

Zoning Hearing Board Application Submittal

Applicants are strongly encouraged to review the “Requirements and Information for Appeals to the Zoning Hearing Board” that are attached to the application. Ten (10) copies of this application and required attachments along with an **electronic copy in pdf format (CD or thumb drive)** must be filed with Community Development Department not less than thirty (30) days prior to the hearing.

Incomplete applications will not be accepted for processing.

ZONING HEARING BOARD APPLICATION

TOWNSHIP OF RADNOR

301 IVEN AVENUE

WAYNE, PA 19087

610-688-5600

FAX: 610-971-0450

www.radnor.com

www.radnor.com

TOWNSHIP USE ONLY
APPEAL # _____
FEE: _____
DATE RECEIVED: _____

GENERAL INFORMATION: Applicants are strongly encouraged to review the "Requirements and Information for Appeals to the Zoning Hearing Board" that are attached to the application. **Ten (10) copies of this application and required attachments along with an electronic submittal in pdf format (CD or thumb drive) must be filed with the Community Development Department not less than thirty (30) calendar days prior to the hearing. Incomplete applications will not be accepted for processing.**

REQUIRED FEE DUE AT FILING: Please refer to the Consolidated Fee Schedule, as amended on our website at www.radnor.com for a copy of our current fees.

TYPE OR PRINT

Property Address: 204 & 228 Strafford Avenue; 18 Forrest Lane Wayne, PA 19087

Name and address of Applicant: Trustees of the Dorrance Hamilton 3/15/1996 Revocable Agreement of Trust
c/o Mr. D. Charles Houder - 40 Morris Avenue, Suite 150, Bryn Mawr, PA 19010

Telephone Number: _____ Email: dch@haverford properties.com

Property Owner (if different than above): Same as Above

Owner address: Same as Above

Telephone number: _____ Email: Same as Above

Attorney's name: George W. Broseman, Esquire

Address: 910 Harvest Drive, P.O. Box 3037, Blue Bell, PA 19422

Telephone number: (610) 941-2459 Email: gbroseman@kaplaw.com

Relief requested and/or basis for appearing before the Zoning Hearing Board including *specific citation to any and all sections of the Zoning Code relevant to the appeal. (attach additional pages if necessary)*

Applicant requests Conditional Use approval under Code Section 280-29.B.(1) for Density Modification Development in the R-4 Residence District to redevelop the subject property with thirty-eight townhomes, common open space, stormwater management facilities and related improvements, all as depicted on the enclosed plans.

Description of previous decisions by the Zoning Hearing Board pertinent to the property, or attach copies of decisions: *(attach additional pages if necessary)*

Decision of the Radnor Township Board of Commissioners dated 4/16/21 to deny Applicant's previous Conditional Use Application filed 9/24/2020.

Brief narrative of improvements: (attach additional pages if necessary)
Please see the Conditional Use Application Narrative attached hereto.

ATTACHMENTS: Ten (10) copies of each and one (1) electronic copy in pdf format (CD or thumb drive) of the following must be provided:

1. **Engineered plan or survey of the property drawn to scale, prepared by a registered architect, engineer or surveyor licensed in Pennsylvania, containing the following information:**
 - a) **lot lines and lot dimensions described in metes and bounds (in feet);**
 - b) **total lot area;**
 - c) **location of easements and rights of way, including ultimate rights of way;**
 - d) **location of all setback lines for existing and proposed structures;**
 - e) **location of steep slopes, floodplains, riparian buffers, wetlands, and other pertinent features;**
 - f) **location of existing and proposed improvements;**
 - g) **table of zoning data including zoning district, required setbacks, existing and proposed building coverage, impervious coverage, height, and other pertinent zoning restrictions, and any degree of compliance or noncompliance; and**
 - h) **all other features or matters pertinent to the application.**

PLANS SHALL NOT EXCEED 24" X 36" , AND MUST BE NEATLY FOLDED TO NO GREATER DIMENSION THAN 8 ½" X 11" AT FILING

2. **List of witnesses and summary of their testimony attached.**
Witnesses and testimony will be determined at a later date.
3. **Photographs of the property at issue and all adjoining properties.**
To be supplied at the hearing.
4. **Copies of any written professional reports, including traffic studies, land planning studies,**

appraisals, floodplain analyses, economic forecasts or other written reports, which the applicant wishes to present at the hearing (*note: the author of the study or a qualified representative of the entity who prepared the study must appear at the meeting and be available for cross-examination*). Please see enclosed Stormwater Management Report, Traffic Engineering Investigation, Fiscal Impact Analysis and Development

5. Copy of deed, lease, agreement of sale, or other authorization to file the appeal. (*note: leases or agreements of sale either must expressly permit the tenant or buyer to file an appeal, or must be accompanied by a letter from the owner clearly authorizing tenant or buyer to file the appeal*). Please see enclosed Deeds.

ADDITIONAL REQUIREMENTS

1. Will this application involve the subdivision of land? Applications that involve the subdivision of land are referred to the Planning Commission for review and recommendation. *Applicants will be notified of the date and time of the Planning Commission meeting* To be determined.
2. Will briefs or memoranda of law be filed in accordance with requirements of the Zoning Hearing Board? (*note – 10 copies of any brief or memorandum of law to be submitted by the applicant must be received by the Community Development Department no later than 14 days before the hearing*). To be determined.
3. Will the applicant (or duly authorized officer of the applicant, if applicant is not a natural person) be present at the hearing. If not, then power of attorney, notarized and in recordable form, authorizing the person who will testify on behalf of the applicant, and to bind the applicant in any proceedings of the Board must be presented at or before commencement of the hearing. Attorneys, agents, or other representatives of the applicant may not appear and testify on behalf of the applicant without power of attorney. Forms of power of attorney are available in the Community Development Department. (*note: failure to provide power of attorney will result either in the appeal being continued, or being dismissed, at the discretion of the Board*)

Applicant's authorized representative will be present at the hearing.



SIGNATURE OF APPLICANT

By: George W. Broseman, Esquire

AN ADDITIONAL FEE OF \$200 SHALL BE CHARGED FOR ANY CONTINUANCE REQUESTED BY THE APPLICANT. THIS FEE SHALL BE PAID PRIOR TO THE RESCHEDULING OF THE HEARING.

George W. Broseman, Esquire
Identification No.: 62649
Union Meeting Corporate Center
910 Harvest Drive
Post Office Box 3037
Blue Bell, PA 19422
(610) 941-2459
gbroseman@kaplaw.com
www.kaplaw.com

Attorney for Applicant

**BEFORE THE BOARD OF COMMISSIONERS
OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA**

In the Matter of:

Trustees of the Dorrance Hamilton
3/15/1996 Revocable Agreement of Trust,
Applicant

Premises:

204 & 228 Strafford Avenue
18 Forrest Lane
Wayne, PA 19087

CONDITIONAL USE APPLICATION

The Trustees of the Dorrance Hamilton 3/15/1996 Revocable Agreement of Trust, through counsel, George W. Broseman, Esquire, hereby files this Conditional Use application seeking approval to redevelop the properties at 204 Strafford Avenue, 228 Strafford Avenue, and 18 Forrest Lane¹ in Wayne under the Density Modification Development provisions of the Township Zoning Ordinance and in support thereof states as follows:

1. **NAME/ADDRESS OF APPLICANT.**

The Applicant is the Trustees of the Dorrance Hamilton 3/15/1996 Revocable Agreement of Trust (“**Applicant**”), c/o Mr. D. Charles Houder, Haverford Properties, Inc., 40 Morris Avenue, Suite 150, Bryn Mawr, PA 19010. Applicant is the owner of the parcels currently known as 204 Strafford Avenue, 228 Strafford Avenue, and 18 Forrest Lane (collectively the “**Tract**”). The Tract consists of Delaware County Folio Numbers: 36-01-00538-00; 36-01-

¹ 18 Forrest is being shown for informational purposes only. It is not included in the zoning calculations. The property owner is providing easements for utilities.

00539-00; 36-01-00540-00; 36-01-00236-02. Copies of the deeds to the parcels that comprise the Tract are attached as **Exhibit A-1** and **Exhibit A-2**. **Exhibit A-1** is a copy of the deed that includes the parcels known as 204 Strafford Avenue and 228 Strafford Avenue, also known as Delaware County Folio Numbers: 36-01-00538-00; 36-01-00539-00; 36-01-00540-00. **Exhibit A-2** is a copy of the deed for the parcel known as 18 Forrest Lane, also known as Delaware County Folio Number 36-01-00236-02. It is noted that both deeds also include other lands owned by the Applicant that are not part of this Application.

2. **DESCRIPTION OF PROPERTY.**

The Tract presently consists of several parcels with a combined lot area of approximately 7.5 acres (+/-) that contain a total of six dwelling units and related improvements. The Tract has frontage on Eagle Road and Strafford Avenue, and has an extensive boundary along the rear of the Eagle Village Shops, a large, multi-use shopping center that fronts on Lancaster Avenue and Eagle Road². The Tract is served by four driveways, three of which are interconnected. Three driveways connect to Strafford Avenue, and one connects to Eagle Road³. There are no sidewalks along the frontages of the Tract. The Tract and the general area around the Tract are developed suburban areas and are served by both public water and sanitary sewer service. Like many of the other properties in the area, including those in close proximity to the Tract that were developed before today's strict stormwater management requirements, the parcels within the Tract have no stormwater management facilities.

The existing conditions of the Tract are shown on the plan sheet entitled "Existing Conditions Plan," sheet 2 of 14 of the plan set entitled "204 & 228 Strafford Avenue Conditional

² One parcel, 18 Forrest Lane also abuts the Eagle Village Shops and presently contains a single-family detached dwelling that fronts on Forrest Lane.

³ The parcel at 18 Forrest Lane presently has its own driveway to Forrest Lane.

Use Plan Set” containing fourteen (14) sheets dated May 18, 2023 (sheets 1-9 prepared by SITE Engineering Concepts, LLC, sheets 10-14 prepared by Glackin Thomas Panzak) (collectively referred to as “**Plans**”). The Plans are attached as **Exhibit “B.”**

Pursuant to the Radnor Township Code (“**Code**”), the Tract is located in the R-4 Residence District (“**R-4 District**”), and is one property removed from the Township’s primary commercial artery, Lancaster Avenue/Route 30. The Tract serves as a transitional area from the commercial area along Lancaster Avenue to the residential areas to the north and northeast. The Tract either borders or is in close proximity to a number of commercial zoning districts, including: the C-2 General Commercial District, the C-3 Service Commercial District, the CO Commercial-Office District, and the PB Planned Business District. Some of the commercial uses that border or are in close proximity to the Tract include the Eagle Village Shops (described above), the Stafford Shopping Center with frontage on Lancaster Avenue and Eagle Road, and the Executive Commons of the Main Line office park with extensive frontage on both Eagle Road and Stafford Avenue. Only one property line, and the side lot lines of the 18 Forrest Lane parcel abut residentially zoned lots.

3. **CONDITIONAL USE FOR DENSITY MODIFICATION DEVELOPMENT**

A. **Density Modification Development – Townhomes
a Permitted Use & Minimum Tract Size**

The Applicant requests conditional use approval from the Township Board of Commissioners under Code § 280-29.B.(1) for Density Modification Development in the R-4 District to redevelop the Tract with thirty-eight townhomes, common open space, significant stormwater management facilities, and related improvements (collectively “**Project**”). (See, Code § 280-93 permitting townhomes in the R-4 District). Density Modification Development is

permitted in many of the Township's residential zoning districts (*i.e.* AC, R-1, R-1A, R-2, R-3 and R-4). Code § 280-92.A. In the R-4 District, Density Modification Development is permitted on tracts of at least five acres in size. Code § 280-92.A.(4). The Tract, with over 7.5 acres exceeds this requirement. The Project will include common open space along the existing road frontages, in a centralized green to be created, and in other areas.

The Project is shown on the plan sheet entitled "Record Plan," sheet 4 of 14 of the Plans. As described below, the Plans comply with applicable provisions of the Zoning Ordinance for Density Modification Development in the R-4 District.

B. Density Modification Development Requirements.

1. Townhome regulations.

Article XIX of Chapter 280 of the Code contains the requirements for Density Modification Development. Code § 280-93 sets forth the specific regulations applicable to townhomes in Density Modification Developments. As required, the townhomes will be owned and operated under the applicable provisions of the Pennsylvania Uniform Condominium Act. *See, Code § 280-93.A.* The proposed townhomes are arranged in groups of three, four and five units respectively, in compliance with Code § 280-93.B, which allows up to eight townhomes to be attached in any one group. Each townhouse group is separated by at least 20 feet. *Code § 280-93.B.* The townhomes also meet the requirements for wall plane design. *Id.*

2. Permitted Density, Dimensional Standards etc.

The Project also complies with the other applicable standards for Density Modification Development. As noted above, the area of the Tract is over 7.5 acres, which exceeds the minimum requirement of five acres in the R-4 District under Code §280-92.A(4). The proposed 38 townhome units on the Tract are in accordance with the density requirements of 5.5 units per acre. *Id.* No buildings are within 40 feet of an existing street right-of-way line or within 25 feet

from any adjacent property line. *Code § 280-92.A(4)*. The Plans also comply with the height, building coverage, and impervious surface requirements of Code 280-94, as shown in the Zoning Table on sheet 4 of 14 of the Plans.

Code § 280-97.D provides for yard setback requirements for townhomes developed under the Pennsylvania Uniform Condominium Act in lieu of the yard requirements of Code § 280-97.B. In the R-4 District, Code § 280-97.D requires a distance of at least 20 feet between the sides of groups of townhomes. The Plans satisfy these requirements. No accessory buildings or structures are proposed at this time, so Code § 280-97.E is not at issue. The Plans provide for ample parking in the proposed garages, the driveways, and in designated areas along the internal roadways that exceed Code parking requirements. *Code §§ 280-98.C; 280-103.B(1)*. Pedestrian connectivity will be enhanced by the addition of sidewalks along the Tract frontage on Strafford Avenue and Eagle Road, and along the internal roadways. *Id.* As noted above, the Tract and general area are presently served by public sanitary sewer and public water, and the new dwelling units will likewise be served by these public facilities. *Code §280-96*.

3. Common Open Space & Buffers.

Code § 280-91 provides standards for common open space and for buffers where the Tract adjoins residentially zoned districts. As required, the Plans designate at least 25% of the Tract area as common open space that will be available for use by or enjoyment of the residents of the new homes. *Code §§ 280-91.A & F*. The proposed common open space is appropriate and suitable for recreation and open space purposes. *Code § 280-91.B*. The proposed common open space is part of the development and is not separated from the Tract by existing roads. *Code § 280-91.C*. The proposed common open space includes a centralized green area that will be easily accessible to the proposed dwellings and help to, along with other portions of the

common open space, preserve the character of the streetscape along Strafford Avenue and Eagle Road. *Code § 280-91.D.* No structures, parking areas, streets, or public facilities are proposed within the common open space. *Code §§ 280-91. D & F.* The common open space will be restricted as required by the Code. *Code § 280-91.E.* Along the Tract's property lines that border other lots that are residentially zoned, the required 25 feet wide buffer area will be provided. *Code § 280-91.G.*

The ownership and maintenance of the proposed common open space will be provided by a homeowner's association that will be formed in compliance with the requirements of Code § 280-99, and the applicable provisions of the Uniform Condominium Act.

4. Application Requirements for a Density Modification Development

Code § 280-100.B sets forth specific information to be provided as part of the Conditional Use application. This information has been provided and is summarized as follows:

(1) The nature of the landowners' interest in the land to be developed.

As noted above, Applicant is the owner of the Tract.

(2) The density of land use to be allocated to the site to be developed.

In accordance with Code § 280-92.A(4), the permitted density is 5.5 units/per acre. The proposed density of thirty-eight units on 7.523 acres (+/-) satisfies that requirement.

(3) Location and size of common open space and the form of the organization proposed to own and maintain the common open space.

The common open space is shown on the Plans. The Tract will be subjected to the Pennsylvania Uniform Planned Community Act through a Declaration of Planned Community, which will be executed and recorded at the appropriate time. The homeowners' association will own and maintain the common open space on behalf of the unit owners within the planned community. A draft of the Planned Community Declaration has been submitted to the Township and may be refined at a later stage.

- (4) The use and the approximate height, bulk and location of dwellings and other structures.**

The Plans depict the bulk and location of the proposed townhomes. Compliance with these provisions is described above and on the Plans. The height of the buildings will not exceed 35 feet per applicable Code requirements for Density Modification Development. It is noted that the permissible height of 35 feet is the same as allowed for conventional development in the R-4 District, and in many of the Township's other residential zoning districts.

- (5) The feasibility of proposals for the disposition of sanitary waste and stormwater and provision of public water supply.**

Public water and sanitary sewer are proposed. The Tract and the surrounding area are already served by public water and sanitary sewer.

- (6) The substance of covenants, grants of easements or other restrictions proposed to be imposed upon the use of the land, buildings and structures, including proposed easements or grants for public utilities.**

As noted above, the Tract will be subject to the Pennsylvania Uniform Planned Community Act. A draft of the Planned Community Declaration has been submitted to the Township as part of the filing of the Conditional Use Application. The Planned Community Declaration will be finalized at a later stage.

- (7) A provision for parking of vehicles and the location and width of proposed streets and public ways.**

The Plans depict the parking areas and internal drives. No public streets or ways are proposed. The Plans show four parking spaces for each dwelling unit, consisting of two garage parking spaces and two driveway parking spaces. There are also fourteen additional parking spaces located on the internal drives. The proposed level of parking exceeds the two parking spaces per dwelling unit required by Code §280-103.B(1) and the one additional parking space per four dwelling units required by Code §255-29.A(20).

- (8) A statement which will show the ecological and economic impact of the development on the Township and especially as to the surrounding areas.**

The Tract and the surrounding area is within a fully developed suburban area. The Tract will be redeveloped and will include common open space and stormwater management facilities, neither of which presently exist at the Tract. The Project will comply with applicable stormwater management requirements, and the requirements associated with the required outside agency permits, including a National Pollutant Discharge Elimination System ("NPDES") permit

which includes a further review of during-construction and post-construction stormwater management. The substantial investment in the redevelopment of the Tract will generate revenue for both the Township and the Radnor Township School District through increased property values and through the realty transfer taxes on the sale of each townhouse unit. A Fiscal Impact Study and a Development Impact Study further addressing these issues are included with this Conditional Use application.

(9) The results of traffic studies taken on the surrounding and nearby roads.

The Conditional Use Application submission includes a Traffic Impact Study dated May 15, 2023 prepared by F. Tavani and Associates, Inc.

4. NATURE OF A CONDITIONAL USE.

A conditional use is not an exception to a zoning ordinance, but rather, is a use to which an applicant is entitled unless objectors demonstrate, according to standards set forth in the zoning ordinance and the law, that the proposed use would adversely affect the community. *Blancett Maddock v. City of Pittsburgh Zoning Board of Adjustment*, 640 A.2d 498 (Pa. Cmwlth. 1994). A conditional use is nothing more than a special exception which falls within the jurisdiction of the municipal governing body as opposed to the zoning hearing board. *In re Thompson*, 896 A.2d 659, 670 (Pa. Cmwlth. 2006). The existence of a conditional use provision in a zoning ordinance indicates a legislative determination that the use is consistent with the municipality's zoning plan, and is a use which is presumptively consistent with the public health, safety and welfare. *Borough of Perkasie v. Moulton Builders*, 850 A.2d 778 (Pa. Cmwlth. 2004); *Ruddy v. Lower Southampton Township Zoning Hearing Board*, 669 A.2d 1051 (Pa. Cmwlth. 1995).

An applicant for conditional use approval has the burden of proving that the proposed use complies with the specific objective requirements of the zoning ordinance that are applicable to the conditional use. *Appeal of Neill*, 634 A.2d 749 (Pa. Cmwlth. 1993). Once an applicant for conditional use approval proves that the proposed use complies with the specific objective

requirements for conditional use set forth in the zoning ordinance, the burden shifts to the objectors to demonstrate through substantial evidence that the proposed use would detrimentally affect the public health, safety and welfare, to a greater degree than the typical use in question. *Mann v. Lower Makefield Township*, 634 A.2d 768 (Pa. Cmwlth. 1993); *Dotterer v. Zoning Hearing Board of Upper Pottsgrove Township*, 588 A.2d 1023 (Pa. Cmwlth. 1991).

The Commonwealth Court enunciated the general rule governing special exceptions and conditional uses in *Appeal of Brickstone Realty Corp.*, 789 A.2d 333 (2001):

A special exception [or conditional use] is a conditionally permitted use, allowed by the Legislature if specifically listed standards are met. A special exception [or conditional use] is thus not an "exception" to the zoning ordinance, but a use permitted conditionally, the application for which is to be granted or denied by the zoning hearing board pursuant to express standards and criteria. Where a particular use is permitted in a zone by special exception [or conditional use], it is presumed that the local legislature has already considered that such use satisfies local concerns for the general health, safety, and welfare and that such use comports with the intent of the zoning ordinance. Thus, once the applicant for a special exception [or conditional use] shows compliance with the specific requirements of the ordinance, it is presumed that the use is consistent with the promotion of health, safety, and general welfare. The burden then shifts to objectors to prove that the proposed use is not, in fact, consistent with the promotion of health, safety and general welfare. (citations omitted)

The objectors' burden of demonstrating that a proposed use does not comply with the general health, safety and welfare criteria imposed upon conditional uses is not satisfied by showing that a proposed use will have effects that are no different than those which normally result from the construction of the permitted use. *Moyer's Landfill, Inc. v. Zoning Hearing Board of Lower Providence Township*, 450 A.2d 273 (Pa. Cmwlth. 1982). Rather, a conditional use may only be denied if opponents demonstrate that the impact of the proposed use on the public welfare is greater than that which might be expected from such a use in normal circumstances. *Ruddy v. Lower Southampton Township Zoning Hearing Board*, *supra.*; *New*

Bethlehem Borough Council v. McVay, 467 A.2d 395 (Pa. Cmwlth. 1983). Moreover, those who object to an application for a conditional use cannot meet their burden of showing that the proposed use would violate the health, safety and welfare of the community by merely speculating as to possible harm; rather, objectors must show a high degree of probability that the proposed use will substantially affect the health and safety of the community. *Manor Healthcare Corp. v. Lower Moreland Township Zoning Hearing Board*, 590 A.2d 65 (Pa. Cmwlth. 1991).

5. **CONCLUSION.**

As noted above, the Plans comply with the applicable provisions of the Township Zoning Ordinance for Density Modification Development in the R-4 District. The Plans will also provide for common open space, limited new curb cuts to the adjoining roadways, enhanced pedestrian connectivity, and provide for significant stormwater management where none exists. Accordingly, the Conditional Use should be granted.

Respectfully Submitted,

KAPLIN, STEWART MELOFF, REITER & STEIN, P.C.



GEORGE W. BROSEMAN, ESQUIRE
Attorneys for Applicant

Date: May 24, 2023

EXHIBIT A-1

REDACTED DEED FOR 204 & 228 STRAFFORD AVENUE

PREPARED BY AND RETURN TO:

Chicago Title Insurance Company
Suite 1325
1515 Market Street
Philadelphia, PA 19102
8109-25100(9)

RD BK04569-0060

2009038189 06/23/2009 01:57:53 PM:1

RCD FEE: \$100.00

DT-DEED



36-RADNOR 30.00

THOMAS J. JUDGE SR. ROD

DELAWARE
COUNTY

This Indenture Made this 24th day of April , 2009

Between DORRANCE H. HAMILTON, a/k/a DORRANCE HILL HAMILTON,
of Boca Grande, Florida
(hereinafter called the Grantor)

AND

DORRANCE H. HAMILTON, MARGARET H. DUPREY, NATHANIEL PETER
HAMILTON, JR., S. MATTHEWS V. HAMILTON, JR., and BARBARA R. COBB,
TRUSTEES of the DORRANCE H. HAMILTON MARCH 15, 1996 REVOCABLE
AGREEMENT OF TRUST
(hereinafter called the Grantees)

Witnesseth that the said Grantor for and in consideration of the sum of
[REDACTED] lawful money of the United States of America, unto her well and
truly paid by the said Grantees at or before the sealing and delivery hereof, the receipt
whereof is hereby acknowledged, has granted, bargained and sold, aliened, enfeoffed
released and confirmed, and by these presents does grant, bargain and sell, alien,
enfeoff, release and confirm unto the said Grantees, their successors and assigns;

PREMISES "A"

ALL THAT CERTAIN lot or tract of land with the buildings and improvements thereon
erected, Situate in the Township of Radnor, County of Delaware, Commonwealth of
Pennsylvania, described according to a survey thereof, made by John F. Kauffman,
Civil Engineer on September 22, 1886, as follows, to wit:

BEGINNING at a point in the center line of a public road leading from the Philadelphia and Lancaster Turnpike to the Gulf Road and known as the Eagle Road, where the center line of a new Avenue leaving to Eagle Station meets the said center line of the said Eagle Road; thence along the center line of the said new Avenue North twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet; thence by a line parallel with the said Eagle Road and along the line of land conveyed by Henry D. Hughes and wife to Richard T. McCarter, Jr., South sixty four degrees, fifty eight minutes West two hundred seventy two and fifteen one-hundredths feet to a point in line of land conveyed by William Robb to the said Clara T. Shaw; thence along the said last mentioned land by a line parallel with the aforesaid avenue South twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet to the aforesaid center line of said Eagle Road; thence along the center line of said Eagle Road North sixty four degrees, fifty eight minutes East two hundred seventy two and fifteen one-hundredths feet to the first mentioned point and place of beginning.

ALSO ALL THAT CERTAIN tract of land, situate in the Township and County aforesaid,

BEGINNING at a stone in the center line of a public road called the Eagle Road the distance of two hundred thirty eight feet and one tenths of a foot measured along the center line of the said road Northeastwardly from the corner of land now or late of John B. Thayer; thence along the said center line of the said Road North sixty four degrees, fifty eight minutes East two hundred five and seven tenths feet to a stone set for a corner in the center line of an Avenue thirty three feet wide (lately vacated); thence along the center line of the said vacated Avenue being also a line of land conveyed by Harry C. Banks and wife to the said Clara T. Shaw North twenty five degrees, two minutes West three hundred twenty and twelve one-hundredths feet to a corner of land conveyed by William Robb to Richard T. McCarter Jr.; thence along the said land of the said Richard T. McCarter Jr., South sixty four degrees, fifty eight minutes West two hundred five and seven tenths feet to a point in the middle of land of Ellwood Wilson; thence along the said land South twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet to the first mentioned point and place of beginning.

BEING known as 204 Stafford Avenue.

BEING designated as Uniform Parcel Identifier No. 36-01-00538-00.

PREMISES "B"

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware, State of Pennsylvania, described according to a survey thereof made by Wilson R. and John B. Yerkes, Civil Engineers and Surveyors of Byrn Mawr, Pennsylvania, dated June 6, 1962, as follows:

BEGINNING at a point in the middle of Strafford Avenue (50 feet wide) said point is at the distance of three Hundred twenty and forty-five one hundredths feet (320.45') measured North twenty-five degrees two minutes West (N 25°02' W.) along the middle of Strafford Avenue from its intersection with the middle of Eagle Road; thence leaving Strafford Avenue by land of L. Weinrich South sixty-four degrees fifty-eight minutes West (S. 64°58' W.) four hundred seventy-seven and eighty-five one hundredths feet (477.85') to an iron pin in line of land of Lecian Von Bermuth; thence partly by the same and partly by land of various owners North twenty-five degrees two minutes West (N. 25°02' W.) four hundred twenty-one and fifty one hundredths feet (481.50') to a stone; thence by land of Elisabeth J. Grant North sixty-five degrees five minutes East (N. 65°05' E.) four hundred seventy-seven and eighty-five one hundredths feet (477.85') to a point in the middle of Strafford Avenue aforesaid; thence along the middle of same South twenty-five degrees two minutes East (S. 25°02' E.) four hundred twenty and forty-five one hundredths feet (420.45') to the place of beginning.

BEING known as 228 Strafford Avenue.

BEING designated as Uniform Parcel Identifier No. 36-01-00539-00 and 36-01-00540-00.

PREMISES "C"

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Map of Property of Wallace and Warner Corporation, made by M.R. and J.B. Yerkes, Civil Engineers, Bryn Mawr, Pennsylvania, dated October 24, 1946 and revised November 8, 1946, (new lot numbers) September 25, 1947, as follows, to wit:

BEGINNING at a spike marking the intersection of the middle lines of Fairfield Lane and Forrest Lane (both forty feet wide); thence along the middle of Forrest Lane, the two following courses and distances: (1) South thirty four degrees, thirty seven minutes East, nine and eighty four one-hundredths feet to a point; and (2) South twenty three degrees, forty seven minutes East, one hundred three feet to a point; thence leaving Forrest Lane, South sixty five degrees, seven minutes West, one hundred thirty four and eighty four one-hundredths feet to a stone; thence by other land of Wallace and Warner of which this is a part, North twenty four degrees West, one hundred seventeen and twenty nine one-hundredths feet to a point in the middle of Fairfield Lane; thence along the middle of same, North sixty seven degrees, two minutes East, one hundred thirty three and forty two one-hundredths feet to the place of beginning.

BEING Lot No. 12 on the above mentioned Plan.

BEING known as 142 Fairfield Lane.

BEING designated as Uniform Parcel Identifier No. 36-01-00200-00.

N/A

PREMISES "D"

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon to be erected, situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania and described according to a Map of Property of Edwin T. Myskowski, et ux made by Yerkee Engineering Co., Surveyors, Bryn Mawr, Pennsylvania dated January 3, 1969 and last revised February 3, 1969 as follows:

BEGINNING at a point in the middle line of Forrest Lane (proposed to be opened to the width of 30 feet), which said point is measured, the two following courses and distances along said middle line from its intersection with the extended middle line of Fairfield Lane (forty feet wide): (1) from said point of intersection South thirty four degrees, thirty seven minutes East, nine and eighty four one hundredths feet and (2) South twenty three degrees, forty seven minutes East, forty three and forty six one-hundredths feet to the point and place of beginning; thence extending from said beginning point leaving Forest Lane by other land of Edwin T. Myskowski of which this was a part, North sixty five degrees seven minutes East, one hundred twenty three feet to a point in line of land now or late of J.B. Parker; thence extending along said land South twenty three degrees, forty seven minutes East, fifty nine and fifty four one-hundredths feet to a point a corner of land now or late of Lecian Von Bermuth; thence extending along said land South sixty five degrees, seven minutes West, one hundred twenty three feet to a point in the middle line of Forest Lane aforesaid; thence extending along the middle line of same North twenty three degrees, forty seven minutes West, fifty nine and fifty four one-hundredths feet to the place of beginning.

BEING Lot No. 2 as shown on said Plan.

BEING known as 22 Forrest Lane.

BEING designated as Uniform Parcel Identifier No. 36-01-00236-03.

BEING AS TO PREMISES "A" the same premises which H. Everett Shore, III, Straw Party by deed dated 6/3/1977 and recorded 6/10/1977 in the Office of the Recorder of Deeds in and for the County of Delaware in Deed Book 2609 page 716, granted and conveyed unto Dorrance H. Hamilton, in fee.

BEING AS TO PREMISES "B" the same premises which Thomas Hart and S. Leonard Kent, Jr., Executors under the Will of J. Brooks B. Parker, deceased by Deed dated 6/27/1952 and recorded 7/2/1952 in the Office of the Recorder of Deeds in and for the County of Delaware in Deed Book 1532 page 347, granted and conveyed unto Dorrance Hill Hamilton, in fee.

N/A

BEING AS TO PREMISES "C" the same premises which Gerard V. Cavanaugh and Danielle Cavanaugh, his wife by Deed dated 7/1/1985 and recorded 7/15/1985 in the Office of the Recorder of Deeds in and for the County of Delaware in Volume 251 page 1525, granted and conveyed unto Dorrance H. Hamilton, in fee.

BEING AS TO PREMISES "D" the same premises which H. Everett Shore, III, Straw Party by Deed dated 1/19/1984 and recorded 2/23/1984 in the Office of the Recorder of Deeds in and for the County of Delaware in Volume 139 page 983, granted and conveyed unto Dorrance H. Hamilton, in fee.

Together with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantor, as well at law as in equity, of, in, and to the same.

UNDER AND SUBJECT, nevertheless to matters of record, to the extent valid and enforceable, subsisting and in fact affect title to the property or any part thereof.

To have and to hold the said lot or piece of ground above described with the buildings and improvements thereon erected; with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their successors and assigns to and for the only proper use and behoof of the said Grantees, their successors and assigns, forever. Under and subject, as aforesaid.

And the said Grantor, for herself, her heirs, executors and administrators does by these presents, grant, covenant, promise and agree, to and with the said Grantees, their successors and assigns, that she the said Grantor, her heirs, all and singular the hereditaments and premises herein above described and granted, or mentioned and intended so to be with the appurtenances unto the said Grantees, their successors and assigns, against her the said Grantor, her heirs and against all and every person or persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from, or under him, her, them or any of them shall and will, **UNDER AND SUBJECT** as aforesaid, **WARRANT** and forever **DEFEND**.

In Witness Whereof, the said Grantor has caused these presents to be duly executed and dated the day and year first above written.

Sealed and Delivered
IN THE PRESENCE OF US

Dorrance H. Hamilton (SEAL)
Dorrance H. Hamilton

Dorrance H. Hamilton (SEAL)
Dorrance Hill Hamilton

REV-103 EX (1-04)



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF REVENUE
BUREAU OF INDIANAL TAXES
PO BOX 280603
HARRISBURG PA 17128-0603

REALTY TRANSFER TAX STATEMENT OF VALUE

See Reverse for Instructions

RECORDER'S USE ONLY

State Tax Paid	0
Book Number	4569
Page Number	00
Date Recorded	6/23/09

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) when the deed is without consideration, or by gift, or (3) a tax exemption is claimed. A Statement of Value is not required if the transfer is wholly exempt from tax based on: (1) family relationship or (2) public utility easement. If more space is needed, attach additional sheet(s).

A. CORRESPONDENT - All inquiries may be directed to the following person:

Name	Anthony T. Fratianna, Esquire, Morgan, Lewis & Bockius, LLP			Telephone Number	
Street Address	City	State	Zip Code		
1701 Market Street	Philadelphia	PA	19103		

B. TRANSFER DATA

Date of Acceptance of Document

Grantor(s)/Lessor(s)	Grantee(s)/Lessee(s)				
Dorrance H. Hamilton, a/k/a Dorance Hill Hamilton	Trustees of the Dorance H. Hamilton 3/15/96 Rev. Agr. of Tr				
Street Address	Street Address				
	Suite 316, 200 Eagle Road				
City	State	Zip Code	City	State	Zip Code
Boca Grande	FL		Wayne	PA	19087

C. PROPERTY LOCATION

Street Address	City, Township, Borough	
See Exhibit "A"	Radnor Township	
County	School District	Tax Parcel Number
Delaware		See Exhibit "A"

D. VALUATION DATA

1. Actual Cash Consideration	2. Other Consideration	3. Total Consideration
█	█	= █
4. County Assessed Value	5. Common Level Ratio Factor	6. Fair Market Value
█	█	= See Exhibit "A"

E. EXEMPTION DATA

1a. Amount of Exemption Claimed	1b. Percentage of Interest Conveyed
█	█

2. Check Appropriate Box Below for Exemption Claimed

- Will or intestate succession _____ (Name of Decedent) _____ (Estate File Number)
- Transfer to Industrial Development Agency.
- Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- Transfer between principal and agent. (Attach complete copy of agency/straw party agreement.)
- Transfers to the Commonwealth, the United States and Instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- Transfer from mortgagor to a holder of a mortgage in default. Mortgage Book Number _____, Page Number _____.
- Corrective or confirmatory deed. (Attach complete copy of the prior deed being corrected or confirmed.)
- Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- Other (Please explain exemption claimed, if other than listed above.) 72 P.S. 8102 C.3 (8.1) A transfer for no or nominal actual consideration to a trustee of a living trust from the settlor of the living trust.

Under penalties of law, I declare that I have examined this Statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent/Responsible Party	Date
	4/24/09

FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH APPLICABLE DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.

EXHIBIT "A"

Section C: Street Address

204 Strafford Avenue (Premises "A")
228 Strafford Avenue (Premises "B")
142 Fairfield Lane (Premises "C")
22 Forrest Lane (Premises "B")

Section C: Tax Parcel Number

Uniform Parcel Identifier No. 36-01-00538-00 (Premises "A")
Uniform Parcel Identifier No. 36-01-00539-00 and
No. 36-01-00540-00 (Premises "B")
Uniform Parcel Identifier No. 36-01-00200-00 (Premises "C")
Uniform Parcel Identifier No. 36-01-00236-03 (Premises "D")

Section D-4: County Assessed Value

[REDACTED]	(Premises "A")
	(Premises "B")
	(Premises "B")
	(Premises "C")
	(Premises "D")
	TOTAL [REDACTED]

Section D-6: Fair Market Value

[REDACTED]	(Premises "A")
	(Premises "B")
	(Premises "B")
	(Premises "C")
	(Premises "D")
	TOTAL [REDACTED]

CTIC File #08-PHI-1046

DEED

Grantor: DORRANCE H. HAMILTON, a/k/a DORRANCE HILL HAMILTON

TO

Grantees: DORRANCE H. HAMILTON, MARGARET H. DUPREY,
NATHANIEL PETER HAMILTON, JR.,
S. MATTHEWS V. HAMILTON, JR., and
BARBARA R. COBB, TRUSTEES of the DORRANCE H. HAMILTON
MARCH 15, 1996 REVOCABLE AGREEMENT OF TRUST

Premises: 204 Strafford Avenue (Premises "A")
228 Strafford Avenue (Premises "B")
142 Fairfield Lane (Premises "C")
22 Forrest Lane (Premises "D")
Township of Radnor
County of Delaware
Commonwealth of Pennsylvania

Uniform Parcel Identifier No. 36-01-00538-00 (Premises "A")
Uniform Parcel Identifier No. 36-01-00539-00 and
36-01-00540-00 (Premises "B")
Uniform Parcel Identifier No. 36-01-00200-00 (Premises "C")
Uniform Parcel Identifier No. 36-01-00236-03 (Premises "D")

The address of the above named Grantees is:

218 Enterprises
Suite 316
200 Eagle Road
Wayne, PA 19087

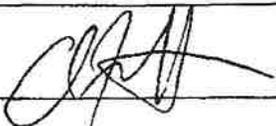
Certified by: _____


EXHIBIT A-2

REDACTED DEED FOR 18 FORREST LANE

6
7

RETURN TO:
Chicago Title Insurance Co
1801 Market Street, Ste. #2550
Philadelphia, PA 19103
8103-00452 (36)

This Indenture Made this 17th day of October, 2003

Between James W. Lament and Elizabeth A. Ashdale-Lament
(hereinafter called the Grantors)

AND

Trustees Under Agreement of Trust dated March 15, 1996 as Amended,
Dorrance H. Hamilton, Settlor
(hereinafter called the Grantees)

Witnesseth That the said Grantor for and in consideration of the sum of [redacted] lawful money of the United States of America, unto them well and truly paid by the said Grantees at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed and by these presents does grant, bargain and sell, release and confirm unto the said Grantees, their successors and assigns.

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania and described according to a Map or Property of Edwin I. Myskowski, et ux, made by Yerkes Engineering Co., Surveyors, Bryn Mawr, PA, dated 1/3/1969 as follows, to wit:

BEGINNING at a point on the middle line of Forrest Lane of variable widths at the distance of 674.37 feet measured Southeastwardly along said middle line of Forrest Lane from the center line of Old Eagle School Road; thence extending from said point of beginning North 65 degrees 07 minutes 00 seconds East, along the Strafford Realty Company Subdivision Plan 129.79 feet to a point; thence extending South 23 degrees 47 minutes 00 seconds East along land now or late of J. B. Parker, 79.06 feet to a point; thence extending South 65 degrees 07 minutes 00 seconds West along Lot No. 2 on said plan 123 feet to a point on the middle line of Forrest Lane, aforesaid; thence extending along the same, the two following courses and distances: (1) North 23 degrees 47 minutes 00 seconds West 43.46 feet to a point; and (2) North 34 degrees 37 minutes 00 seconds West 36.11 feet to the first mentioned point and place of beginning.

BEING Lot No. 1 on said Plan.

BEING Folio Number 36-01-00236-02

RD BK02991-1480
2003144115 10/24/03 10:42:44 AM
RECEIVED: STATE TAX \$4,500.00 STATE TAX \$3,200.00
DELAWARE COUNTY
THOMAS J. AUGER SR. REC'D

Power-Deed



REALTY TRANSFER TAX STATEMENT OF VALUE

See Reverse for Instructions

State Tax No.	336600
Book Number	277
Page No.	1270
Date Received	10/13/03

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) when the deed is without consideration, or by gift, or (3) a tax exemption is claimed. A Statement of Value is not required if the transfer is wholly exempt from tax based on: (1) family relationship or (2) public utility easement. If more space is needed, attach additional sheet(s)

A - CORRESPONDENT - All inquiries may be directed to the following person:

Name	Chicago Title Insurance Company	Telephone Number	Area Code	215	568-4800
Street Address	1601 Market Street	City	Philadelphia	State	PA
					19103

B - TRANSFER DATA

Grantor(s)/Lessor(s)	James W. Lament & Elizabeth Lament	Date of Acceptance of Document	Trust dated 3/15/96 as amended
Street Address	18 Forrest Road	Street Address	18 Forrest Road
City	Wayne	City	Wayne
State	PA	State	PA
Zip Code	19087	Zip Code	19087

C - PROPERTY LOCATION

Street Address	18 Forrest Road	City, Township, Borough	Radnor
County	Delaware	School District	Radnor
		Tax Parcel Number	36-01-00236-02

D - VALUATION DATA

1. Actual Cash Consideration	2. Other Consideration	3. Total Consideration
	+	=
4. County Assessed Value	5. Common Level Ratio Factor	6. Fair Market Value
	X	=

E - EXEMPTION DATA

1a. Amount of Exemption Claimed	1b. Percentage of Interest Conveyed

- 2 Check Appropriate Box Below for Exemption Claimed
- Will or intestate succession (Name of Decedent) _____ (Estate File Number) _____
 - Transfer to Industrial Development Agency
 - Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
 - Transfer between principal and agent. (Attach complete copy of agency/straw party agreement.)
 - Transfers to the Commonwealth, the United States and Instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
 - Transfer from mortgagor to a holder of a mortgage in default. Mortgage Book Number _____, Page Number _____
 - Corrective or confirmatory deed. (Attach complete copy of the prior deed being corrected or confirmed.)
 - Statutory corporate consolidation, merger or division. (Attach copy of articles.)
 - Other (Please explain exemption claimed, if other than listed above.) _____

Under penalties of law, I declare that I have examined this Statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent or Responsible Party	Date
<i>[Signature]</i>	10/13/03

FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH APPLICABLE DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.

BEING the same premises which Madeline L. Fisher, by Indenture bearing date April 29, 2003 and recorded MAY 5, 2003 in the Office of the Recorder of Deeds, in and for the County of Delaware in Volume 2761 page 2189 etc., granted and conveyed unto James W. Lament and Elizabeth A. Ashdale-Lament, Husband and Wife, in fee

(Remainder of page intentionally left blank)

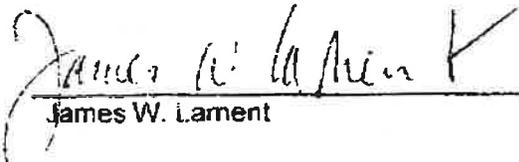
Together with all and singular the improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate right, title, interest, property, claim and demand whatsoever of the said Grantors, as well at law as in equity, of, in, and to the same.

To have and to hold the said lot or piece of ground above described with the buildings and improvements thereon erected; with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their successors and assigns to and for the only proper use and behoof of the said Grantees, their successors and assigns, forever

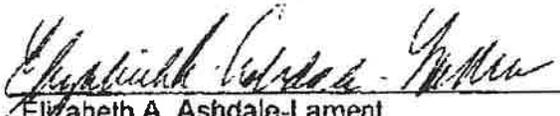
And the said Grantors, for themselves, their heirs executors, administrators do by these presents, covenant, grant and agree, to and with the said Grantees, their successors, and assigns, that they the said Grantors, their heirs, all and singular the Hereditaments and premises herein above described and granted, or mentioned and intended so to be with the Appurtenances unto the said Grantees, their successors and assigns, against them the said Grantors, their heirs and against all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by from, or under him, her, them or any of them shall and will WARRANT and forever DEFEND.

In Witness Whereof, the said Grantors have caused these presents to be duly executed dated the day and year first above written.

Sealed and Delivered
IN THE PRESENCE OF US



James W. Lament (SEAL)



Elizabeth A. Ashdale-Lament (SEAL)

DEED

Grantor: James W. Lament and Elizabeth A. Ashdale-Lament

TO

Grantee: Trustees Under Agreement of Trust dated March 15, 1996, as Amended, Dorrance H. Hamilton, Settlor

PREMISES: 18 Forrest Lane
Folio Number 36-01-00236-02
Radnor Township
Delaware County

The address of the above named Grantees is:

Suite 316
200 Eagle Road
Wayne, PA 19987

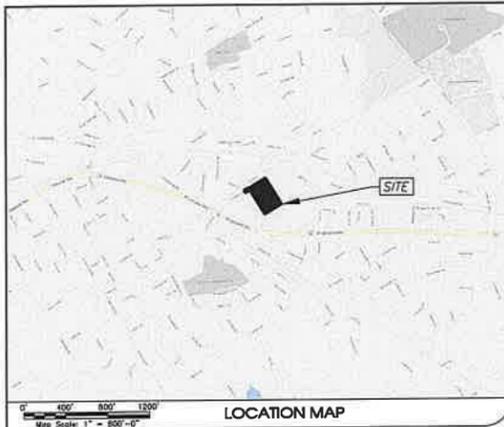
Certified by: *John W. Miller*

EXHIBIT "B"

CONDITIONAL USE PLANS

204 & 228 STRAFFORD AVENUE

CONDITIONAL USE PLAN SET

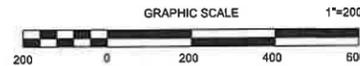


ADJOINING PROPERTIES (LANDS N/E)

1. VILLAGE ASSOCIATES,
503 W LANCASTER AVE, 36-11-316
2. HAMILTON S MATTHEWS V JR & MIRABELLO
FRACIS J & ETAL, 22 FORREST LANE,
36-11-339
3. HAMILTON S MATTHEWS V JR & MIRABELLO
FRACIS J & ETAL,
142 FAIRFIELD LANE, 36-11-338
4. OCONNOR CONSTANCE M & IZZO PETER J,
11 FAIRFIELD LANE, 36-11-337
5. SCHUDA JOSEPH M & FRANCES E,
14 FORREST LANE, 36-11-341
6. CHAWLA GAGAN & CHAWLA SANNU,
21 GRANT LANE, 36-11-342
7. JOHNSTON ALFRED J III & JOHNSTON GLORIA
ROMEIKA,
17 GRANT LANE, 36-11-343
8. MORRISSEY CAREN E, MORRISSEY WILLIAM L
JR, 13 GRANT LANE, 36-11-344
9. SCHERI STEVEN W & MEGAN G,
9 GRANT LANE, 36-11-345
10. MAHONEY JOHN J III & MARY ANN,
5 GRANT LANE, 36-11-346
11. THE TRUSTEES REVOCABLE TRUST C/O
HAMILTON REVOCABLE TRUST,
235 STRAFFORD AVE, 36-11-353
12. GRAY JEREMY P & CONTRERAS TERESA PAOLA
ZARATE,
231 STRAFFORD AVE, 36-11-352
13. BROOKS JOHN W & KATHRYN R,
227 STRAFFORD AVENUE, 36-11-351
14. THOMASON ROBERT I & THOMASON TRAUDI,
211 STRAFFORD AVENUE, 36-11-350
15. HAMILTON DORRANCE H ETAL TRSTEEES
REVOCABLE TRUST,
205 STRAFFORD AVE, 36-11-349:001
16. SATTERFIELD DAVID & MORRISSEY MARY ANNE,
207 STRAFFORD AVE, 36-11-349:002
17. ANUJEET & TARA SAREEN, 205 STRAFFORD
AVE, 36-11-349
18. ALAN J SILVER, 201 STRAFFORD AVE,
36-11-349:003
19. FUCHS JR JOHN O C/O THE STRAFFORD
OFFICE BLDG,
125 0175 STRAFFORD AVE, 36-12-263
20. FUCHS O JOHN,
200 EAGLE RD, 36-11-314



MAP SHOWING FEATURES WITHIN 300' OF PROPERTY LINE



DRAWING SCHEDULE

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. DEMOLITION PLAN
4. RECORD PLAN
5. POST CONSTRUCTION STORMWATER PLAN
6. DURING CONSTRUCTION E&S
7. PCSM DETAILS
8. CONSTRUCTION DETAILS
9. E&S DETAILS
10. EX-1 TREE REMOVAL INVENTORY
11. LP-1 LANDSCAPE PLAN
12. LP-2 LANDSCAPE DETAILS
13. LI-1 LIGHTING PLANS
14. LI-2 LIGHTING DETAILS

CIVIL ENGINEER:
SITE ENGINEERING CONCEPTS, LLC

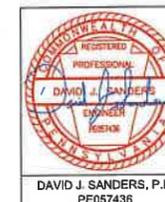
ATTN: ROBERT M. LAMBERT, P.E.
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: (610) 240-0450
E: RLAMBERT@SITE-ENGINEERS.COM

LANDSCAPE ARCHITECT:
GLACKIN THOMAS PANZAK, INC.

ATTN: BERNARD S. PANZAK, RLA
PAOLI EXECUTIVE GREEN 1, SUITE 300
PAOLI, PA 19301
P: (610) 408-9011
E: BPANZAK@GLACKINPLAN.COM

APPLICANT/OWNER:
THE TRUSTEES OF THE DORRANCE HAMILTON
3/15/1996 REVOCABLE AGREEMENT OF TRUST

ATTN: CHARLES HOUDER
551 W LANCASTER AVE, SUITE 307
HAVERFORD, PA 19041
P: (610) 389-0305
E: DCH@HAVERFORDPROPERTIES.COM

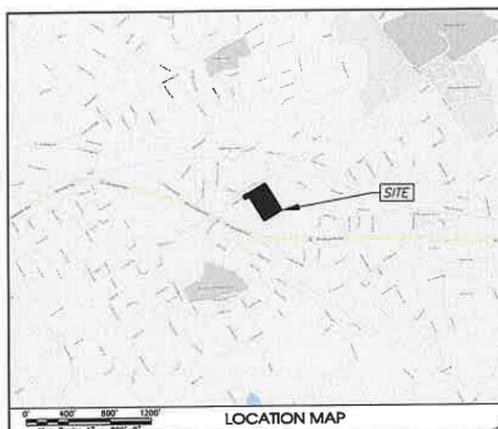


NUM.	DATE	REVISION
PLAN PREPARED BY: SITE ENGINEERING CONCEPTS, LLC P.O. BOX 1992 SOUTHEASTERN, PA 19399 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM		
PLAN PREPARED FOR: HAMILTON ESTATE 204 & 228 STRAFFORD AVE WAYNE, PA 19087		
RADNOR TOWNSHIP		DELAWARE COUNTY
COVER SHEET		PENNSYLVANIA DATE MAY 18, 2023
		SHEET 1 of 14
SCALE: 1" = 200'		

STRAFFORD AVE

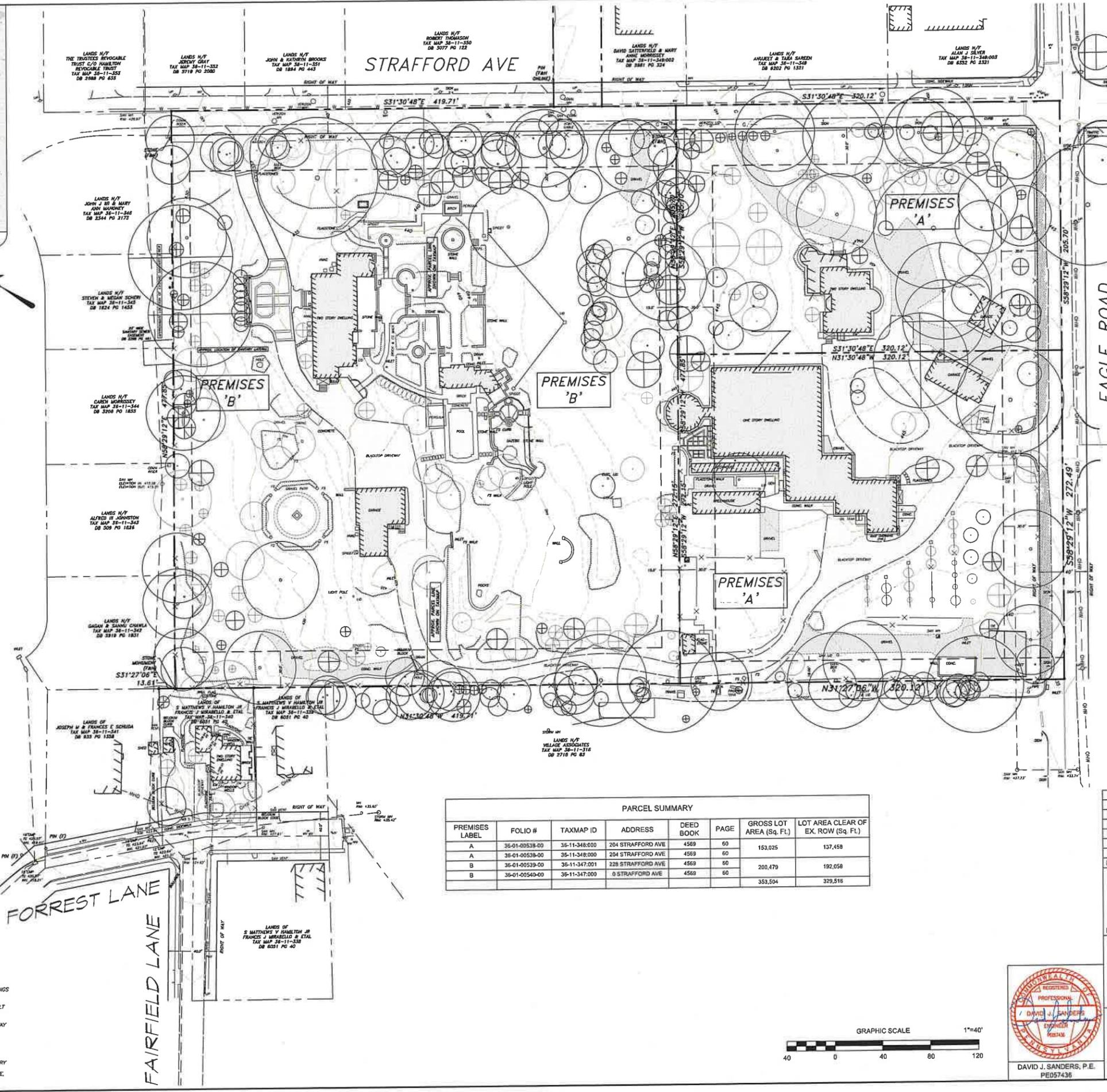
GENERAL NOTES

- BEARINGS SHOWN ARE BASED ON A MERIDIAN ESTABLISHED USING PA STATE PLANE COORDINATES. MERIDIAN DIFFERS FROM THE RECORDED DEED BY 6'35"48".
- CONTOURS PLOTTED FROM FIELD RUN SURVEY. GPS CONTROL PERFORMED ONSITE TO ESTABLISH BENCHMARK DATUM NAD83/NAV88.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A CURRENT TITLE REPORT.
- THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE FOR TREE REMOVAL PURPOSES. PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
- THERE IS NO IDENTIFIABLE FEMA FLOOD PLAIN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428 00177 OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO ANY CONSTRUCTION. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- PLANS REFERENCED: LOT LINE CHANGE PLAN PREPARED BY YERKES ASSOCIATES, INC. FOR MRS. S.M.V HAMILTON DATED JULY 21, 2001.



NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325



EAGLE ROAD

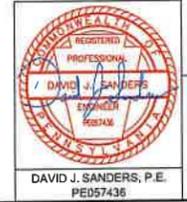
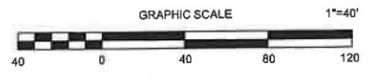
FORREST LANE
FAIRFIELD LANE

ZONING SUMMARY	
R-4 - RESIDENTIAL DISTRICT	
ORDINANCE ITEM	REQUIREMENT
MIN. LOT AREA	7,000 SF
MIN. LOT WIDTH @ BLDG	55 FT
MIN. SETBACKS	
FRONT	30 FT
SIDE (INDIVIDUAL/AGGREGATE)	12 FT / 30 FT
REAR	30 FT
MAX. BUILDING HEIGHT	35 FT
MAX. BUILDING COVERAGE	30%
MAX. IMPERVIOUS COVERAGE	40%
RIPARIAN BUFFER SETBACK	25 FT

PARCEL SUMMARY							
PREMISES LABEL	FOLIO #	TAXMAP ID	ADDRESS	DEED BOOK	PAGE	GROSS LOT AREA (Sq. Ft.)	LOT AREA CLEAR OF EX. ROW (Sq. Ft.)
A	36-01-00538-00	36-11-348-000	204 STRAFFORD AVE	4569	60	153,025	137,458
A	36-01-00538-00	36-11-348-000	204 STRAFFORD AVE	4569	60	153,025	137,458
B	36-01-00539-00	36-11-347-001	228 STRAFFORD AVE	4569	60	200,479	192,058
B	36-01-00540-00	36-11-347-000	0 STRAFFORD AVE	4569	60	353,504	329,516

PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
 - - - INDEX CONTOUR (5' INTERVAL)
 - STORM SEWER PIPING
 - SANITARY SEWER PIPING
 - GAS MAIN
 - WATER MAIN / SERVICE
 - OVERHEAD WIRE
 - UNDERGROUND TELEPHONE
 - EDGE OF PAVEMENT
 - FENCE LINE
 - EXISTING BUILDINGS
 - EXISTING ASPHALT
 - EXISTING WALKWAY
 - EXISTING WALL
- SEE EXISTING TREE INVENTORY PLAN SHEET 02-1, FOR EXISTING TREE SPECIES, SIZE, AND CONDITION



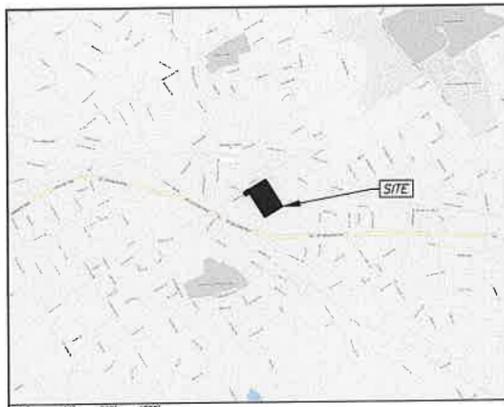
NUM.	DATE	REVISION

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
HAMILTON ESTATE
204 & 228 STRAFFORD AVE
WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
DATE: MAY 18, 2023

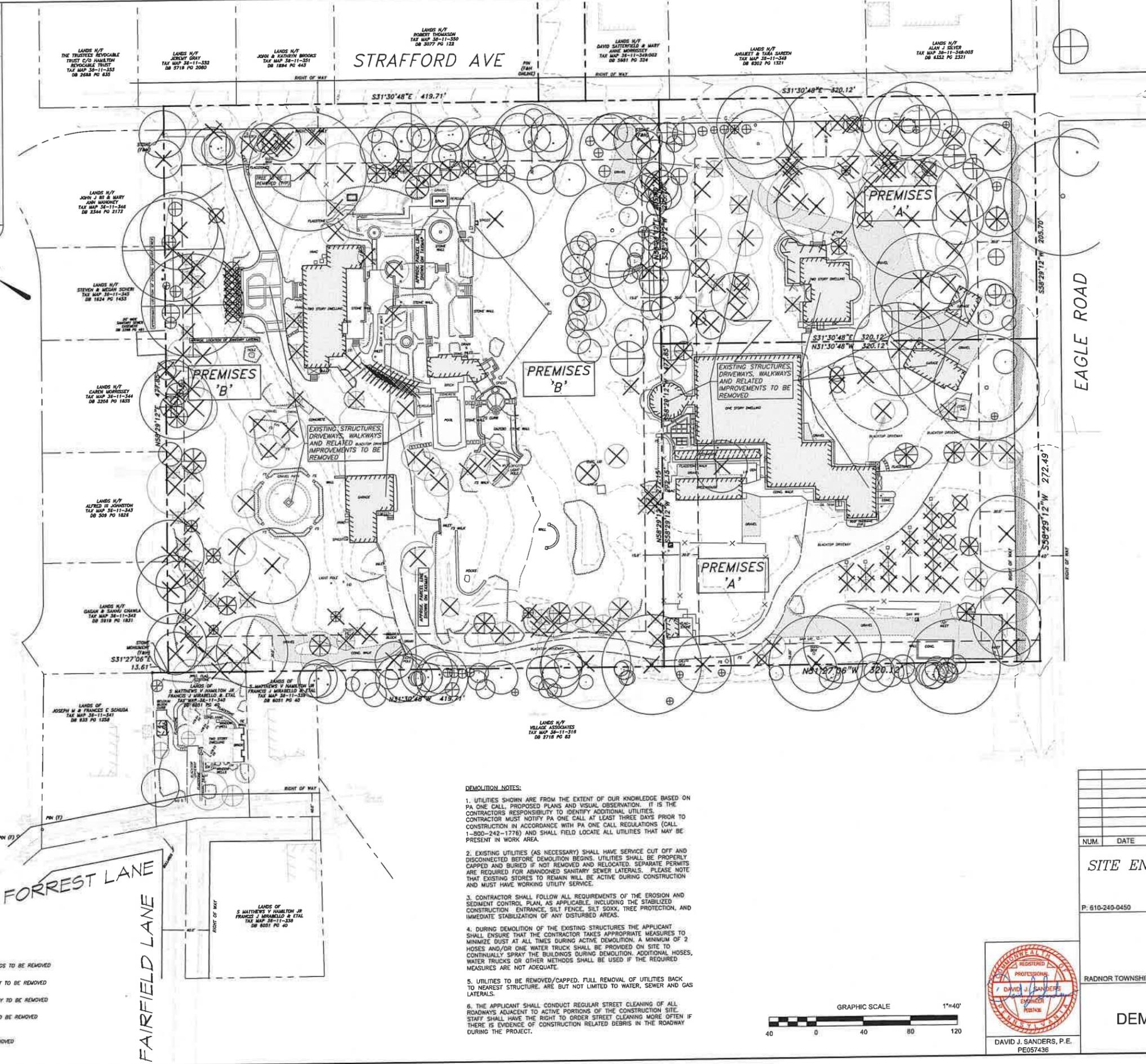
EXISTING CONDITIONS PLAN SHEET 2 of 14
SCALE: 1" = 40'



LOCATION MAP

NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325

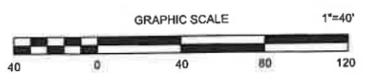


DEMOLITION NOTES:

- UTILITIES SHOWN ARE FROM THE EXTENT OF OUR KNOWLEDGE BASED ON PA ONE CALL, PROPOSED PLANS AND VISUAL OBSERVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ADDITIONAL UTILITIES. CONTRACTOR MUST NOTIFY PA ONE CALL AT LEAST THREE DAYS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH PA ONE CALL REGULATIONS (CALL 1-800-242-1776) AND SHALL FIELD LOCATE ALL UTILITIES THAT MAY BE PRESENT IN WORK AREA.
- EXISTING UTILITIES (AS NECESSARY) SHALL HAVE SERVICE CUT OFF AND DISCONNECTED BEFORE DEMOLITION BEGINS. UTILITIES SHALL BE PROPERLY CAPPED AND BURIED IF NOT REMOVED AND RELOCATED. SEPARATE PERMITS ARE REQUIRED FOR ABANDONED SANITARY SEWER LATERALS. PLEASE NOTE THAT EXISTING STORES TO REMAIN WILL BE ACTIVE DURING CONSTRUCTION AND MUST HAVE WORKING UTILITY SERVICE.
- CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL PLAN, AS APPLICABLE, INCLUDING THE STABILIZED CONSTRUCTION, ENTRANCE, SILT FENCE, SILT SOXX, TREE PROTECTION, AND IMMEDIATE STABILIZATION OF ANY DISTURBED AREAS.
- DURING DEMOLITION OF THE EXISTING STRUCTURES THE APPLICANT SHALL ENSURE THAT THE CONTRACTOR TAKES APPROPRIATE MEASURES TO MINIMIZE DUST AT ALL TIMES DURING ACTIVE DEMOLITION. A MINIMUM OF 2 HOSES AND/OR ONE WATER TRUCK SHALL BE PROVIDED ON SITE TO CONTINUALLY SPRAY THE BUILDINGS DURING DEMOLITION. ADDITIONAL HOSES, WATER TRUCKS OR OTHER METHODS SHALL BE USED IF THE REQUIRED MEASURES ARE NOT ADEQUATE.
- UTILITIES TO BE REMOVED/CAPPED. FULL REMOVAL OF UTILITIES BACK TO NEAREST STRUCTURE, ARE BUT NOT LIMITED TO WATER, SEWER AND GAS LATERALS.
- THE APPLICANT SHALL CONDUCT REGULAR STREET CLEANING OF ALL ROADWAYS ADJACENT TO ACTIVE PORTIONS OF THE CONSTRUCTION SITE. STAFF SHALL HAVE THE RIGHT TO ORDER STREET CLEANING MORE OFTEN IF THERE IS EVIDENCE OF CONSTRUCTION RELATED DEBRIS IN THE ROADWAY DURING THE PROJECT.

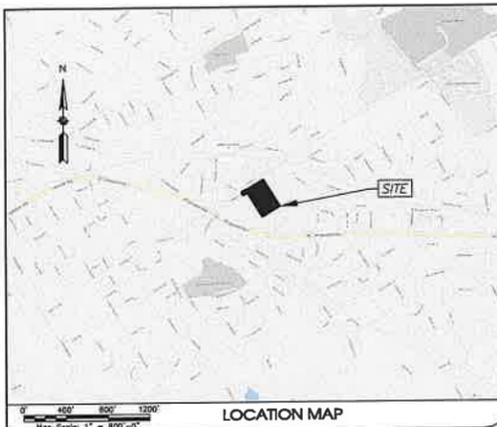
PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
 - - - INDEX CONTOUR (5' INTERVAL)
 - ST — STORM SEWER PIPING
 - S — SANITARY SEWER PIPING
 - G — GAS MAIN
 - W — WATER MAIN / SERVICE
 - OW — OVERHEAD WIRE
 - T — UNDERGROUND TELEPHONE
 - E — EDGE OF PAVEMENT
 - F — FENCE LINE
- [Hatched Box] EXISTING BUILDINGS TO BE REMOVED
 - [Dotted Box] EXISTING ASPHALT TO BE REMOVED
 - [Cross-hatched Box] EXISTING WALKWAY TO BE REMOVED
 - [Solid Box] EXISTING WALL TO BE REMOVED
 - [X] TREE TO BE REMOVED



DAVID J. SANDERS, P.E.
PE057436

NUM.	DATE	REVISION
PLAN PREPARED BY: SITE ENGINEERING CONCEPTS, LLC P.O. BOX 1992 SOUTHEASTERN, PA 19399 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM		
PLAN PREPARED FOR: HAMILTON ESTATE 204 & 228 STRAFFORD AVE WAYNE, PA 19087		
RADNOR TOWNSHIP DELAWARE COUNTY		PENNSYLVANIA DATE: MAY 18, 2023
DEMOLITION PLAN		SHEET 3 of 14 SCALE: 1" = 40'



NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM AERIAL PHOTOGRAPHS, OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325



ZONING SUMMARY			
R-4 Residential District - Proposed Density Modification Development (Townhouses)			
ORDINANCE ITEM	REQUIREMENT	EXISTING	PROPOSED
MIN NET TRACT AREA SIZE	N/A	N/A	7,297 ACRES
MIN RESIDENTIAL BUFFER	N/A	N/A	26 FT
MIN. SETBACKS			
FROM ROW	40 FT	N/A	41 FT
FROM PROPERTY LINE	25 FT	N/A	26 FT
MAX UNITS PER BUILDING	8	N/A	3
MIN SIDE TO SIDE DISTANCE	20 FT	N/A	31 FT
MAX DENSITY	5.5 DU/ACRE	N/A	38 (40 ALLOWED)
MAX. BUILDING COVERAGE	35%	6.1%	24.1%
MAX. IMPERVIOUS COVERAGE	45%	25.4%	43.7%
MIN. OPEN SPACE	25%	N/A	28% (10% MIN)

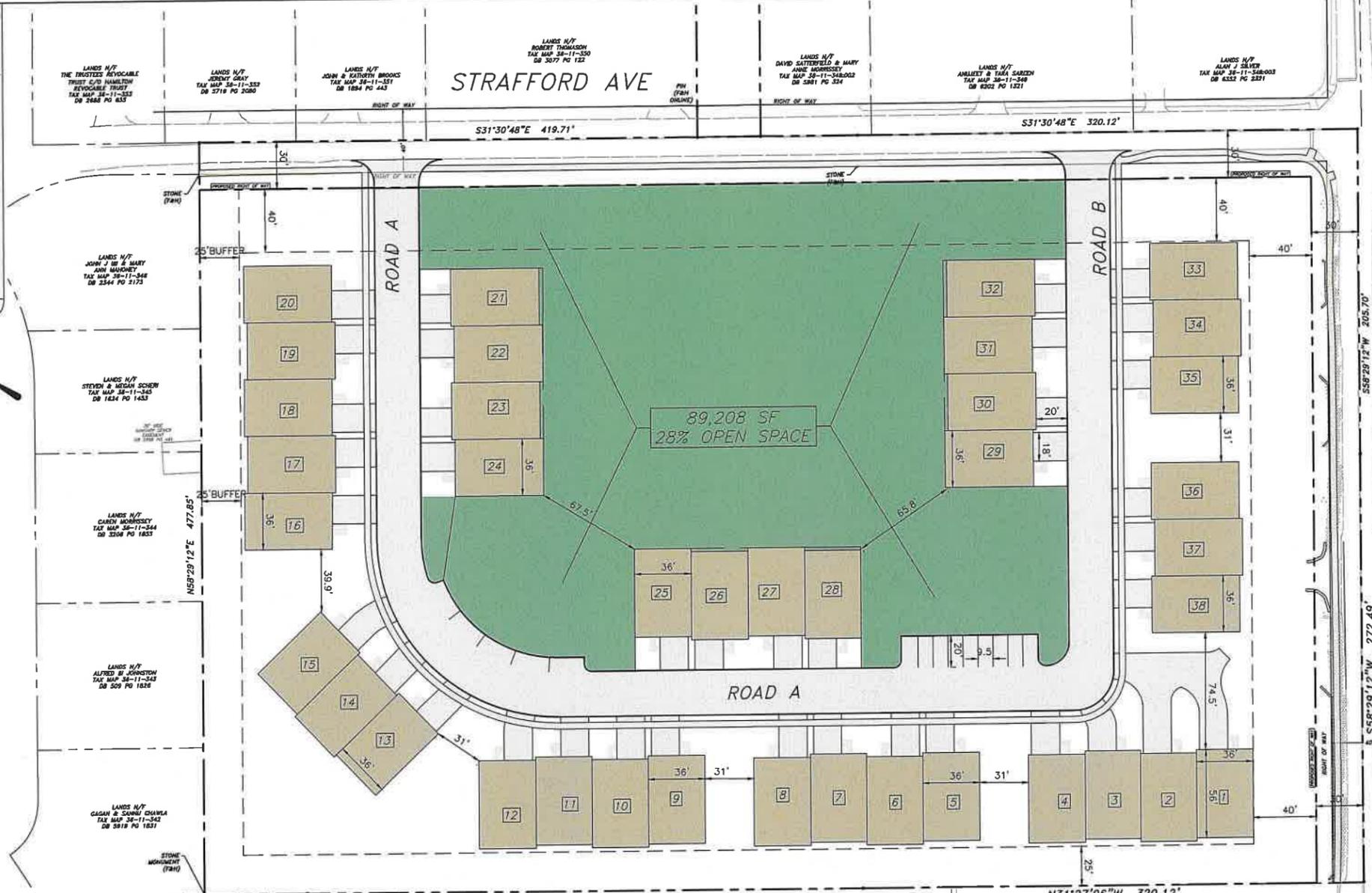
IMPERVIOUS SUMMARY (SQ. FT.)				
NET LOT AREA	EXISTING	TO BE REMOVED	TO BE ADDED	PROPOSED
BUILDINGS	25,600	25,600	76,608	76,608
ASPHALT	27,678	27,678	50,050	50,050
WALKS/CONC.	8,634	8,634	12,348	12,348
OTHER IMPERVIOUS	17,877	17,877	0	0
TOTAL BUILDING COVERAGE	25,600	25,600	76,608	76,608
TOTAL BUILDING PERCENTAGE	6.1%	6.1%	24.1%	24.1%
TOTAL IMPERVIOUS COVERAGE	80,787	80,787	138,004	138,004
TOTAL IMPERVIOUS PERCENTAGE	25.4%	25.4%	43.7%	43.7%
IMPERVIOUS REMAINING FOR FUTURE DEVELOPMENT				4,034

PLAN LEGEND

BOLD LINES: PROPOSED
 FADED LINES: EXISTING

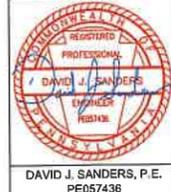
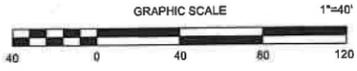
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- SANITARY SEWER PIPING
- GAS MAIN
- WATER MAIN / SERVICE
- OVERHEAD WIRE
- UNDERGROUND TELEPHONE
- EDGE OF PAVEMENT
- FENCE LINE

PROPOSED BUILDINGS
 PROPOSED ASPHALT
 PROPOSED WALKWAY



ZONING SUMMARY		
R-4 Residential District - Proposed Density Modification Development (Townhouses Article XIX)		
Ordinance Item	Requirement	Proposed
Min. Net Tract Area Size: *	5 Acres	7,297 Acres
Min. Common Open Space	25%	(89,208 SF) 28.1%
Max. Building Coverage	35%	22.7%
Max. Impervious Coverage	45%	41.2%
Min. Buffer (along residential districts)	25 FT	26 FT
Min. Building Setback	40 FT. from ROW	41 FT.
	25 FT. from property line	31 FT.
Max. Units per building	8	5
Min. Separation	20 FT.	31 FT.
Max. Density	5.5 DU/Acre	38 (40 ALLOWED)

* Section 280-92.B-Tract Area, for the purpose of this article, shall consist of all that total area proposed for development, but shall exclude all portions of the tract subject and servient to easements and legal rights-of-way to which the dominant portion of the tract is not afforded access and use directly from the interior road system of the dominant tract.
 Section 280-92.C-In computing maximum gross density, there shall be excluded from the determination of tract size 1/2 of all land situated in the floodplain and 1/2 of all land situated on slopes over 22%.



- GENERAL NOTES**
1. THE TOWNHOUSE DEVELOPMENT SHALL BE CONSTRUCTED OWNED AND OPERATED UNDER SINGLE OWNERSHIP, OR UNDER THE PENNSYLVANIA UNIT PROPERTY ACT, OR SIMILAR STATUTE SUCH AS THE PLANNED COMMUNITY ACT.
 2. THE DEVELOPMENT WILL BE SERVED BY SANITARY SEWERS AND PUBLIC WATER SUPPLY.
 3. EACH TOWNHOUSE SHALL HAVE AT LEAST TWO FLOORS IN COMPLIANCE WITH APPLICABLE HEIGHT LIMITS AND SHALL BE OCCUPIED AS A SINGLE-FAMILY DWELLING.
 4. NO MORE THAN TWO CONTIGUOUS TOWNHOUSES IN ANY GROUP MAY BE CONSTRUCTED IN LINE AND EACH TOWNHOUSE SHALL HAVE AT LEAST ONE PLAN ELEMENT ON ANY FLOOR WHICH PROJECTS OR RECESSES WITHIN THE WALL PLANE OF THE FACADE A MINIMUM DIMENSION OF TWO FEET.
 5. THE DEVELOPMENT WILL BE SERVICED BY PECO ELECTRIC.
 6. 18 FORREST LANE IS BEING SHOWN FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT INCLUDED IN THE ZONING CALCULATIONS. THE PROPERTY OWNER IS PROVIDING EASEMENTS FOR UTILITIES.

PROPERTY OWNER
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF DELAWARE

ON THE ____ DAY OF _____ 20____ BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, THE UNDERSIGNED OFFICER PERSONALLY APPEARED, WHO ACKNOWLEDGED HIM/HERSELF TO BE THE _____ OF THE OWNER OF THE PROPERTIES PROPOSED TO BE DEVELOPED IN THE SUBJECT PLAN, BEING AUTHORIZED TO DO SO, ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF THE PROPERTIES SHOWN THEREON, SITUATED IN THE TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA, AND DESCRIBED THAT THIS PLAN IS MADE WITH THE OWNER'S FREE CONSENT AND INTENDED TO BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR FORESAID.

NOTARY _____

OWNER _____

RADNOR TOWNSHIP
 THIS IS TO CERTIFY THAT THE BOARD OF SUPERVISORS HAS APPROVED THIS LAND DEVELOPMENT PLAN FOR STRAFFORD AVENUE AND EAGLE ROAD, ON THE ____ DAY OF _____ FOR RECORDING AT THE RECORDER OF DEEDS OF DELAWARE COUNTY, MEDIA, PENNSYLVANIA. OFFERS OF DEDICATION HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON THE PLAN AND TO BE REQUIRED UNDER THE SUBDIVISION AND DEVELOPMENT AGREEMENT.

APPROVED THE ____ DAY OF _____ 20____
 BOARD OF SUPERVISORS SIGNED THIS ____ DAY OF _____ 20____

CHAIRMAN _____
 MEMBER _____
 TOWNSHIP ENGINEER _____
 ATTEST: MANAGER _____

DELAWARE COUNTY PLANNING COMMISSION
 REVIEWED BY THE DELAWARE COUNTY PLANNING COMMISSION THIS ____ DAY OF _____ 20____

SECRETARY _____

RECORDER OF DEEDS
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF DELAWARE COUNTY AT MEDIA CHESTER, PENNSYLVANIA IN THE
 PLAN BOOK ____ PAGE ____ ON THE ____ DAY OF _____ 20____

RECORDER OF DEEDS _____

NUM.	DATE	REVISION

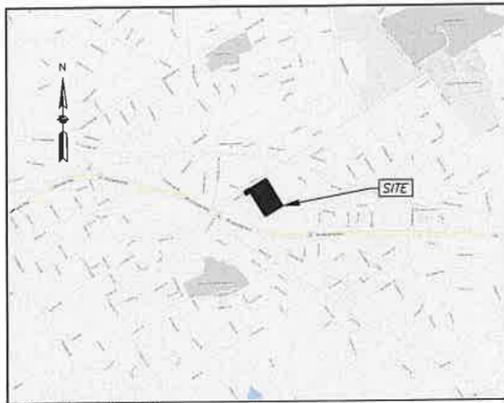
PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
 P.O. BOX 1992
 SOUTHEASTERN, PA 19399
 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
HAMILTON ESTATE
 204 & 228 STRAFFORD AVE
 WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
 DATE: MAY 18, 2023

RECORD PLAN

SHEET 4 of 14
 SCALE: 1"=40'



LOCATION MAP

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DESIGN S/N: 20190750324 & 20190750325



SOIL DATA

ENTIRE PROJECT AREA COMPOSED OF UrbB SOILS ACCORDING TO THE PENN STATE SOIL MAP WEBSITE.
 UrbB - URBAN LAND-OLENGLC COMPLEX
 0 TO 8 PERCENT SLOPES
 DEPTH TO SEASONAL HIGH WATER TABLE: MORE THAN 80"
 DEPTH TO BEDROCK: 80" TO 120"
 HYDROLOGICAL CLASSIFICATION TYPE B

TABLE E.1 LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS (ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION")

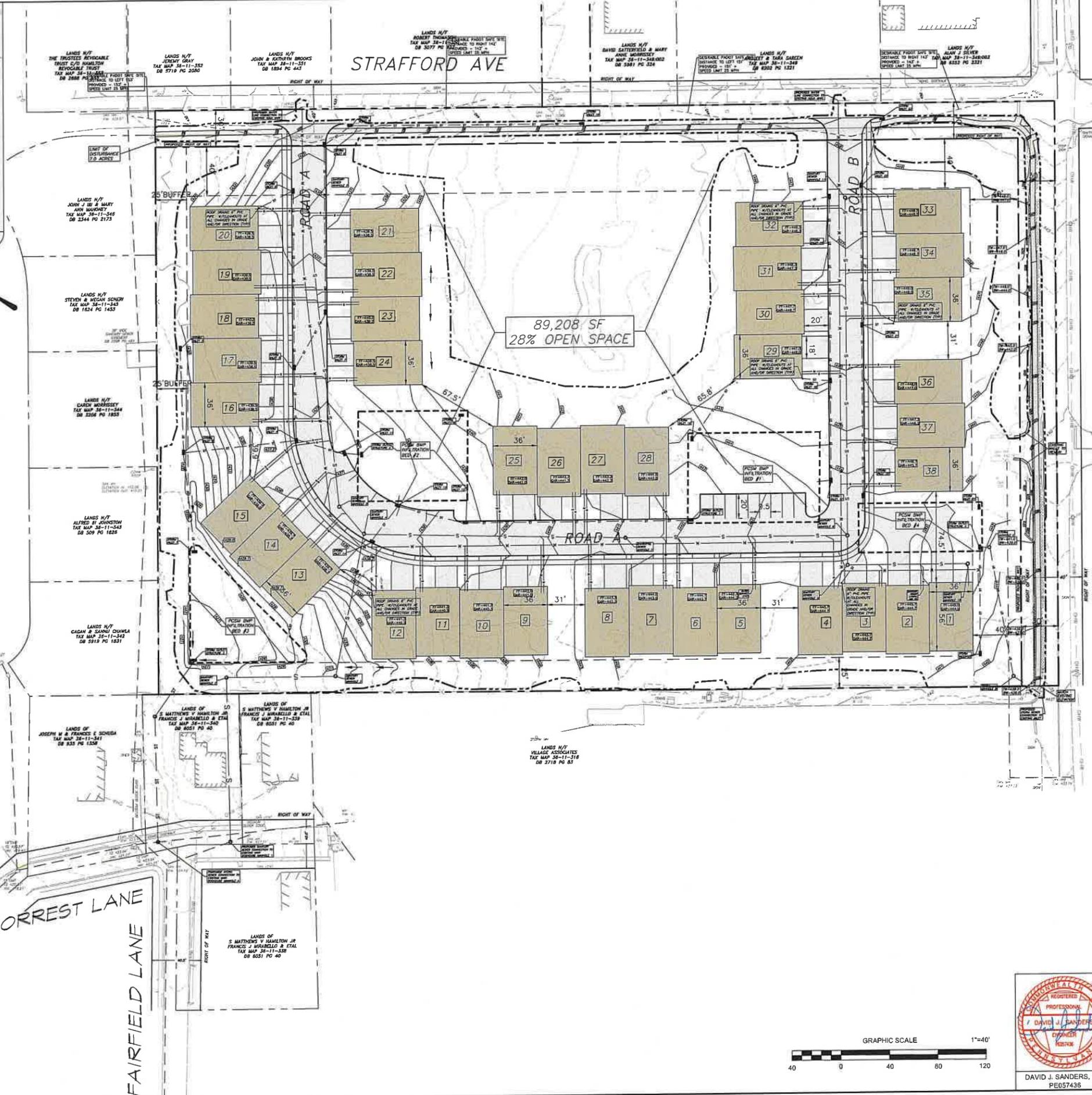
SOIL NAME	CUTBANKS / CAVE	CORROSION TO CONCRETE / STEEL	EXPANSION / CONTRACTION	FLOODING	FLUCTUATING WATER TABLE	LIQUIDITY INDEX	LOW PLAIN / HIGH PLAIN	PERMEABILITY	PLASTER / MORTAR	POSSIBLE FROST ACTION	REMOVAL OF SOIL	SETTLING / SLOTTING	SHRINKAGE / SWELLING	WATERBURY
URBAN														

SOIL RESOLUTIONS
 THE GEOTECHNICAL REPORT INDICATED THAT THERE WAS NO GROUNDWATER ENCOUNTERED AT THE EXCAVATION DEPTHS. IF GROUND WATER IS ENCOUNTERED WATER TIGHT STORM WATER PIPES AND CLAY CHECK DAMS USED IN SANITARY SEWER TRENCHING.
 FROST PROTECTION-AVOID WINTER GRADING

PLAN LEGEND

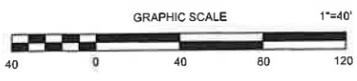
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- EXISTING EDGE OF WOODS
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING FENCE LINE
- EXISTING STORMWATER INLET
- PROPERTY LINE
- BUILDING SETBACK LINE
- PROPOSED CONTOUR
- PROPOSED STORM WATER
- PROPOSED CURB
- PROPOSED STORMWATER INLET

PROPOSED BUILDINGS
 PROPOSED ASPHALT
 PROPOSED WALKWAY

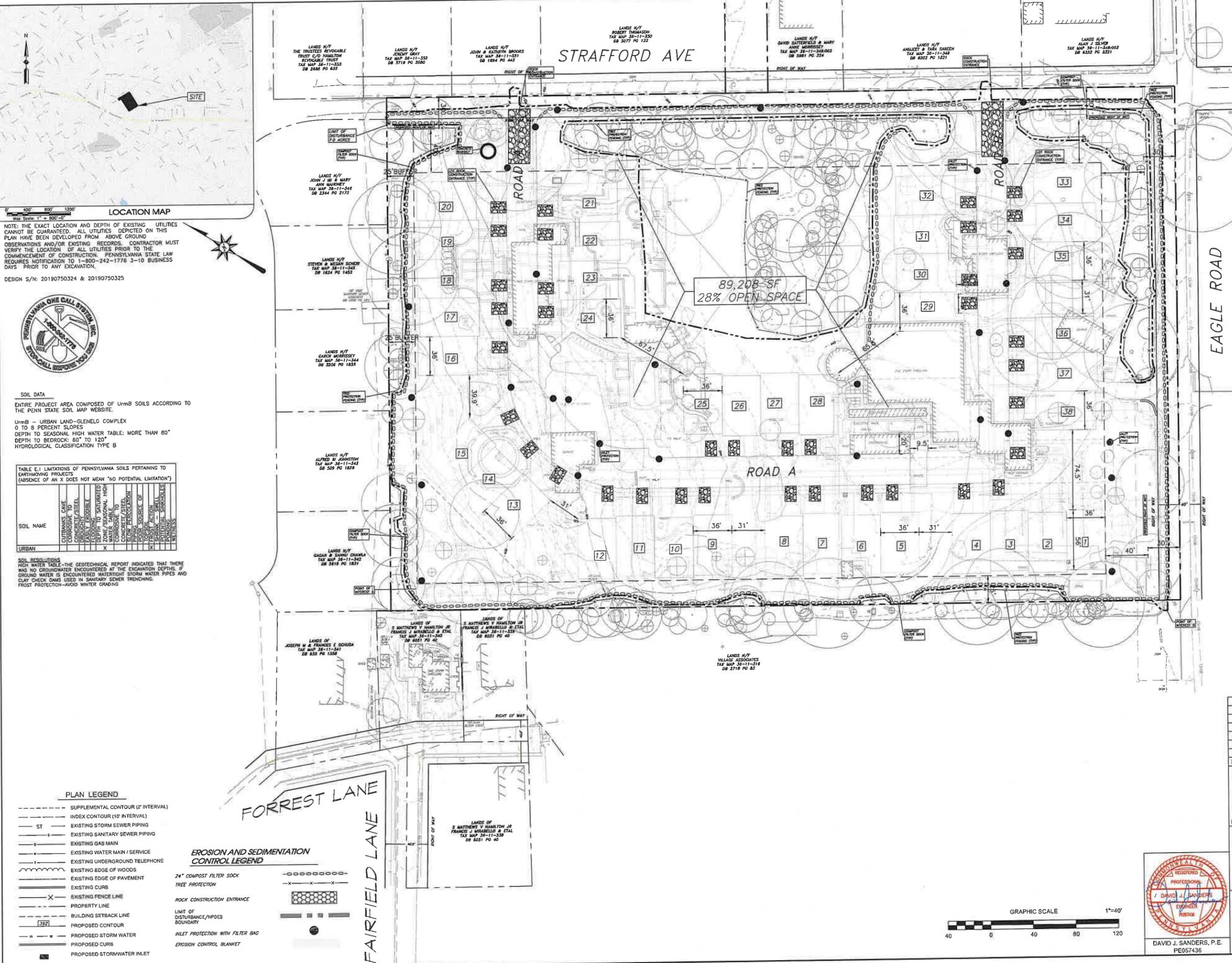


- PROJECT NOTES
- SHOULD ANY TREES NOT SCHEDULED OR PERMITTED TO BE REMOVED BE IRREPARABLY DAMAGED DURING CONSTRUCTION AND DIE WITHIN EIGHTEEN (18) MONTHS OF THE CONCLUSION OF CONSTRUCTION ACTIVITIES, THOSE TREES WILL BE REQUIRED TO BE REPLACED.
 - GRADING AND EARTHMOVING OPERATIONS SHALL BE MINIMIZED DURING THE PERIOD NOVEMBER 15 TO APRIL 1 WHEN RE-VEGETATION OF EXPOSED GROUND SURFACE IS DIFFICULT. MULCH, STRAW, STONE AND/OR SOD SHALL BE USED TO STABILIZE ALL AREAS DENUDE DURING THIS TIME PERIOD.
 - ROOF DRAIN COLLECTION PIPING SHALL BE 6" PVC @ 0.02 FT/FT MIN. CLEANOUTS SHALL BE PROVIDED AT ALL CHANGES IN GRADE AN/OR DIRECTION.
 - THE MAXIMUM TIME OF EXPOSURE FOR BARE SOIL AREAS SHALL BE TWENTY (20) DAYS BEFORE STABILIZATION MEASURES ARE IMPLEMENTED.
 - ROUTINE END-OF-DAY CHECKS AND FOLLOWING STORMS SHALL BE REQUIRED DURING THE CONSTRUCTION TO ENSURE THE MEASURES ARE WORKING PROPERLY.
 - NEWLY GRADED SLOPES OF OVER 25% MUST BE STABILIZED WITH SOD OR JUTE NETTING AND SEED.
 - UTILITY LINES PER ONE CALL INFORMATION HAVE BEEN SHOWN. CONTRACTOR MUST VERIFY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - GAS, ELECTRIC, WATER OR ANY OTHER UTILITY TO BE ABANDONED SHALL BE PROPERLY SEALED/REMOVED.
 - HIGH DURABILITY PAVEMENT MARKING MATERIAL SHALL BE USED FOR ALL PAVEMENT STRIPPING.
 - THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE SEEPAGE BED AND STORM PIPING SHALL BE THE OBLIGATION OF THE HOMEOWNERS' ASSOCIATION.

NUM.	DATE	REVISION
PLAN PREPARED BY:		
SITE ENGINEERING CONCEPTS, LLC		
P.O. BOX 1992 SOUTHEASTERN, PA 19399		
P: 610-240-0450	F: 610-240-0451	E: INFO@SITE-ENGINEERS.COM
PLAN PREPARED FOR:		
HAMILTON ESTATE		
204 & 228 STRAFFORD AVE WAYNE, PA 19087		
RADNOR TOWNSHIP	DELAWARE COUNTY	PENNSYLVANIA
		DATE: MAY 18, 2023
POST CONSTRUCTION STORMWATER PLAN		SHEET 5 of 14
		SCALE: 1" = 40'



STRAFFORD AVE



- CONSTRUCTION STAGING**
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES THE OPERATOR SHALL WRITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON-SITE PRE-CONSTRUCTION MEETING.
- NOTE: ALL MATERIALS ASSOCIATED WITH SEDIMENT REMOVAL MUST BE ON-SITE PRIOR TO EARTH DISTURBANCE.
- STAGE 1. INSTALL TREE PROTECTION FENCING, Silt FENCE, INLET PROTECTION AND ROCK CONSTRUCTION ENTRANCE. ONCE INSTALLATION OF THESE ITEMS ARE COMPLETE, THE TOWNSHIP ENGINEER SHALL BE NOTIFIED PRIOR TO ANY DEGRADATION OR OTHER EARTH DISTURBANCE.
 - STAGE 2. ONCE AUTHORIZATION FROM THE TOWNSHIP ENGINEER IS OBTAINED, STRIP TOPSOIL, STOCKPILE STOCKPILE. STOCKPILES ARE TO BE LIMITED TO 35 FEET WITH A MAXIMUM SIDE SLOPE OF 2:1. IMMEDIATELY STABILIZE STOCKPILE.
 - STAGE 3. CONSTRUCT UTILITY MAINS.
 - STAGE 4. CONSTRUCT ROAD.
 - STAGE 5. EXCAVATE FOR BUILDING CONSTRUCTION.
 - STAGE 6. CONSTRUCT BUILDING.
 - STAGE 7. NOTIFY TOWNSHIP ENGINEER 48 HOURS PRIOR TO THE INSTALLATION OF THE INFILTRATION BASIN.
 - STAGE 8. CRITICAL STAGE - INSTALL INFILTRATION BASIN, COLLECTION AND CONVEYANCE SYSTEM. INSTALL INLET PROTECTION ON NEW PILETS. MUST REMAIN UNTIL AREA STABILIZED. SEEPAGE BED SHALL NOT RECEIVE RUNOFF UNTIL THE ENTIRE CONTRIBUTORY AREA HAS BEEN STABILIZED.
 - STAGE 9. CONSTRUCT WALK IMPROVEMENTS.
 - STAGE 10. SPREAD TOPSOIL, FINE GRADE, STABILIZE.
 - STAGE 11. UPON THE COMPLETION OF GRADING IN ANY AREA IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS PER ACRE, AND LINE AS PRESCRIBED.
 - STAGE 12. REMOVE ALL EROSION AND SEDIMENT CONTROL MEASURES ONCE CONTRIBUTORY AREAS ARE FULLY STABILIZED. IMMEDIATELY STABILIZE ANY REMAINING DISTURBED AREAS AND AREAS DISTURBED BY THE REMOVAL OF EROSION CONTROL FACILITIES WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS/ACRE, AND LINE AS PRESCRIBED.

LOCATION MAP

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SOIL DATA

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UrbmB - URBAN LAND-GLENELG COMPLEX
0 TO 8 PERCENT SLOPES
DEPTH TO SEASONAL HIGH WATER TABLE: MORE THAN 80"
DEPTH TO BEDROCK: 60" TO 120"
HYDROLOGICAL CLASSIFICATION TYPE B

TABLE E.1. LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS (ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION")

SOIL NAME	CLAY	COARSE SAND	CONCRETE/STEEL	CRACKING	DEPTH TO SATURATED ZONE	DEPTH TO SEASONAL HIGH WATER TABLE	EXPANSION	LIQUID LIMIT	PLASTICITY INDEX	SHRINKAGE	SMALL PARTICULATE	STRUCTURAL	WINDING
URBAN													

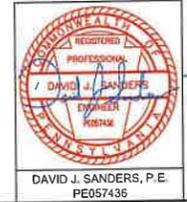
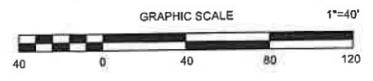
SOIL RESOLUTIONS

HIGH WATER TABLE-THE GEOTECHNICAL REPORT INDICATED THAT THERE WAS NO GROUNDWATER ENCOUNTERED AT THE EXCAVATION DEPTHS. IF GROUND WATER IS ENCOUNTERED WATER TIGHT STORM WATER PIPES AND CLAY CHECK DAMS USED IN SANITARY SEWER TRENCHING.

FROST PROTECTION-AVOID WINTER GRADING

- PLAN LEGEND**
- SUPPLEMENTAL CONTOUR (2' INTERVAL)
 - - - INDEX CONTOUR (10' INTERVAL)
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 - EXISTING SANITARY SEWER PIPING
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 - PROPERTY LINE
 - BUILDING SETBACK LINE
 - PROPOSED CONTOUR
 - PROPOSED STORM WATER
 - PROPOSED CURB
 - PROPOSED STORMWATER INLET

- EROSION AND SEDIMENTATION CONTROL LEGEND**
- 24" COMPOST FILTER SOCK
 - TREE PROTECTION
 - ROCK CONSTRUCTION ENTRANCE
 - LIMIT OF DISTURBANCE/NPDES BOUNDARY
 - INLET PROTECTION WITH FILTER BAG
 - EROSION CONTROL BLANKET



NUM.	DATE	REVISION

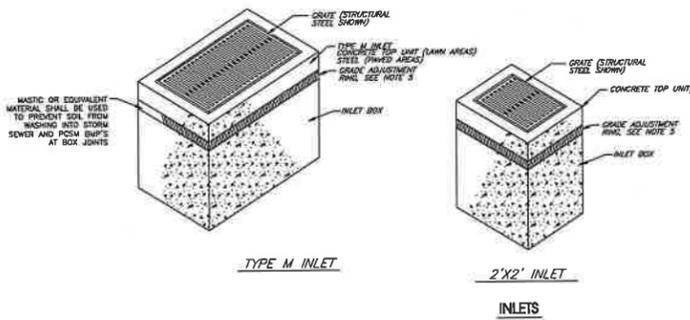
PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
HAMILTON ESTATE
204 & 228 STRAFFORD AVE
WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
DATE: MAY 18, 2023

EROSION AND SEDIMENTATION CONTROL PLAN

SHEET 6 of 14
SCALE: 1" = 40'



NOTES

CONSTRUCTION REQUIREMENTS:

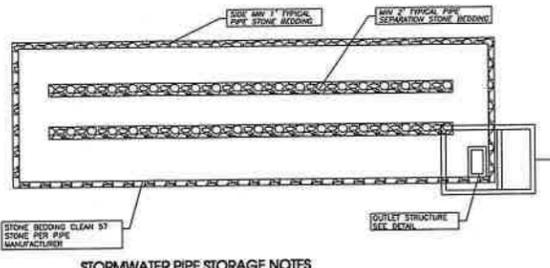
- CONSTRUCT IN ACCORDANCE WITH PERMITS PRODUCTION AND SPECIFICATIONS, SECTIONS 602, 604, 714, AND AS NOTED HEREON.
- MINIMUM CONCRETE CLASS CAST-IN-PLACE CLASS A PRECAST CLASS A
- PROVIDE STEEL REINFORCEMENT IN ACCORDANCE WITH SECTION 702. PROVIDE MINIMUM TENSILE STRENGTH OF 60,000 P.S.I.
- CLEAR COVER TOP STEEL: WALLS - CAST-IN PLACE 3" PRECAST FOOTINGS - CAST-IN PLACE 2" (TOP BARS) 2" (BOTTOM BARS) 1" (SIDE BARS) PRECAST 2" (TOP BARS) 2" (BOTTOM BARS) 1" (SIDE COVER) SLABS - CAST-IN PLACE 2" (TOP & BOTTOM BARS)

2. THE SELECTION OF COMPONENTS TO ACHIEVE A SPECIFIED INLET ASSEMBLY IS THE CONTRACTOR'S RESPONSIBILITY.

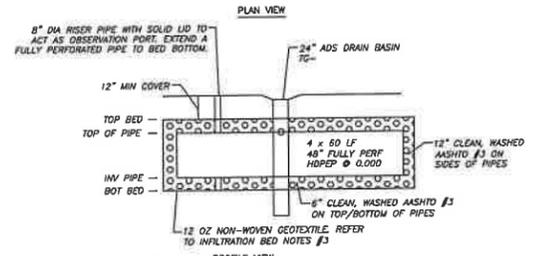
3. USE PRECAST CONCRETE OR STEEL GRADE ADJUSTMENT RINGS WHEN REQUIRED. (REHABILITATION PROJECTS)

4. TOP WALL REINFORCEMENT, BOTH DIRECTIONS, USE 0.12 #4/FT MIN. EACH WAY, EACH FACE.

5. FOR FOOTING REINFORCEMENT, TOP AND BOTTOM, USE #4 BARS AT 12" CENTERS EACH WAY OR 0.20 #4/FT MIN./FT² (REINFORCEMENT).



PIPE STORAGE DETAIL



PIPE STORAGE CONSTRUCTION SEQUENCE

- EXCAVATE AREA TO PROPOSED UNCOMPACTED SUBGRADE.
- PLACE LINER PER MANUFACTURER SPECIFICATIONS ON ALL SIDES OF BED.
- CAREFULLY PLACE STONE BEDDING TO NOT DAMAGE LINER.
- CONSTRUCT PIPE SYSTEM AND OUTLET STRUCTURES.
- PLACE REMAINING STONE AROUND PIPES.
- PLACE TOP PORTION OF LINER.

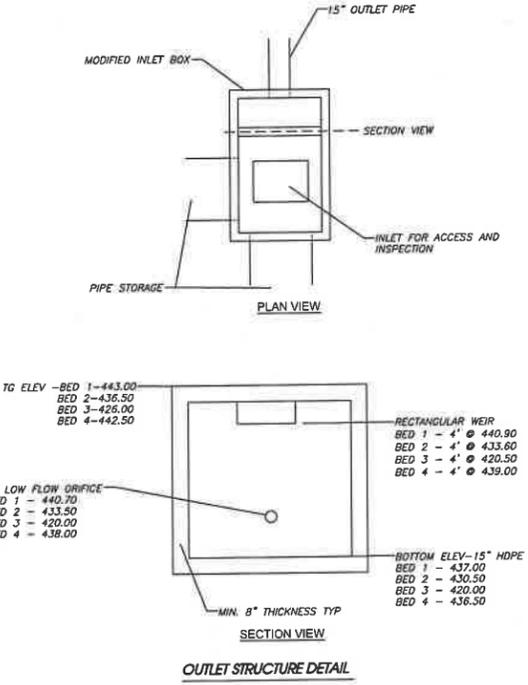
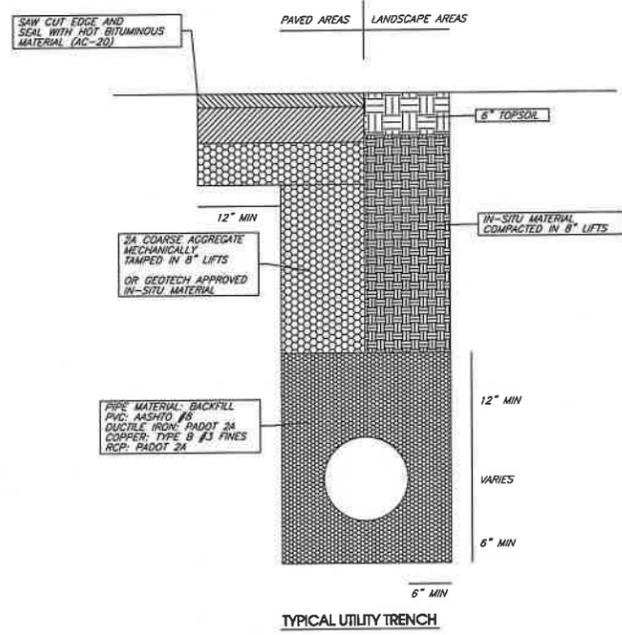
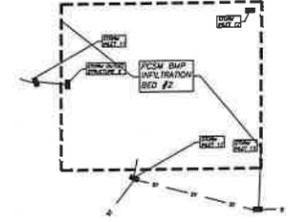
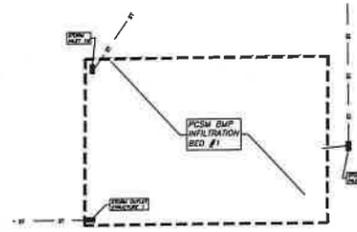
SHORT TERM/ROUTINE MAINTENANCE OF PIPE STORAGE:

- MAINTENANCE ACTIVITIES TO BE DONE ANNUALLY AND WITHIN 48 HRS AFTER EVERY MAJOR STORM EVENT (>1 INCH RAINFALL DEPTH).
- KEEPING ALL DEBRIS, INCLUDING GRASS CLIPPINGS, LEAVES, AND MOTOR OIL CLEAR OF INLET AND OUTLET STRUCTURES.
- REMOVING ANY ACCUMULATED DEBRIS.
- IF STORM WATER FACILITIES DO NOT DRAIN WITHIN 48 HOURS AFTER THE LAST STORM EVENT, THEY SHALL BE INSPECTED AND THEN FIXED OR REPLACED AS DETERMINED NECESSARY.

LONG TERM/HIGH-ROUTINE MAINTENANCE OF PIPE STORAGE:

- INSECTS AND/OR GORER BECOME PROBLEMS
- STANDING WATER LASTING LONGER THAN 72 HRS
- VISIBLE SIGNS OF SEDIMENT ACCUMULATION

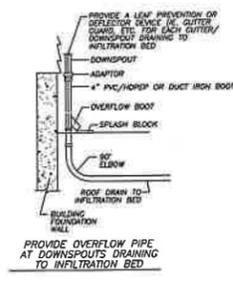
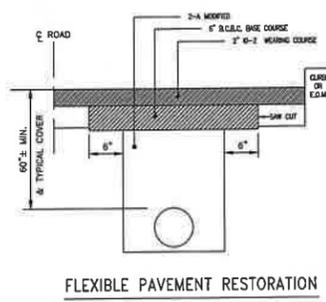
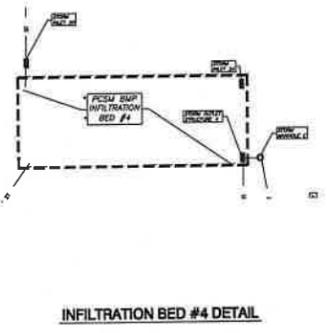
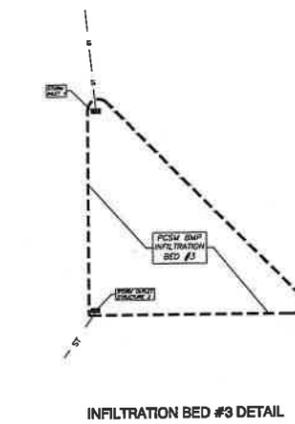
- CLEAR INLETS/PIPES/STONE/PAVING OF DEBRIS, VACUUM, RECONSTRUCT AS NECESSARY.
- REMOVE ACCUMULATED SEDIMENT/POLLUTANTS.
- RECONSTRUCT.
- PROVIDE FOR COMPLETION OF A WRITTEN REPORT DOCUMENTATION EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE ACTIVITY.
- CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER SIGNIFICANT STORM EVENTS.
- IF STORM WATER FACILITIES DO NOT DRAIN AFTER STORM EVENTS, THEY SHALL BE INSPECTED AND THEN FIXED OR REPLACED AS DETERMINED NECESSARY. IN THE EVENT THE PIPE STORAGE FAILS THE SYSTEM WILL NEED TO BE COMPLETELY REMOVED AND REPLACED.



- SCARIFY BOTTOM AND SIDES OF BASIN, TAKING CARE NOT TO COMPACT SOIL.
- PIPE MUST HAVE PERFORATIONS NO LESS THAN 5/16" DIAMETER AND PROVIDE AN OPEN AREA OF NOT LESS THAN 3.31 SQUARE INCHES PER SQUARE FOOT OF PIPE SURFACE. THE FOLLOWING FORMULA DETERMINES THE # OF HOLES/LINEAR FOOT OF PIPE: $(13.24 \times (\text{DIA OF PIPE IN FEET}) / (\text{HOLE SIZE IN INCHES})^2)$. SO FOR A 6" DIA PIPE THERE MUST BE AT LEAST 90 HOLES / LINEAR FOOT
- ENTIRE BED, SIDES TOP AND BOTTOM, SHALL BE WRAPPED IN SYNTHETIC INDUSTRIES NON-WOVEN #1201 OR ENGINEER APPROVED EQUAL. PROVIDE A MINIMUM 1" OVERLAP AT ALL SEAMS AND JOINTS. WHERE PROTRUSIONS OR PENETRATIONS OCCUR, GEOTEXTILE SHALL BE PERMANENTLY AFFIXED TO OBJECT.
- CARE SHOULD BE TAKEN IN THE PLACING OF STONE ATOP THE GEOTEXTILE SO AS TO AVOID TEARING OR RIPPING OF THE FABRIC. STONE SHOULD NOT BE DUMPED UNTIL A 6" LAYER OF STONE IS IN PLACE.
- PIPES CONNECTING INTO BEDS AT POINTS OTHER THAN DRAIN BASINS SHALL HAVE A STUB CONNECTION.

INFILTRATION BED NOTES

- SCARIFY BOTTOM AND SIDES OF BASIN, TAKING CARE NOT TO COMPACT SOIL.
- PIPE MUST HAVE PERFORATIONS NO LESS THAN 5/16" DIAMETER AND PROVIDE AN OPEN AREA OF NOT LESS THAN 3.31 SQUARE INCHES PER SQUARE FOOT OF PIPE SURFACE. THE FOLLOWING FORMULA DETERMINES THE # OF HOLES/LINEAR FOOT OF PIPE: $(13.24 \times (\text{DIA OF PIPE IN FEET}) / (\text{HOLE SIZE IN INCHES})^2)$. SO FOR A 72" DIA PIPE THERE MUST BE AT LEAST 814 HOLES / LINEAR FOOT
- ENTIRE BED, SIDES TOP AND BOTTOM, SHALL BE WRAPPED IN SYNTHETIC INDUSTRIES NON-WOVEN #1201 OR ENGINEER APPROVED EQUAL. PROVIDE A MINIMUM 1" OVERLAP AT ALL SEAMS AND JOINTS. WHERE PROTRUSIONS OR PENETRATIONS OCCUR, GEOTEXTILE SHALL BE PERMANENTLY AFFIXED TO OBJECT.
- CARE SHOULD BE TAKEN IN THE PLACING OF STONE ATOP THE GEOTEXTILE SO AS TO AVOID TEARING OR RIPPING OF THE FABRIC. STONE SHOULD NOT BE DUMPED UNTIL A 6" LAYER OF STONE IS IN PLACE.
- PIPES CONNECTING INTO BEDS AT POINTS OTHER THAN DRAIN BASINS SHALL HAVE A STUB CONNECTION.
- ALL CMP SHALL BE ALUMINIZED STEEL.



NUM.	DATE	REVISION

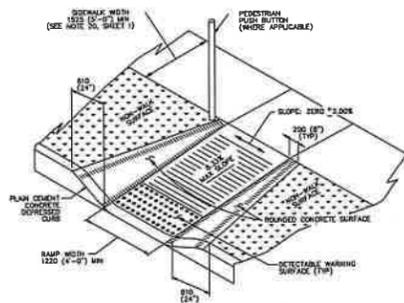
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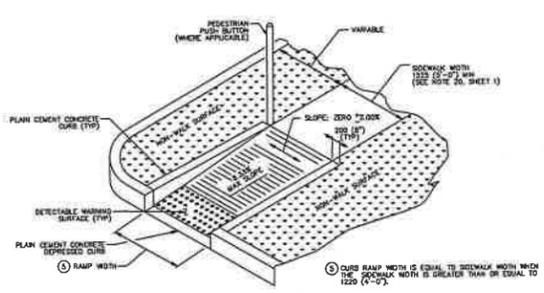
RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
DATE MAY 18, 2023

POST CONSTRUCTION STORMWATER DETAILS

SHEET 7 of 14
NO SCALE

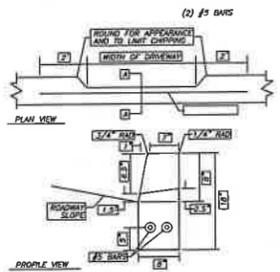


ALTERNATE
TYPE 4A
CURB RAMP
(PERPENDICULAR)

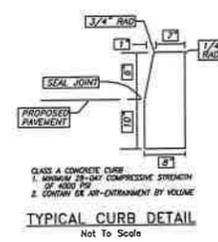


TYPE 4
CURB RAMP
(PARALLEL)
ADA HANDICAP ACCESSIBLE RAMPS

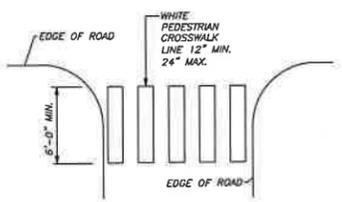
- NOTES**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION FOR SECTIONS 230, 200, 830, 810 AND 804.
 2. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJACENT TO ANY ROAD PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF CURB.
 3. CONSTRUCT CURB RAMP WITH A 2220 (4'-0") CLEARANCE OUTSIDE OF TRAVEL LANES AT THE BOTTOM OF THE RAMP. A DEPRESSURE CURB RAMP IS PROVIDED AT MARKED CROSSINGS. 2220 (4'-0") CLEARANCE IS LOCATED WITHIN THE MARRIAGE AND OUTSIDE OF THE TRAVEL LANES.
 4. PROVIDE CURB RESISTANT VENTURE ON CURB RAMP BY CONCRETE BRICKWORK MANUFACTURED TO THE SLOPE OF THE RAMP. EXTERIOR FILL SHALL BE WITHIN AND LENGTH OF THE CURB RAMP INCLUDING FLARING SIDE RAMP.
 5. VERIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD.
 6. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON:
 7. IF IT IS NECESSARY TO LIMIT THE RAMP OF A PARALLEL OR PERPENDICULAR CURB RAMP IN ORDER TO AVOID CHANGING GRADES PROHIBITIVELY WITHIN TRAVELING THE FULL RAMP LENGTH NOT TO EXCEED 2000 (6'-7") PARALLEL RAMP SLOPE AS NECESSARY TO PROVIDE ACCESS TO THE MARRIAGE EXTENT POSSIBLE.
 - 8.
 9. THE DETAILS SHOW PEDESTRIAN PUSH BUTTON HOLES TO ILLUSTRATE THE PROPER PLACEMENT OF PEDESTRIAN PUSH BUTTONS. PEDESTRIAN PUSH BUTTONS ARE TO BE INSTALLED WHERE APPLICABLE.
 10. CONSTRUCT BUILT-UP CURB RAMP OF BITUMINOUS MATERIAL AS INDICATED.
 11. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. US CUSTOMARY UNITS IN () PARENTHESES.
 12. ALIGN DETECTABLE WARNING STRIPS ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB.
 13. PROVIDE DETECTABLE WARNING STRIPS 610 (24") MINIMUM IN THE DIRECTION OF PROCEEDING TRAVEL. WIDTH OF RAMP AT THE GRADE BREAK MUST STREET EDGE PROVIDE THE CONTRAST INDICATED WITH ADJACENT WALKWAY SURFACES. STRIP LIGHT-ORANGE OR DARK-ORANGE FOR THE FULL WIDTH OF RAMP.
 14. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR ACCESSIBLE ROUTE.
 15. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAXIMUM ALLOWABLE SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS OR CONTRACT REQUIREMENTS AS APPLICABLE. WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
 16. THE UNFINISHED ADJOINING SURFACE AT THE BOTTOM AND TOP OF CURB RAMP IS NOT TO BE ADJACENT TO THE RAMP. THE SLOPE ADJACENT TO THE RAMPWAY, THE LONGITUDINAL SLOPE IS NOT TO EXCEED 1.00% FOR ALL LOCATIONS. DO NOT EXCEED 2.00% SLOPE FOR LOCATIONS THAT REQUIRE A TURNING MANOEUVRE BY THE MARRIAGE OF THE CURB RAMP AND ADJOINING ROAD. THE SLOPE IS CORRECTED IN AN ALTERNATE DIFFERENCE OF 11.00% SEE SHEET 8 FOR DETAILS.
 17. THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
 18. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF A RAMP IS MEASURED WITH RESPECT TO THE HYPOTENUSE. THE LENGTH OF A CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 1800 (6'-0") FOR A 12.1 (1:1) SLOPE.
 19. SIDEWALK WIDTH MAY BE ADJUSTED TO 1220 (4'-0") WHEN PASSING AREAS 1025 X 1525 (3'-7" X 5'-1") ARE PROVIDED EVERY 610 (2'-0").
 20. THE MARRIAGE LINE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
 21. DEPRESSURE CURB FOR CURB RAMP MUST BE FLUSH TO ADJACENT ROADWAY. TOP OF ROAD CURB SHALL BE GRADED TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING.



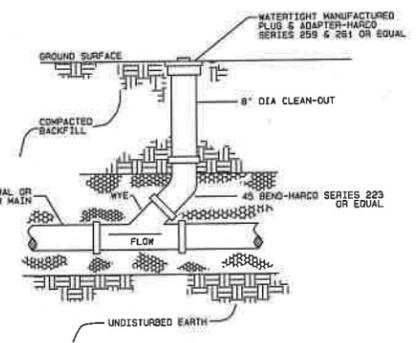
DEPRESSURE CURB FOR DRIVES
Not To Scale



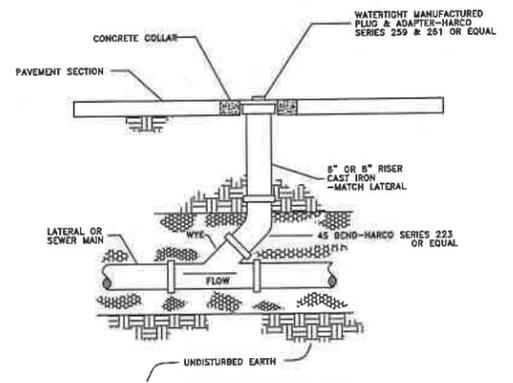
TYPICAL CURB DETAIL
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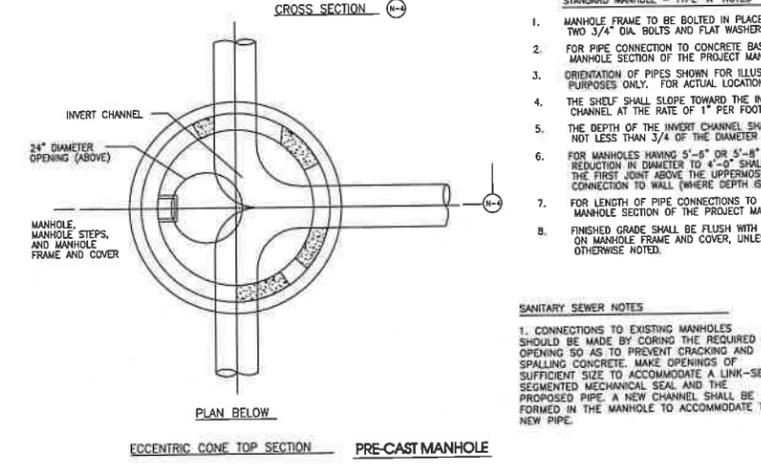
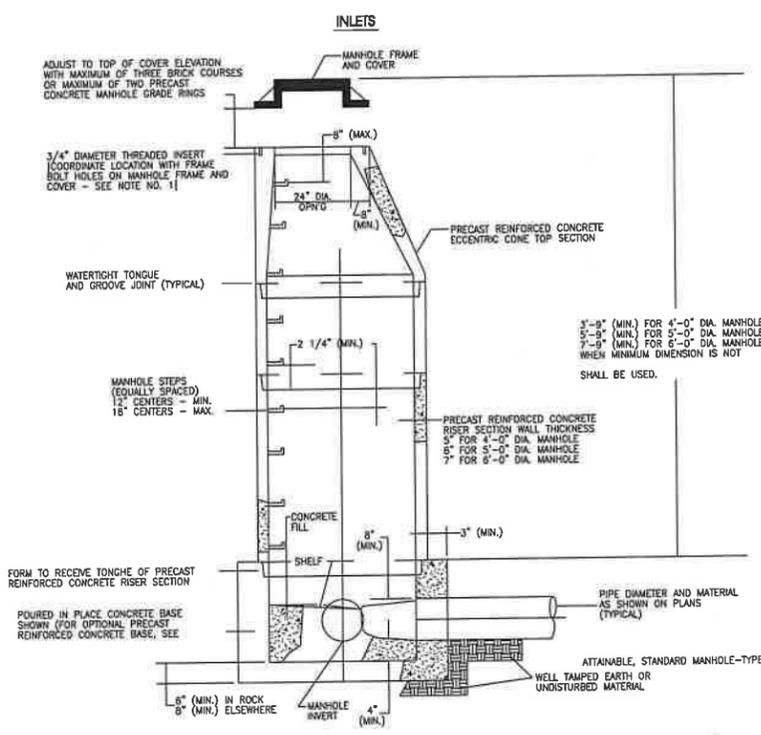
CROSSWALK DETAIL



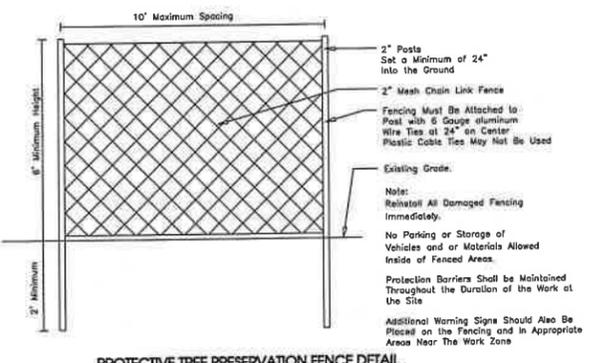
CLEANOUT - LANDSCAPE AREA



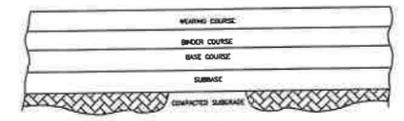
CLEANOUT - PAVED AREA



PLAN BELOW
ECCENTRIC CONE TOP SECTION
PRE-CAST MANHOLE



PROTECTIVE TREE PRESERVATION FENCE DETAIL



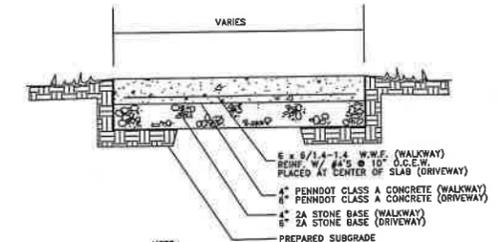
REQUIRED BITUMINOUS
PAVEMENT SECTION
N.T.S.

DEPTH	LOCATION	
	STREET	INDIVIDUAL DRIVEWAYS
WEARING:	2"	2"
BINDER:	2" (D-2 OR FB-1)	NONE
SUBBASE:	6" PA 4A 2" SCREDDINGS LABORATORY COMPACTED TO FILL Voids	6"

BITUMINOUS PAVEMENT SPECIFICATIONS, ALL SECTIONS, APPLICABLE

WEARING COURSE	SUPERPAVE ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 54-22, 3 TO <10 MILLION ESALS, 8.5 MM MAX. SFL-H
BINDER COURSE	SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BINDER COURSE, PG 64-22, 10 TO <30 MILLION ESALS, 25.0 MM MAX. SFL-H

NOTE: CONSTRUCT COURSE, AGGREGATE SUBBASE AND BITUMINOUS PAVEMENT IN ACCORDANCE WITH APPLICABLE SECTIONS OF PADOT PUB. 400.



CONCRETE PAVEMENT (WALKWAY AND DRIVEWAY)

STANDARD MANHOLE - TYPE "A" NOTES

1. MANHOLE FRAME TO BE BOLTED IN PLACE WITH TWO 3/4" DIA. BOLTS AND FLAT WASHERS.
2. FOR PIPE CONNECTION TO CONCRETE BASE, SEE MANHOLE SECTION OF THE PROJECT MANUAL.
3. ORIENTATION OF PIPES SHOWN FOR ILLUSTRATION PURPOSES ONLY. FOR ACTUAL LOCATIONS, SEE PLANS.
4. THE SHELVE SHALL SLOPE TOWARD THE INVERT CHANNEL AT THE RATE OF 1" PER FOOT (MINIMUM).
5. THE DEPTH OF THE INVERT CHANNEL SHALL BE NOT LESS THAN 3/4 OF THE DIAMETER OF THE PIPE.
6. FOR MANHOLES HAVING 5'-6" OR 5'-8" DIAMETER BASE, REDUCTION IN DIAMETER TO 4'-0" SHALL START AT THE FIRST JOINT ABOVE THE UPPERMOST PIPE CONNECTION TO WALL (WHERE DEPTH IS SUFFICIENT).
7. FOR LENGTH OF PIPE CONNECTIONS TO MANHOLES, SEE MANHOLE SECTION OF THE PROJECT MANUAL.
8. FINISHED GRADE SHALL BE FLUSH WITH TOP OF COVER ON MANHOLE FRAME AND COVER, UNLESS OTHERWISE NOTED.

SANITARY SEWER NOTES

1. CONNECTIONS TO EXISTING MANHOLES SHOULD BE MADE BY CORING THE REQUIRED OPENING SO AS TO PREVENT CRACKING AND SPALLING CONCRETE. MAKE OPENINGS OF SUFFICIENT SIZE TO ACCOMMODATE A LINK-SEAL SEGMENTED MECHANICAL SEAL AND THE PROPOSED PIPE. A NEW CHANNEL SHALL BE FORMED IN THE MANHOLE TO ACCOMMODATE THE NEW PIPE.

NUM.	DATE	REVISION

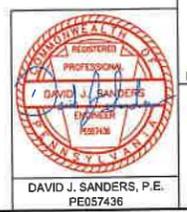
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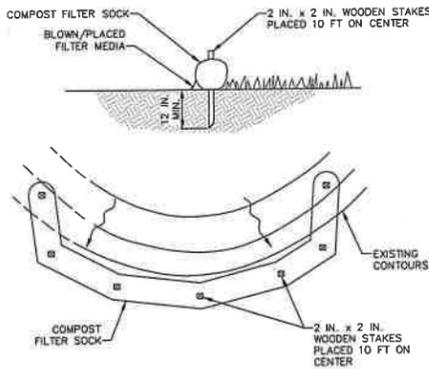
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DATE: MAY 18, 2023

CONSTRUCTION DETAILS

SHEET 8 of 14
NO SCALE

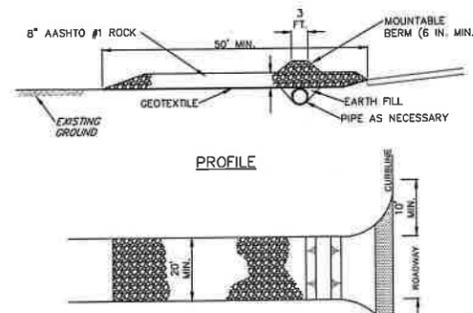




NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
 COMPOST FILTER SOCK**

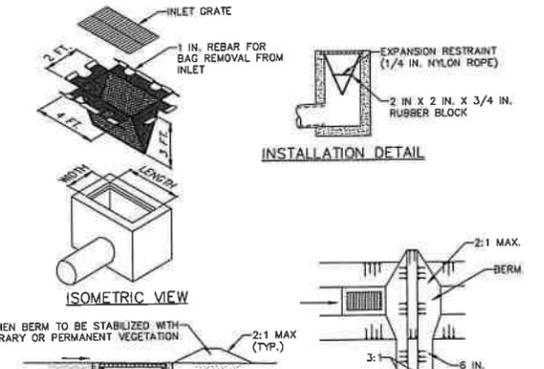
NOT TO SCALE



NOTES:
 REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1
 ROCK CONSTRUCTION ENTRANCE**

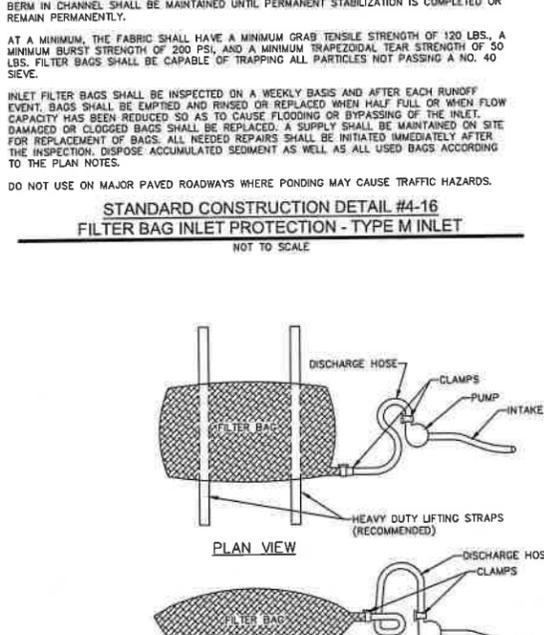
NOT TO SCALE



NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETE OR REMAINS PERMANENTLY.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-16
 FILTER BAG INLET PROTECTION - TYPE M INLET**

NOT TO SCALE



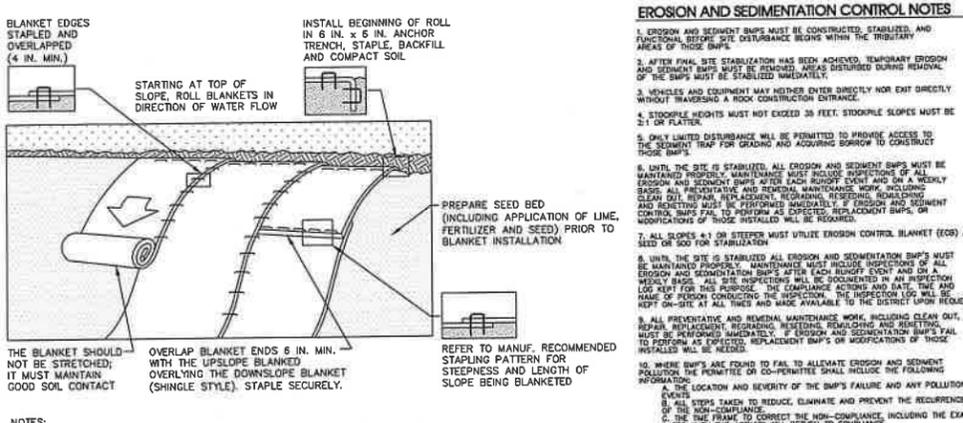
NOTES:
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	80 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MILLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
Q5% % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONES TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 3% FOR SLOPES EXCEEDING 3%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16
 PUMPED WATER FILTER BAG**

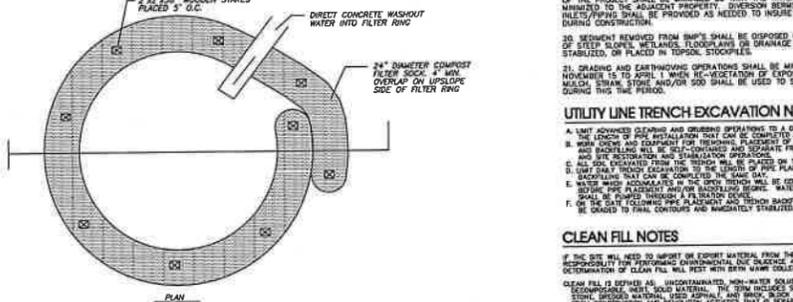
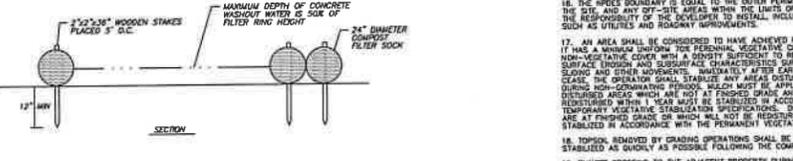
NOT TO SCALE



NOTES:
 SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
 SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
 BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

**STANDARD CONSTRUCTION DETAIL #1-1
 EROSION CONTROL BLANKET INSTALLATION**

NOT TO SCALE



INSTALLATION NOTES:
 1. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS. CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS.
 2. UNDER NO CIRCUMSTANCES SHOULD WATER BE ALLOWED TO ENTER ANY SURFACE WATERWAYS.
 3. WASHOUT FACILITIES MUST BE MORE THAN 50 FEET FROM STORM DRAINS, OPEN DITCHES AND SURFACE WATERWAYS.
 4. NOTIFICATION MUST BE PROVIDED TO DRIVERS SO THEY ARE AWARE OF THE WASHOUT FACILITIES.
MAINTENANCE NOTES:
 1. CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DECONTAMINATED AND REPAIRED OR REPLACED IMMEDIATELY.
 2. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 35% CAPACITY.
 3. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEARING OF THE WASHOUT FACILITY.

CONCRETE WASHOUT DETAIL (USING COMPOST SOCK)

SEEDING AND MULCHING SPECIFICATIONS
 TEMPORARY-CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION TOPSOIL SHALL BE REPLACED IF NEEDED. REFER TO E&S NOTES FOR REQUIREMENTS.
 - SEEDING SHALL BE COMMON RYE GRASS APPLIED AT 45 LBS. PER ACRE
 - LIMING TO BE APPLIED AT 1 TON/ACRE
 - HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE
 PERMANENT
 - TOPSOIL REPLACEMENT
 - SEEDING SHALL BE 15% KENTUCKY BLUEGRASS, 35% KENTUCKY 31 FESCUE, 25% CHEWINGS FESCUE, 15% PERENNIAL RYE GRASS AND 10% RECLEANED REDTOP AT A RATE OF 5 LBS. PER 1000 SQ. FT.
 - LIMING TO BE APPLIED AT 3 TONS PER ACRE
 - 10-20-20 FERTILIZER TO BE APPLIED AT 1000 LBS/ACRE
 - HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE

THE NON-GERMINATING PERIODS ARE BETWEEN JUNE 15 THRU AUGUST 15 AND SEPTEMBER 1 THRU APRIL 15. AREAS DISTURBED DURING THESE PERIODS MUST BE LIMED, FERTILIZED, SEEDED AND MULCHED IMMEDIATELY.
EROSION CONTROL MAINTENANCE PROGRAM
 TEMPORARY EROSION CONTROL FACILITIES MAINTENANCE WILL CONSIST OF INSPECTION, CLEANING, REPAIR/REPLACEMENT OF THE ON-SITE EROSION CONTROL FACILITIES THAT ARE SHOWN ON THESE EROSION AND SEDIMENTATION CONTROL PLANS. ALL EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE CHECKED BY THE CONTRACTOR'S SITE PROJECT MANAGER ON A WEEKLY BASIS AND AFTER EACH STORM EVENT. ALL SEDIMENT MATERIAL COLLECTED BY THE CONTROL FACILITIES WILL BE CLEARED AND REDISTRIBUTED ON-SITE. ANY FACILITIES FOUND TO BE DAMAGED OR MALFUNCTIONING SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

APPENDIX C - STANDARD E&S PLAN NOTES

1. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
2. At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
3. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unworked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
4. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
5. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
6. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping must commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage are performed or functioning as described in this E&S plan.
7. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
8. Topsoil stored for the amount necessary to complete the final grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
9. Immediately upon discovering unforeseen conditions posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
10. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
11. All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to any material.
12. The contractor is responsible for ensuring that any material brought on site is clean fill. Form 17-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
13. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
14. Vehicles and equipment may neither enter directly nor exit directly from lots onto.
15. Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, upgrading, regrading, and re-planting must be performed immediately if the E&S BMPs fail to perform as expected. Erosion and sediment control BMPs, or modifications of those installed will be required.
16. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
17. Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each workday and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
18. All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
19. Areas which are to be topsoiled shall be topsoiled to a minimum depth of 3 to 5 inches - 6 to 12 inches in compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
20. All fills shall be compacted or required to reduce erosion, siltage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
21. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
22. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
23. Frozen materials or soft, sticky, or highly compressible materials shall not be incorporated into fills.
24. Fill shall not be placed on saturated or frozen surfaces.
25. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain either approved method.
26. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
27. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not of finished grade, which will be reactivated within a year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
28. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
29. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
30. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
31. After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
32. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
33. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.

NUM.	DATE	REVISION

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
 P.O. BOX 1992
 SOUTHEASTON, PA 19399
 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
HAMILTON ESTATE
 204 & 228 STRAFFORD AVE
 WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
 DATE: MAY 18, 2023

EROSION AND SEDIMENTATION CONTROL DETAILS SHEET 9 of 14
 NO SCALE





GENERAL NOTES:

1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Site Engineering Concepts, Inc. November 2019
2. This plan is for landscaping purposes only.
3. The Landscape Architect's seal applies only to the landscape portion of this plan.
4. All plant material is to be field adjusted as necessary to address existing site conditions, proposed unit landscaping, and to ensure that clear sight triangles and clear sight lines are maintained.
5. Proposed shade trees shall not be planted over the top of any sewer or water laterals, mains or services. Sewer and water laterals, mains and services are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
6. Utilities are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
7. All trees shall be pruned as necessary to maintain required light levels.
8. Tree Inventory updated by Shreiner Tree Care May 2023

COMPLIANCE WITH SECTION 255-38 Subsection B

SHADE TREES	REQUIRED	EXISTING TO REMAIN	PROPOSED
Existing local street length: 710'	24	24	0
1 Street tree required at intervals not less than 30' on 1 side			
Proposed road length 2,149'	72	0	72
1 Street tree required at intervals not less than 30' on both sides			

COMPLIANCE WITH SECTION 255-42 (Tables 1 and 2)

BUFFER SCREENS	LENGTH	REQUIRED	EXISTING TO REMAIN	PROVIDED
Buffer screen class 'A' required between proposed Planned Cluster Development use and Major Collector Street.	450'	11 canopy trees 15 evergreen trees	8 canopy trees 6 evergreen trees	3 canopy trees 9 evergreen trees
Buffer screen class 'B' required between proposed Planned Cluster Development use and existing Retail use.	585'	39 evergreen trees 73 evergreen shrubs	0	39 evergreen trees 91 evergreen shrubs

COMPLIANCE WITH SECTION 263-4

TREE REPLACEMENT	# TREES REMOVED	REPLACEMENTS REQUIRED	REPLACEMENTS PROVIDED
1 Replacement tree required for every 6"-18" DBH tree removed	83	83	83
3 Replacement trees required for every 19"-29" DBH tree removed	30	90 total (60 canopy)	90 total (60 canopy)
6 Replacement trees required for every 30"+ DBH tree removed	8	48 total (32 canopy)	48 total (32 canopy)
(2) being large canopy trees (4) being large canopy trees			
	121	221 total (92 canopy trees)	221 total (92 canopy trees)

Notes:
Replacement trees for hazardous and dead trees are not provided.

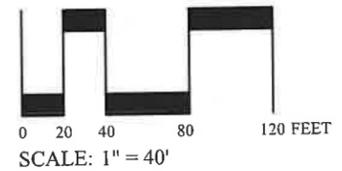
COMPLIANCE WITH SECTION 280-91-G

BUFFER	REQUIRED	PROVIDED
Density Modification development requires a 25' buffer along all residentially zoned districts	25' buffer	25' buffer

PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES					
ACSG	28	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2"-2.5" cal.	B&B
BENH	7	Betula nigra 'Heritage'	Heritage River Birch	2"-2.5" cal.	B&B
CECF	8	Cornus canadensis 'Forest Pansy'	Forest Pansy Redbud	2"-2.5" cal.	B&B
COR	1	Cornus 'Ruticra'	Constellation Flowering Dogwood	2"-2.5" cal.	B&B
FAGR	5	Fagus grandifolia	American Beech	2"-2.5" cal.	B&B
MAY	13	Magnolia virginiana	Sweet Bay Magnolia	2"-2.5" cal.	B&B
NYSR	40	Nyssa sylvatica 'Red Rage'	Red Rage Black Gum	2"-2.5" cal.	B&B
PLAB	37	Pinus strobus 'Fastigiata' 'Bloodgood'	Bloodgood London Planetree	2"-2.5" cal.	B&B
QUB	21	Quercus bicolor	Swamp White Oak	2"-2.5" cal.	B&B
QUP	14	Quercus phellos	Willow Oak	2"-2.5" cal.	B&B
ULAP	22	Ulmus americana 'Princeton'	Princeton Elm	2"-2.5" cal.	B&B
EVERGREEN TREES					
ABC	17	Abies concolor	White Fir	8'-10' ht.	B&B
CRFY	18	Cryptomeria japonica 'Yoshino'	Yoshino Cryptomeria	8'-10' ht.	B&B
ILO	12	Ilex opaca	American Holly	8'-10' ht.	B&B
PIA	31	Picea abies	Norway Spruce	8'-10' ht.	B&B
PIO	13	Picea orientalis	Oriental Spruce	8'-10' ht.	B&B
PISF	12	Pinus strobus 'Fastigiata'	Columnar White Pine	8'-10' ht.	B&B
THGG	45	Thuja glauca 'Green Giant'	Green Giant Arborvitae	8'-10' ht.	B&B
SHRUBS					
PRLS	52	Prunus laurocerasus 'Schipkaensis'	Skip Laurel	24"-30" hl.	Cont.
VIRC	39	Viburnum rhytidophyllum 'Cree'	Cree Leatherleaf Viburnum	24"-30" hl.	Cont.

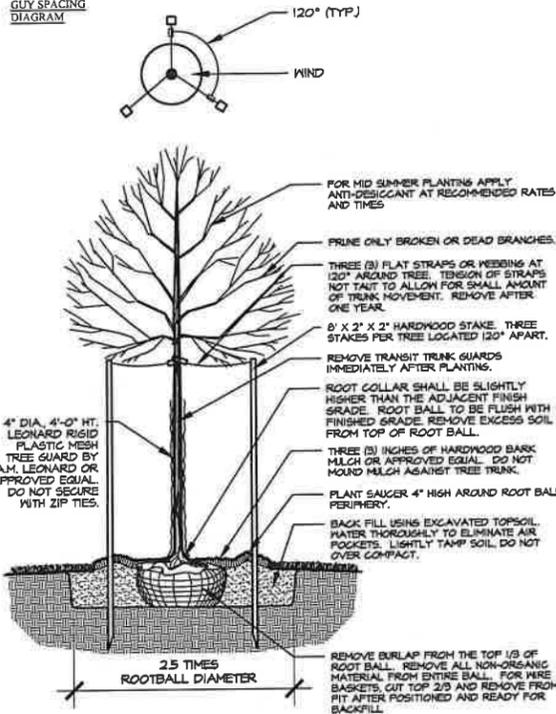
NOTE:
1. Where there is a discrepancy between the plant list and plan, the plan shall prevail.



LEGEND:

- EXISTING VEGETATION
- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED EVERGREEN SHRUBS
- TREE PROTECTION FENCE (See tree inventory plan for location, see Engineer's plan for detail)
- STREET LIGHT

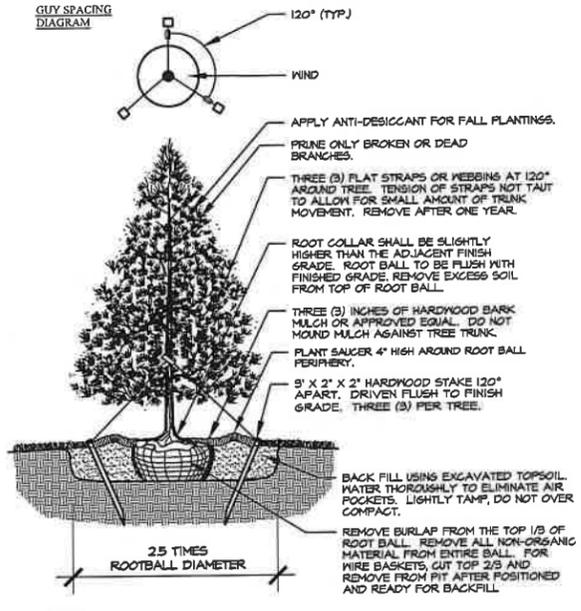
GUY SPACING DIAGRAM



- NOTES:**
1. Trees with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
 2. Trees with central leader broken or dead shall be rejected.
 3. Trees that do not display the typical characteristics for their species shall be rejected.
 4. Flood planting pit with water twice within 24 hours of planting.

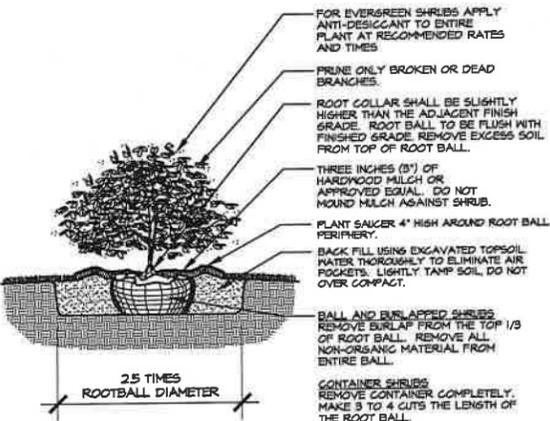
1 DECIDUOUS TREE WITH STAKES DETAIL
NTS

GUY SPACING DIAGRAM



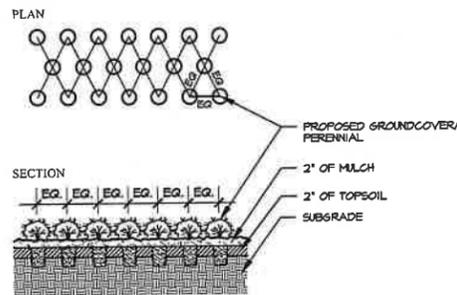
- NOTES:**
1. Trees with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
 2. Trees with central leader broken or dead shall be rejected.
 3. Trees that do not display the typical characteristics for their species shall be rejected.
 4. The owner shall be responsible for contacting the contractor, who shall right and secure any tree that leans out of plumb.
 5. Flood planting pit with water twice within 24 hours of planting.

2 EVERGREEN TREE WITH STAKES DETAIL
NTS



NOTE: FLOOD PLANTING PIT WITH WATER TWICE WITHIN 24 HOURS OF PLANTING.

3 SHRUB DETAIL
NTS



- NOTES:**
1. Plants must be planted in bedding mix or topsoil not mulch.
 2. See planting list for groundcover species, size, and spacing dimension.

4 PLANTING DETAIL
NTS

PLANTING NOTES:

1. The contractor shall furnish and install all plants shown on the drawings, as specified, and in quantities indicated on the plant list.
2. All plants shall be nursery grown and freshly dug.
3. All plants shall be in accordance with The American Standard for Nursery Stock, latest edition.
4. All plants shall be hardy under climatic conditions similar to those in the locality of the project.
5. Fall Digging Hazard: Any species listed below, if included on the plant list, must not be dug in the fall (October through December) because of risk to the tree's survival. Special exceptions may be granted if the owner is notified in writing and an extended warranty on these plants is agreed upon prior to digging. The following varieties should not be dug in fall: Betula, Carpinus, Cobilis, Cercidiphyllum, Crataegus, Cypripedium, Fagus, Halesia, Ilex (tree form varieties), Liquidambar, Liriodendron, Nyssa, Quercus, Pyrus, Quercus (except Quercus pubescens), Salix weeping varieties, and Tilia tomentosa. Digging for Malus and Zelkova varieties should be avoided in fall only when in leaf.
6. All plants shall be typical of their species or variety and shall have a normal habit or growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be certified by appropriate State and Federal authorities to be free of disease and insect pests, eggs or larvae. They shall have healthy, well-developed root systems.
7. Plants that do not display typical characteristics for their species shall be rejected.
8. Substitutions: When plants of a specified kind or size are not available within a reasonable distance, substitutions may be made upon written request by the contractor, if approved by the owner and/or municipal authority.
9. Measurement: Dimensions of trees and shrubs shall conform to The American Standard for Nursery Stock, latest edition.
10. Size: All plants shall conform to the measurement specified on the plant list, unless authorized in writing by the Township Arborist and the owner.
11. Balled and burlapped plants shall be dug with firm natural balls of earth, of diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in the container.
12. Trees with central leader broken or dead shall be rejected.
13. Plants with broken root balls or excessive damage to the crown shall be replaced prior to planting.
14. Plants with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
15. Root balls of all plants shall be adequately protected at all times from sun and drying winds or frost.
16. Conditions detrimental to plants: The contractor shall notify the project representative in writing of all soil or drainage conditions which the contractor considers detrimental to the growth of plants. The contractor shall state the conditions and submit a proposal for correcting the conditions, including any change in cost, for review and acceptance by the project representative.
17. The owner or the owner's representative shall be notified prior to beginning planting operations.
18. All planting shall be at the locations indicated on the drawings. The contractor shall be responsible for planting at the correct grades, alignment, and to the indicated layout of the planting beds.
19. Layout of planting: The contractor shall lay out with identifiable stakes the location of all planting beds as indicated on drawing. The layout of planting shall be approved by the project representative prior to any excavation of plant pits or plant beds.
20. Minor adjustments to plant locations may be necessary due to field conditions and final grading. The contractor shall notify the owner if major adjustments are required.
21. Install plant materials after final grades are established and prior to planting of lawns unless otherwise acceptable to the owner.
22. Do not install plants when ambient temperatures may drop below 35°F or above 90°F.
23. Do not install plants when wind velocity exceeds 30 mph.
24. Planting shall be done within the following dates - trees, shrubs, groundcover, and perennials shall be planted September 1 through December 1, or April 15 to May 31, and only when local climatic and soil conditions favor satisfactory planting operations. Planting may be done beyond these limits only if requested in writing and approved by the Landscape Architect.
25. Planting operations to commence only when preceding work within the area has been completed. Proceed with and complete planting as rapidly as portions of the site become available, working within seasonal limitations.
26. Planting soil shall be excavated native soil from the planting pit. Planting soil shall be thoroughly mixed, with all rocks, clods and roots removed.
27. All trees shall be staked and guyed according to accepted industry practice, and as noted on the planting details.
28. Each tree and shrub shall be pruned in accordance with The American Nursery and Landscape Association Standards to preserve the natural character of the plant. All dead wood or suckers and all broken or badly bruised branches shall be removed.
29. Mulch: Immediately after planting operations are completed, all trees and shrub planting pits shall be covered with a 3" (three inch) layer of double shredded hardwood bark mulch, or other material approved by the owner or the owner's representative. A granular pre-emergent weed control shall be spread prior to mulching. The limit of this mulch for deciduous trees and single evergreen trees shall be the area of the pit. For shrubs and perennial beds and for evergreen tree clusters, a continuous, mulched bed shall be created.
30. Trees in leaf, including evergreens, when planted shall be treated with anti-desiccant such as Wilt-Pruf if planted during the months of June through September, November, and December.
31. Weed control: All planting areas shall be free from weeds prior to the beginning of planting operation. Contact herbicide sprays should only be used as required and all manufacturer's specifications followed.
32. Guarantee: All plant material shall be guaranteed by the contractor for twelve (12) months from the date of installation. The owner shall be responsible for maintenance unless otherwise agreed with contractor. It shall be the contractor's responsibility to monitor the project during the guarantee and notify the owner if problems develop with the plant material. Any material that is 25% dead or more shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died back, or there is 25% of the crown dead.
33. All debris resulting from landscape contracting operations shall be cleaned up and removed from the site on a weekly basis.
34. Watering: Landscape contractor is responsible for watering sufficiently at the time of planting and until the job is completed, accepted and turned over to the owner.

GLACKIN THOMAS PANZAK
LAND PLANNING
LANDSCAPE ARCHITECTURE

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Paul Executive Office I
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Paoli, Pennsylvania 19301
610 408 9011
Fax: 610 408 9477
E-mail: plans@glackinplan.com



LANDSCAPE DETAILS
Hamilton Estate
208 & 228 STRAFFORD AVE. & 18 FORREST LANE
RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT #: 19-033
DATE: 05/18/23 (mc)
REV.:

SHEET:

LP-2
12 of 14

Serial Number:
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E-mail: plans@glackinplan.com



LIGHTING PLAN
Hamilton Estate
208 & 228 STRAFFORD AVE. & 18 FORREST LANE
RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT #: 19-033
DATE: 05/18/23 (mc)
REV.:

SHEET:
LI-1
13 of 14

GENERAL NOTES:

1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Site Engineering Concepts, Inc. November 2019
2. This plan is for lighting purposes only.
3. The Landscape Architect's seal applies only to the lighting portion of this plan.
4. Tree Inventory updated by Shreiner Tree Care May 2023

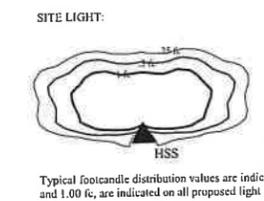
LIGHTING NOTES:

1. Lighting to be installed in meet all appropriate national and local codes.
2. All light fixtures to be approved by Owner or Owner's representative.
3. All circuits to be installed by a licensed electrician.
4. All cable to be run in conduit unless approved in writing by the owner.
5. Contractor to provide sufficient nighttime adjustment to all lighting to satisfy Township requirements and Owner or Owner's representative. Fixture on/off control by circuit.
6. All lighting to be installed according to manufacturers recommendations.
7. All electrical conduits shall be sch 40 pipe and all bends shall be "swEEP" type for pulling wire. Conduit to extend beyond edge of hardscape element by 12" min. Conduit to be temporarily capped and location staked prior to backfilling.
8. While extending conduits under existing structures the contractor shall be responsible for damage to existing structures such as, but not limited to, paving, irrigation, pool piping, masonry piers and underground drainage pipe etc.
9. All lighting fixtures to be controlled by photo-cells.
10. All final light locations to be approved by Owner or Owner's representative.
11. All final light locations to be field adjusted, "aimed" as necessary so as to avoid shining of light into windows and doors.
12. Contractor to arrange a pre-construction meeting with the owner and owners representatives including mason, and other individuals familiar with any underground facilities. As-built drawing should be requested of all such facilities.
13. Contractor shall spray paint trench layout prior to commencement. Owner or Owner's representative shall approve layout.
14. Electrical contractor to prepare a plan of all as-built underground electric runs.
15. Project electrical engineer to provide power plan, and Cont. Check calculations as required.
16. In the event that the contractor proposes light fixture substitutions, requests must be received by the Landscape Architect for review (14) fourteen days prior to bid date. Failure to submit within that deadline renders all substitution requests void, and originally specified fixture(s) will be supplied. The contractor shall submit the following:
 - A. Township required copies of all mandatory submittals for both the originally specified fixture(s) and the proposed substitution(s).
 - B. Contractor's written certification that the proposed substitution(s) conforms to all requirements of the contract documents in every respect and is appropriate for the applications indicated in the documents.
 - C. Contractor's written statement indicating the effect of the substitution(s) on the construction schedule compared to the schedule with the originally specified fixture(s).
 - D. Contractor's net unit price for the originally specified fixture(s) and for the proposed substitute fixture(s).
 - E. One sample of the proposed substitution fixture(s) with specified lamps and cord and plug connection for 277 volt operation.
 - F. Contractor's written certification that any alterations that may result from the proposed lighting fixture substitution(s) will be designed and constructed at the contractor's expense.
 - G. Reimbursement to the landscape Architect for all time associated with review of fixture substitution(s). Payment shall be made in advance of the review, based on the Landscape Architect's hourly rates for the personal involved in the review.
 - H. Contractor's written waiver of rights to additional payment and/or time that may become necessary should the proposed substitution(s) fail to perform in a manner that is equivalent to the originally specified fixture(s).

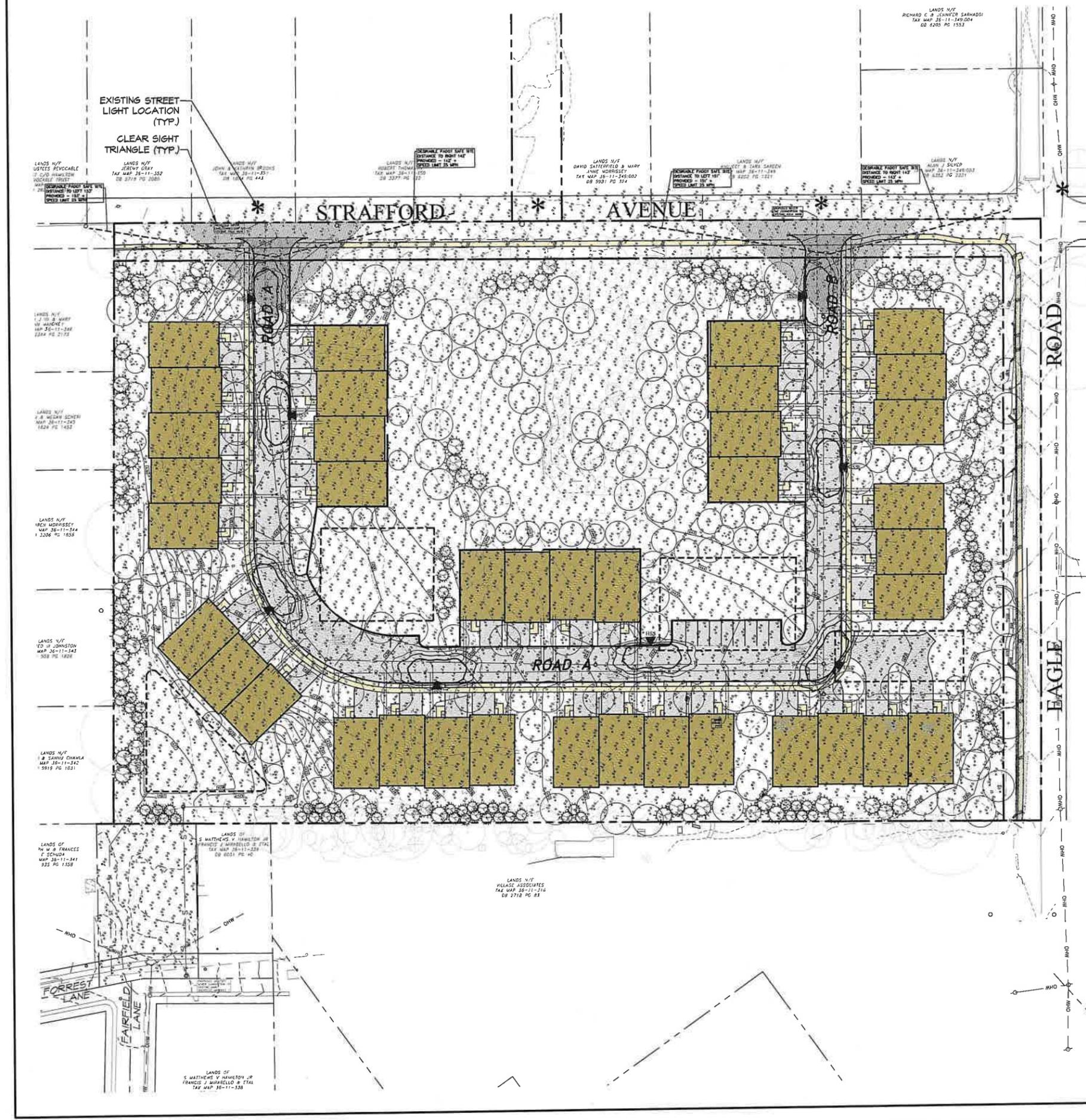
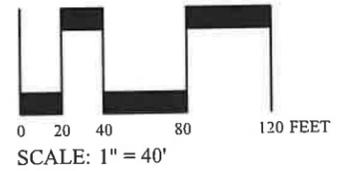
LIGHTING LEGEND:

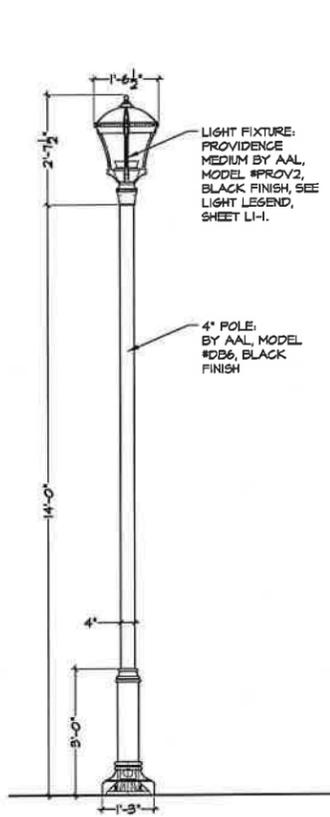
SYM.	LIGHT TYPE	QTY.	MFG.	MODEL #	REMARKS
▲	STREET LIGHT	8	AAL	PROV2-36L-325-3K7-3-BL-HS	AAL Providence Medium, LED, Type III Optics, 3K color temperature, photocell control by circuit, with house side shield, 14' height, mounted on 4" AAL POLE MODEL #DB6, Fixture and Pole Finish: Black

ISO FOOTCANDLE DIAGRAM :

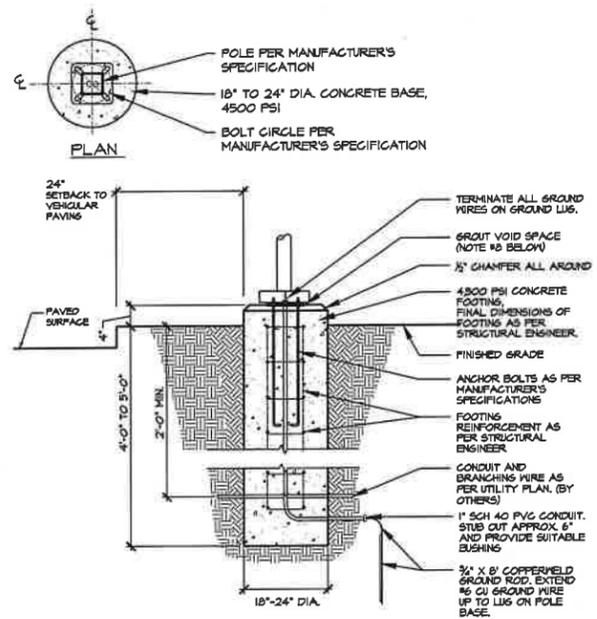


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1 STREET LIGHT DETAIL
Scale: 1/2"=1'-0"



NOTES:
1. THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY.
2. CONTRACTOR SHALL ENSURE DESIGN IS PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.
A. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING ASIDE FROM THE LIGHT FIXTURE INCLUDING (BUT NOT LIMITED TO) CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC., AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.
B. SOME SITE LOCATIONS AND/OR CONDITIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
3. ACTUAL DIAMETER AND DEPTH OF FOOTINGS SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER.
4. ALL REBAR SHALL BE MAINTAINED AT A 3" MIN. CLEARANCE FROM SURFACES.
5. FIXTURE MUST BE GROUNDED IN ACCORDANCE WITH LOCAL CODES OR THE NATIONAL ELECTRICAL CODE. FAILURE TO DO SO MAY RESULT IN SERIOUS PERSONAL INJURY.
6. POLES SHOULD NEVER BE ERIGTED WITHOUT THE LUMINAIRE INSTALLED. WARRANTY IS VOIDED IF THE POLE IS ERIGTED WITHOUT THE LUMINAIRE.
7. THE WARRANTY IS VOIDED IF THE POLE IS NOT GROUNDED UNDER THE ENTIRE BASE AFTER INSTALLATION.

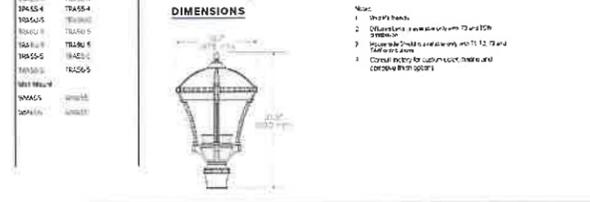
2 TYPICAL LIGHT POLE FOOTING DETAIL
Scale: 1/2"=1'-0"

DATE: _____ LOCATION: _____
 YEAR: _____ PROJECT: _____
 CATALOG # _____
ORDERING GUIDE
 Example: PROV2-36L-325-3K7-3-BL-HS

HOUSING

Part No.	Part Description	Qty	Part No.	Part Description	Qty
PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1	PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1
PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1	PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1

Part No.	Part Description	Qty	Part No.	Part Description	Qty
PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1	PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1
PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1	PROV2	PROVIDENCE MEDIUM BY AAL, MODEL #PROV2, BLACK FINISH, SEE LIGHT LEGEND, SHEET LI-1.	1



3 STREET LIGHT CUT SHEET
NTS

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