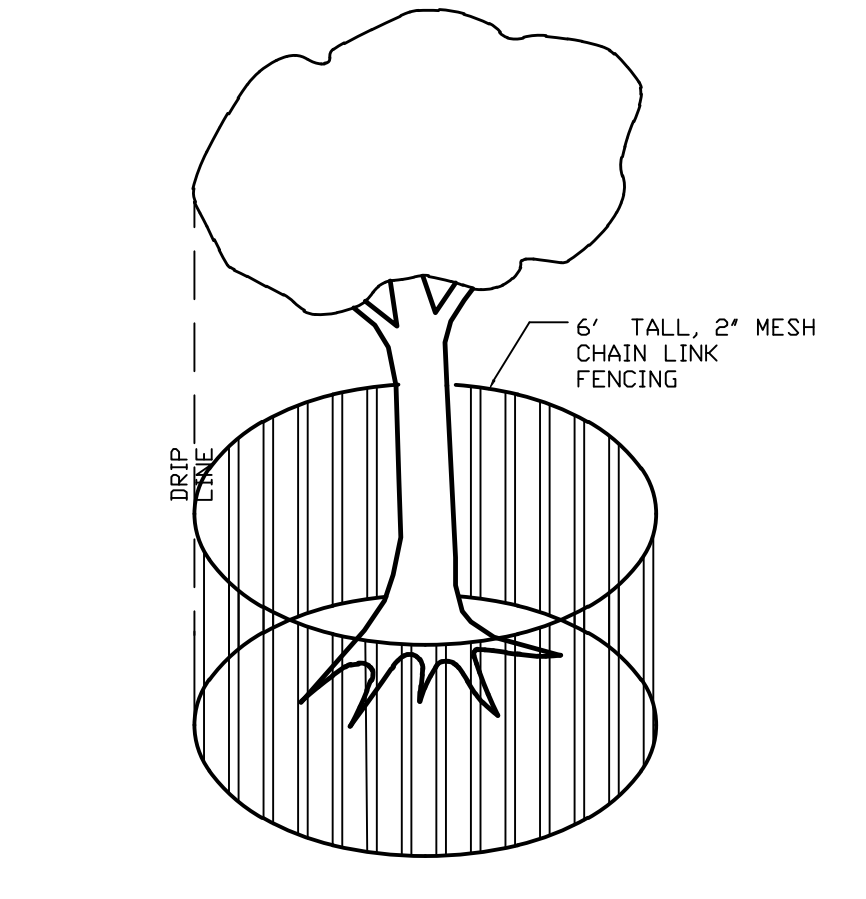
PERMANENT SEEDING	DESCRIPTION	APPLICATION RATE (PER ACRE)
1) SEED MIXTURE % BY WEIGHT	60% PENNSYLVANIA KENTUCKY BLUEGRASS 30% PENNLAWN RED FESCUE 10% PENNSYLVANIA PERENNIAL RYEGRASS	260 LBS.
2) COMMERCIAL FERTILIZER	10-20-20	1,000 LBS.
3) LIME	GROUND AGRICULTURAL LIMESTONE (MAY BE APPLIED SEPARATELY)	2 TONS
4) MULCH	HAY OR STRAW	3 TONS
5) SOIL STABILIZER	TERRA TACK OR EQUIVLANT	20 LBS.
TEMPORARY		
1) SEED	ANNUAL RYEGRASS (95% PURE)	40 LBS.
2) COMMERCIAL FERTILIZER	5-5-5	1,000 LBS.
3) LIME	GROUND AGRICULTURAL LIMESTONE (MAY BE APPLIED SEPARATELY)	1 TON
4) MULCH	HAY OR STRAW	3 TONS



NOTE: SILT FENCE MUST COMPLETELY ENCIRCLE STOCKPILES

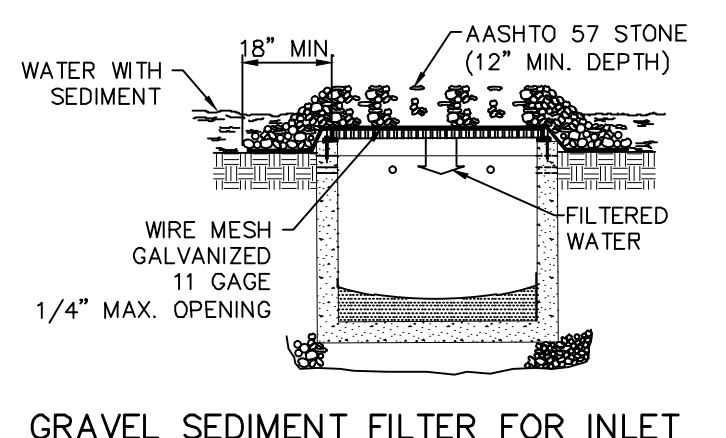
TOP SOIL PROTECTION:

TOPSOIL SHALL NOT BE REMOVED FROM THE DEVELOPMENT SITE OR USED AS FILL. TOPSOIL SHALL BE REMOVED FROM THE AREAS OF CONSTRUCTION AND STORED SEPARATELY. THE TOPSOIL SHALL BE STABILIZED TO MINIMIZE EROSION DURING STORAGE. UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHALL BE UNIFORMLY REDISTRIBUTED ON THE SITE.

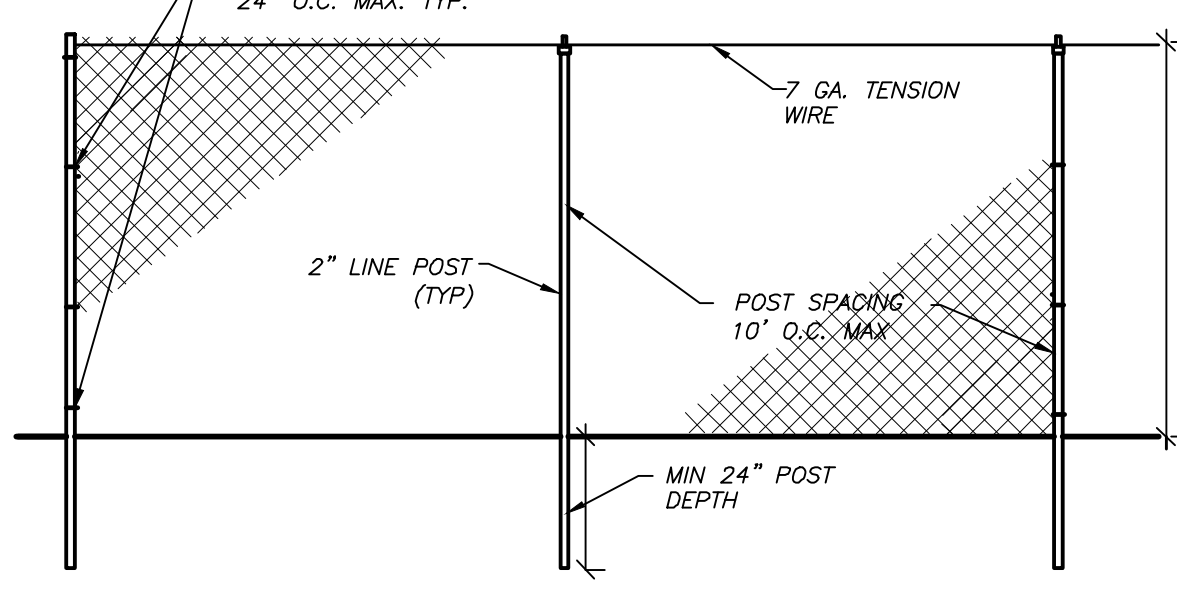


TREE PROTECTION FENCE PLACEMENT
NTS

ALL WOODY VEGETATION TO BE RETAINED WITHIN 25 FEET OF A BUILDING SITE, PARKING AREA, DRIVEWAY OR OTHER PROPOSED IMPROVEMENT SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING OR OTHER EFFECTIVE BARRIERS APPROVED BY THE TOWNSHIP ENGINEER AND/OR ARBORIST. FENCING OR BARRIERS SHALL BE PLACED AS MUCH AS IS PRACTICAL AT THE DRIPLINE. LOCATION MAY BE ALTERED TO AVOID INTERFERENCE WITH PROPOSED GRADING AND IMPROVEMENTS AS SHOWN ON THE PLANS. BARRIER LOCATION SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP ENGINEER AND/OR ARBORIST.



GRAVEL SEDIMENT FILTER FOR INLET

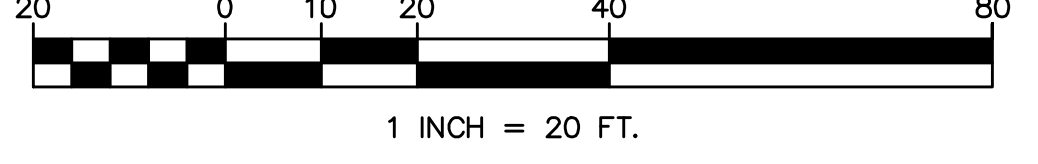


- PROTECTION BARRIERS SHALL BE 6 FEET HIGH, CONSTRUCTED OF 2" CHAIN LINK MESH FABRIC.
- FABRIC SHALL BE SECURED TO 2" POSTS WITH 6 GA. ALUMINUM WIRE TIES AT 24" O.C.
- POSTS SHALL BE A MINIMUM OF 2 FEET IN THE GROUND AND SPACED 10 FEET ON CENTER MAX.
- PLASTIC ZIP-TIES MAY NOT BE USED TO SECURE FABRIC TO POSTS.

TREE PROTECTION BARRIER FENCING
NTS

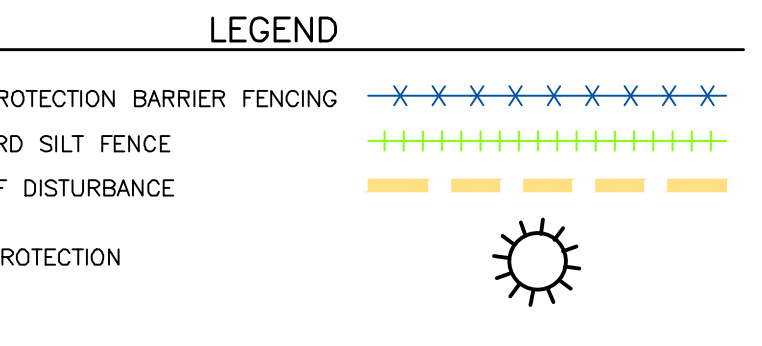
EROSION AND SEDIMENTATION CONTROL PLAN

DISTURBED AREA 9,000 SF± (0.21 AC)



SOILS INFORMATION

SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO WATER	DEPTH TO BEDROCK
G6C	GLADSTONE GRAVELLY LOAM	8 TO 15 PERCENT SLOPES	B	6.6+	5.67
U1B	URBAN LAND-GLADSTONE COMPLEX	0 TO 8 PERCENT SLOPES	NOT RATED	6.6+	6.6+



ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.

AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.

Serial Number: 20131161902

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

CONTRACTOR: MOMENE & ASSOCIATES, INC. CONSULTING ENGINEERS, EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND ALL OTHER PROPRIETARY RIGHTS IN THESE PLANS. ALL DRAWINGS, SPECIFICATIONS AND NOTES THEREOF ARE AND SHALL REMAIN THE PROPERTY OF MOMENE & ASSOCIATES, INC. THESE PLANS ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND ASSOCIATES, INC. FOR THE SPECIFIC PURPOSE INTENDED. MOMENE & ASSOCIATES, INC. SHALL BE AT THE THIRD PARTY'S SOLE RISK AND WITHOUT LIABILITY FOR LEGAL EXPOSURE TO MOMENE & ASSOCIATES, INC. THE THIRD PARTY SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ASSOCIATES, INC. FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING THEREFROM, INCLUDING REASONABLE ATTORNEY'S FEES.

GRADING PERMIT PLANS

MOMENE & ASSOCIATES, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
924 COUNTY LINE ROAD, BRYN MAWR, PA 19010 PHONE: (610) 527-3030 FAX: (610) 527-9008

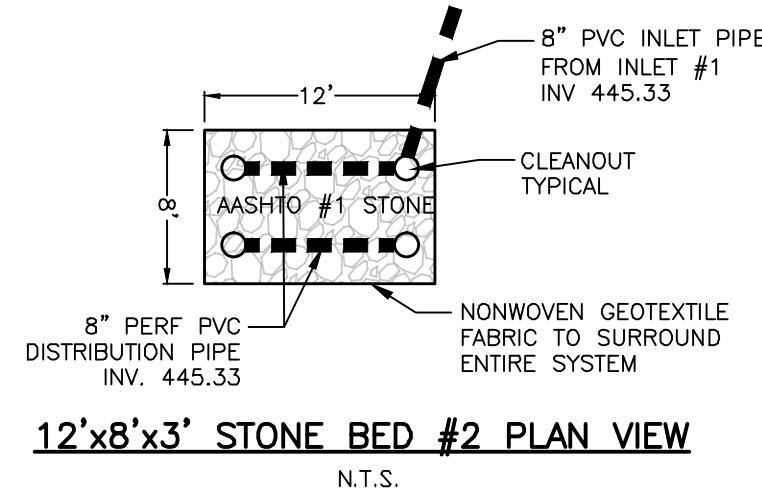
EROSION & SEDIMENTATION CONTROL PLAN
27 WISTAR ROAD
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

DATE: JULY 17, 2013
SHEET NO. 3
OF 4
SCALE: 1" = 20'
FILE NO.: 13-158

OWNER/APPLICANT: MAUREN BLOK
27 WISTAR ROAD
VILLANOVA, PA 19085

ONE-CALL: 20131161902
DRAWN BY: BDM
CHECKED BY: DRF

REGISTERED PROFESSIONAL ENGINEER
KEVIN R. MOMENE
PE0220326

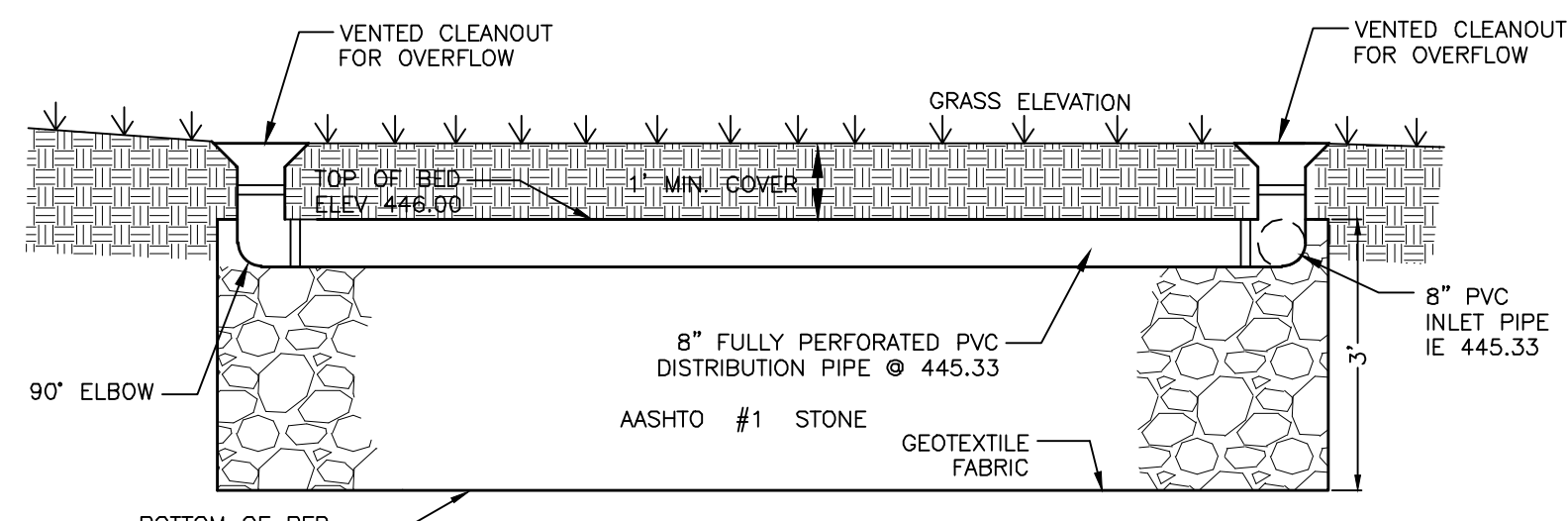


PIPE PERFORATIONS
REQUIRED 3.31 SQ. IN./SQ. FT.

FOR 8" dia. DISTRIBUTION PIPE
 $C8 = 2 \times P \times r = 2(P) \times r = 25.13 \text{ IN.} = 2.09 \text{ FT}$
 FOR 1 LF OF PIPE $A8 = 2.09 \text{ SQ. FT}$
 AREA OF HOLES = $3.31 \times 2.09 = 6.93 \text{ SQ. IN}$

FOR 3/4" dia. HOLES
 $A3/4 = 0.442 \text{ SQ. IN}$
 HOLES NEEDED = $6.93 / 0.442 = 16 \text{ HOLES}$

USE 4-3/4" dia. HOLES SPACED EQUALLY AROUND THE CIRCUMFERENCE @ 3" o.c. PER LENGTH OF PIPE STARTING @ 1.5" FROM EITHER END OF PIPE.



STONE RECHARGE BED SECTION
N.T.S.

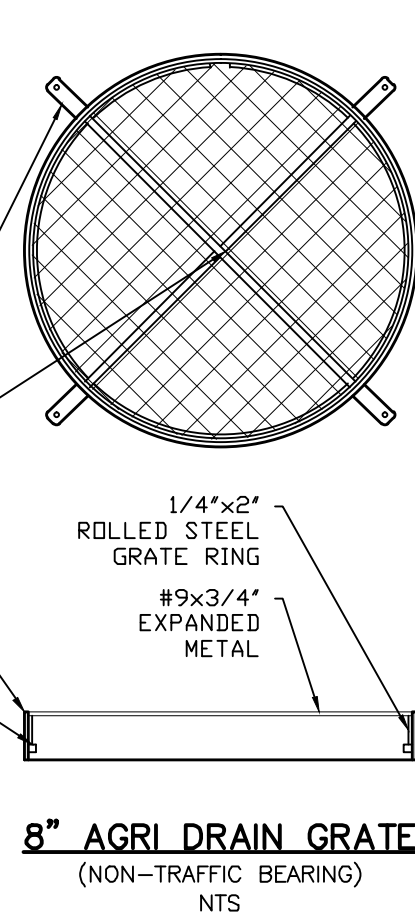
CONSTRUCTION SPECIFICATIONS STORMWATER DETENTION SYSTEMS

- ALTER AND REFINE THE GRADES AS NECESSARY TO BRING SUBGRADE TO REQUIRED GRADES AND SECTIONS AS SHOWN IN THE DRAWINGS.
- THE TYPE OF EQUIPMENT USED IN SUBGRADE PREPARATION CONSTRUCTION SHALL NOT CAUSE UNDUO SUBGRADE COMPACTION. TRAFFIC OVER SUBGRADE SHALL BE KEPT AT A MINIMUM.
- INSTALL POLYPROPYLENE GEOTEXTILE FABRIC (I.E., DUPONT TYPAR #3401, AMOCO PROPEX #4545, OR APPROVED EQUAL) ON BOTTOM OF BED AREAS AND TACK UP SIDES OF EXCAVATION. WHERE EDGES OF ROLLS OVERLAP, THEY SHALL DO SO BY AT LEAST TWO FEET. ADEQUATE FABRIC SHALL BE LEFT ON THE ROLLS (NOT CUT FROM SIDE INSTALLATION) TO FACILITATE OVERTOPPING THE STONE AT COMPLETION OF BED AREA.
- ALL STONE USED SHALL BE CLEAN, WASHED, CRUSHED STONE AGGREGATE MEETING PENNDOT/AASHTO #1 SPECIFICATIONS.
- STONE BASE COURSE SHALL BE LAID OVER A DRY SUBGRADE, TO A DEPTH SHOWN IN DRAWINGS, IN LIFTS TO LAY NATURALLY COMPACTED. DO NOT ROLL OR COMPACT THE STONE BASE COURSE. KEEP THE BASE COURSE CLEAN FROM DEBRIS, CLAY AND ERODING SOIL.
- COVER STONE BED WITH REMAINING FABRIC.
- STONE BED TO BE TOTALLY ENCLOSED IN THE GEOTEXTILE FABRIC.
- THE BOTTOM OF THE BED AND/OR TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.

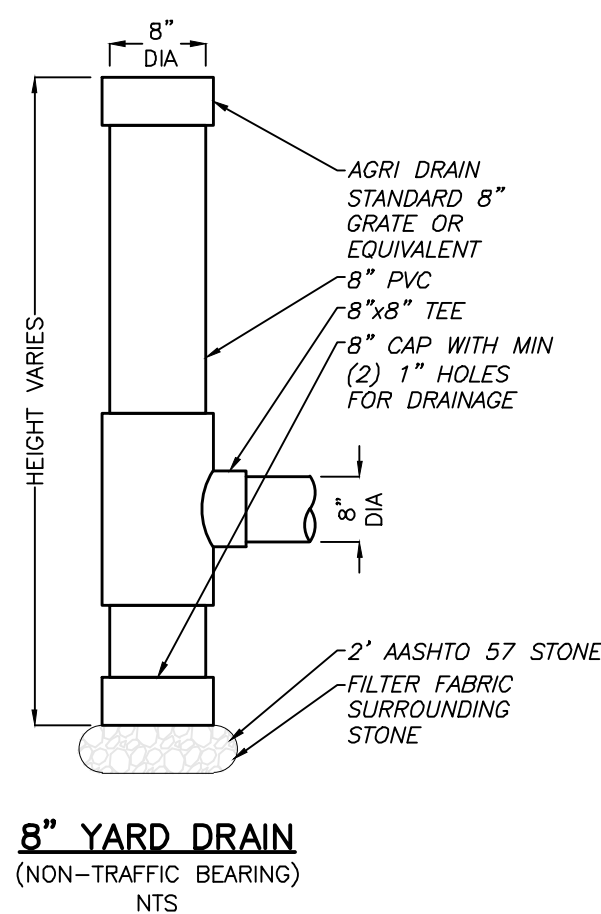
OPERATION AND MAINTENANCE NOTES:

- THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE STORMWATER MANAGEMENT SYSTEM AND OTHER DRAINAGE FACILITIES SHALL BE THE OBLIGATION OF THE PROPERTY OWNER.
- THE PROPERTY OWNER SHALL NOT ALTER OR REMOVE THE STORMWATER FACILITIES ON THE SITE.
- GENERAL OBJECTIVES OF MAINTENANCE ARE TO PREVENT CLOGGING OF THE INLETS, OUTLETS, PREVENT STANDING WATER, AND PREVENT THE GROWTH OF WEEDS AND NOXIOUS PLANTS.
- REGULAR INSPECTIONS SHOULD BE MADE OF INFILTRATION FACILITIES ESPECIALLY DURING WET WEATHER TO ENSURE THAT THE FACILITY IS MAINTAINING DESIRABLE RETENTION TIMES.
- ANNUALLY ASSESS THE VARIOUS SPECIES OF THE PLANT COVER. IT MAY BE NECESSARY TO SUPPLEMENT AND/OR REMOVE VARIOUS SPECIES DUE TO THEIR GROWING PATTERNS.
- AFTER ANY STORM RAINFALL EVENT OF A 2-YR OR GREATER MAGNITUDE, THE INFILTRATION BED AND ASSOCIATED OUTLET WORKS SHOULD BE INSPECTED. ANY DAMAGE OR BLOCKAGE TO THE OUTLET STRUCTURES SHOULD BE REPAIRED OR REMOVED IMMEDIATELY. ANY ERODED AREAS SHOULD BE TOPSOILED AND PERMANENTLY SEEDED AND MULCHED.

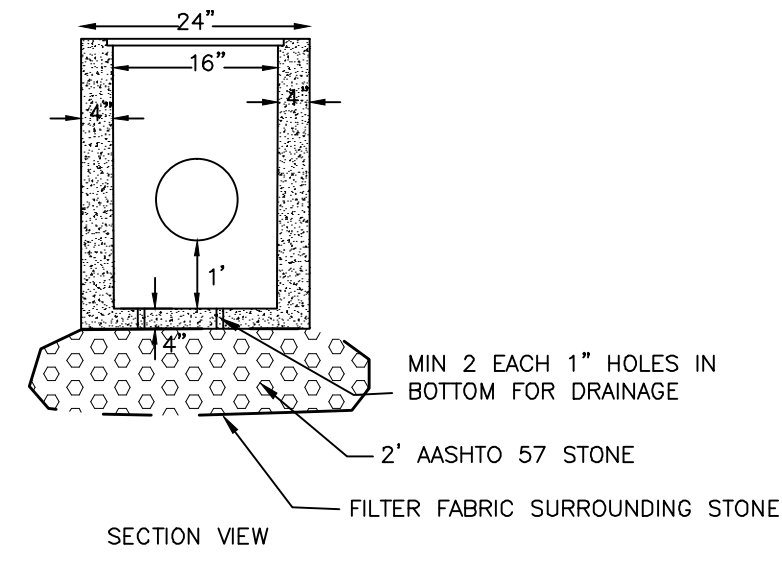
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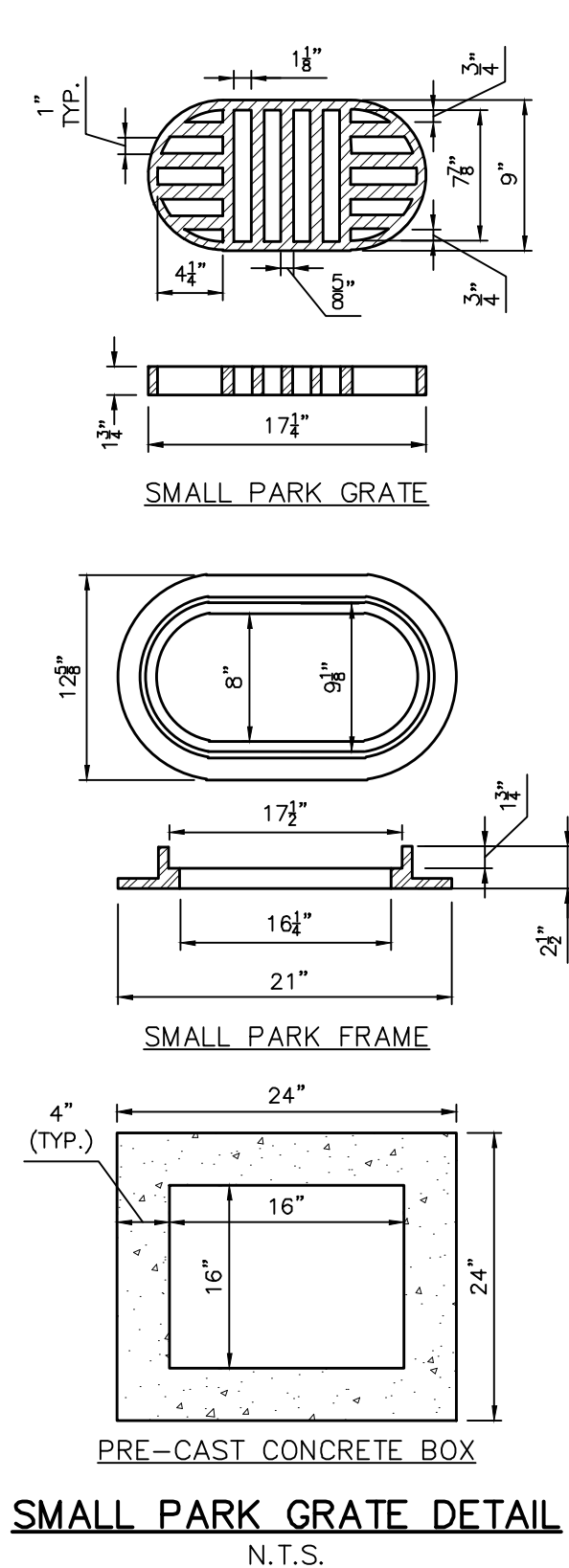
8" AGRI DRAIN GRATE
(NON-TRAFFIC BEARING)
N.T.S.



8" YARD DRAIN INLET #2
(NON-TRAFFIC BEARING)
N.T.S.



SMALL PARK GRATE BOX
(NON-TRAFFIC BEARING)
N.T.S.



SMALL PARK GRATE DETAIL
N.T.S.

Hi-Velocity Curlex Blankets
American Excelsior Company

Designed to control erosion in areas of high-velocity water runoff, the Excelsior Hi-Velocity Curlex Blanket is a machine-produced mat of curled wood excelsior of 80S six inch or longer fiber length, with consistent thickness and fiber evenly distributed over its entire area. Each side is covered with black, extra heavy-duty extruded plastic mesh netting designed to last for years and reinforce the root system after the excelsior mat has decomposed. They are smolder-resistant-no chemical additives.

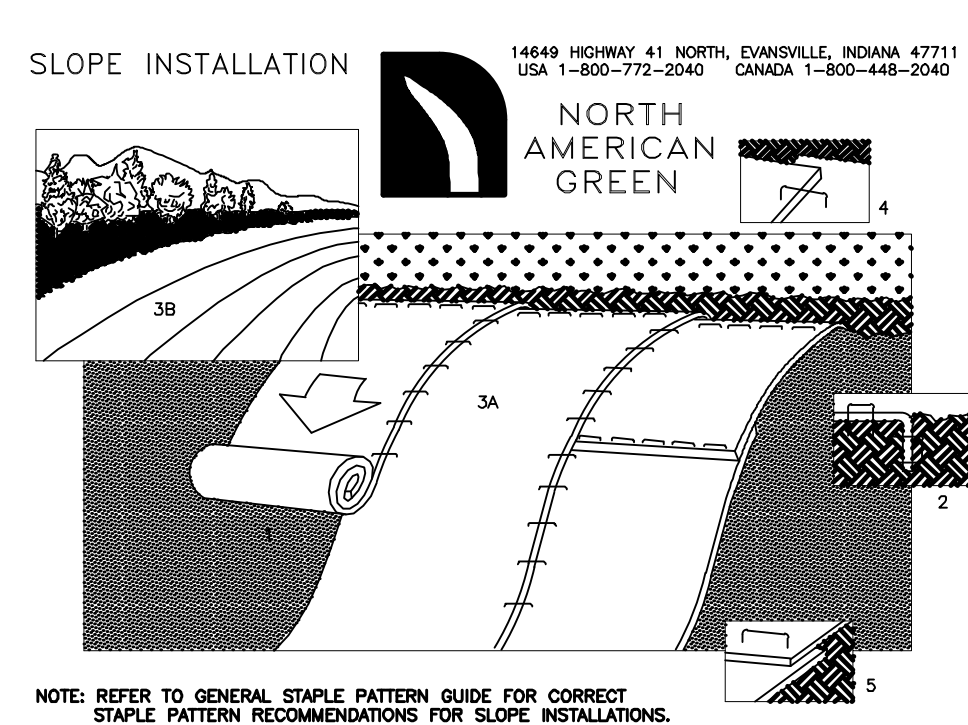
INSTALLATION INSTRUCTIONS
This blanket is designed to withstand high-velocity water movements in ditches and on slopes. In ditches, unroll blanket in direction of water flow. When using two blankets side by side in a ditch, do not put the seams in the center of the ditch. Offset 6" to 1 foot. On slopes, start blanket 3 feet over crest or edge of ditch, whichever is easier.

STAPLING INSTRUCTIONS FOR AMCO H-VELOCITY CURLEX BLANKETS
Use wire staples, .091" in diameter or greater, 1" spaced with legs 1/2" long or longer and 1" to 2" crown. Size and gauge of staples used will vary with soil types. Use four staples across at the start of each roll and continue to staple along the length of the roll at 2 ft. intervals. When blankets are placed along-side of each other, staple so as to catch the edge of each roll. In addition to stapling the edges of the blanket at the appropriate intervals (see drawing), place staples in the center of the blanket halfway between the outer staples.

Typical Stapling Pattern for High-Velocity Ditches and Slopes
Use 4 staples across at the start of each roll and continue to staple through the length of the roll at 2 ft. intervals.

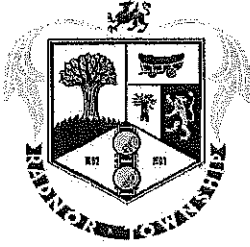
SOIL TYPES	VELOCITY/FEET PER SECOND
Clay/clay loam	11 FPS
Silty clay	9 FPS
Clay/silty clay	9.8 FPS
Fine sandy loam	8.6 FPS
Silty loam	8.6 FPS

These figures are based on ditch being at least 24" wide and at least 12" deep. In other situations, the determining factor would be the grade of the water above and shearing effect of water velocity.



- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIMES, FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 - WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

	GRADING PERMIT PLANS	
	MOMENE & ASSOCIATES, INC. CIVIL ENGINEERS AND LAND SURVEYORS 924 COUNTY LINE ROAD, BRYN MAWR, PA 19010 PHONE: (610) 527-3030 FAX: (610) 527-9008	
CONSTRUCTION DETAILS PLAN 27 WISTAR ROAD RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA		DATE: JULY 17, 2013 SHEET NO. 4 OF 4 SCALE: AS NOTED FILE NO.: 13-158
ONE-CALL: 20131161902 DRAWN BY: BDM CHECKED BY: DRF	OWNER/APPLICANT MAUREN BLOCK 27 WISTAR ROAD VILLANOVA, PA 19085	



RADNOR TOWNSHIP SHADE TREE COMMISSION
Hazardous Tree Report

Resident Cindy Spurdle

Address 106 Valley Forge Terrace, Wayne PA 19087

Tree (Type, species, size, diameter at breast height) 36" diameter Kentucky Coffee

Certified arborist's narrative report (attach separate sheet if required) _____

Tree is leaning heavily over house. Tree is rubbing into roof (see pic #1).

Large cut has been made into trunk. Tree is a hazard.

Certified arborist's name, address and # James B. Ward PD-0053

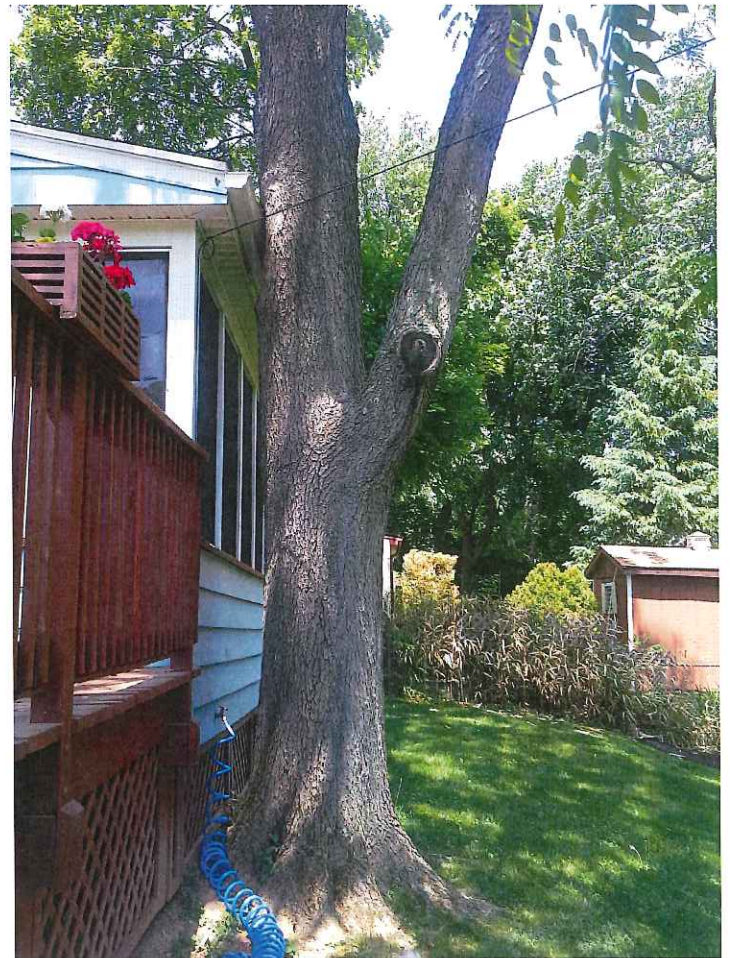
Pictures attached X

Plot plan drawing attached _____

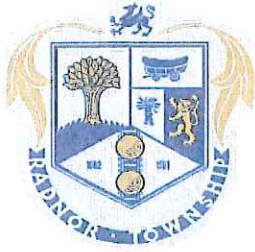
Township arborist's report (attach separate sheet if required) _____

Shade Tree Commission removal recommended yes / no

The General Powers and Duties of the Shade Tree Commission section of the Ordinance (126.5 B) stipulates: In case of immediate necessity for the protection of life or property. Any shade or street tree described in this ordinance may be removed without first obtaining a permit, after inspection by a member(s) of the Shade Tree Commission or its designee.







RADNOR TOWNSHIP SHADE TREE COMMISSION
Hazardous Tree Report

Resident ITALO + PAULLIS MANZI

Address 830 SPROUL RD. BAYN MAWR PA 19010-2025

Tree (Type, species, size, diameter at breast height) RED OAKS - 36"

Certified arborist's narrative report (attach separate sheet if required) _____

Red Oak is completely dead and needs to be removed.

★ Certified arborist's name, address and # Shawn Casey
1704 Monerrey Drive. Plymouth Meeting PA 19462
PD-1756A 610-275-2513

Pictures attached 3 Plot plan drawing attached _____

Township arborist's report (attach separate sheet if required) _____

Shade Tree Commission removal recommended yes / no

The General Powers and Duties of the Shade Tree Commission section of the Ordinance (126.5 B) stipulates: In case of immediate necessity for the protection of life or property. Any shade or street tree described in this ordinance may be removed without first obtaining a permit, after inspection by a member(s) of the Shade Tree Commission or its designee.



Arader Tree Service, Inc.

"Working with people who care"

10 Balligomingo Road, Suite A2, West Conshohocken, PA 19428, Phone (610) 277-8733, Fax (610) 279-6331, Email: aradertree@aradertree.com

*We are pleased to offer Professional Tree and Landscape Services for Residential and Commercial Properties:
Large Tree Transplanting * Removal * Pruning * Stump Removal * Landscape Design & Installation * Free Consultations*

June 9, 2015

Radnor Township Shade Tree Commission
Engineering Dept.
301 Iven Ave.
Wayne, Pa 19087

Dear Engineering Department,

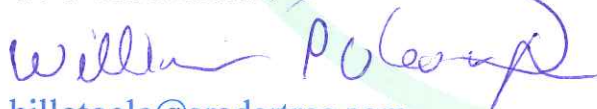
On Monday June 8, 2015 Arader Tree Service, Inc. removed a large dead Beech at 336 Conestoga Road, Wayne, PA.

The Beech has been in decline for years and this spring finally died. The tree which was located within 10 feet of Conestoga Road lost a large section which prompted the decision to remove it as quickly as possible.

Please call or email me if you have any questions or concerns.

Thank you,

William P. O'Toole Jr.
Certified Arborist



billotoole@aradertree.com

Cell: 484-880-0854

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June 16, 2015

Susan Jones
Administrative Assistant
Radnor Township Engineering Department
301 Iven Avenue
Wayne, Pa 19087

Dear Susan,

On Monday June 8, 2015 Arader Tree Service, Inc. removed a large dead Beech on a property owned by Mr. and Mrs. Oswald at 336 Conestoga Road, Wayne Pa.

The Beech has been in decline for years and finally died this spring. The tree which is located within 10 feet of Conestoga Road lost a large section which was still wedged in the canopy and could have fallen on the roadway. The tree at this point was an immediate hazard and I thought it needed to be removed as quickly as possible.

In the past few years, I have expressed concern to the owners about the condition and safety of the Beech tree. In March 2014 we were called out to remove large fallen limbs and one large broken hanging limb in the Beech. In September 2014 we pruned the Beech after it lost a large lead and we lightened the canopy over the road. Each time I met with the Oswald's I mentioned to them that the tree was declining and unsafe due to its location.

The Oswald's are tree lovers and would only remove a tree if it were dead. As I write this letter today, we are planting eight new trees for the Oswald's with more to come in the fall. I have attached a list of the new trees we are planting.

In the future, I will take pictures of any tree I think is an emergency removal and email them to your office for approval.

Sincerely,

William P. O'Toole Jr.
Certified Arborist

Arader Tree Service, Inc.

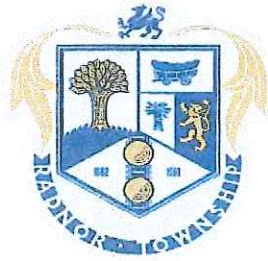
"Working with people who care"

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Trees planted at Oswald residence

- (1) 3-3.5" in diameter Willow Oak
- (3) 8-10' Chamaecyparis Formosana
- (1) 4.5' Red Spider Japanese Maple
- (1) 2.5-3" in diameter Weeping Katsura
- (1) 3-3.5" in diameter Sugar Maple
- (1) 2.5-3" in diameter Yellowwood



RADNOR TOWNSHIP SHADE TREE COMMISSION
Hazardous Tree Report

Resident Bill & Linda Oswald

Address 336 Conestoga Road, Wayne, PA 19087

Tree (Type, species, size, diameter at breast height) Beech 50" diameter

Certified arborist's narrative report (attach separate sheet if required) _____

See attached

Certified arborist's name, address and # _____

William O'Toole Jr.
PD-0062A

Pictures attached _____ Plot plan drawing attached _____

Township arborist's report (attach separate sheet if required) _____

Shade Tree Commission removal recommended yes / no

The General Powers and Duties of the Shade Tree Commission section of the Ordinance (126.5 B) stipulates: In case of immediate necessity for the protection of life or property. Any shade or street tree described in this ordinance may be removed without first obtaining a permit, after inspection by a member(s) of the Shade Tree Commission or its designee.





