

HILBEC Engineering & Geosciences, LLC

Wastewater ▪ Stormwater ▪ Hydrogeologic ▪ Environmental ▪ Testing & Design

26 Beaver Run Road, Downingtown, PA 19335-2257
Office: 610.873.6204 Fax: 610.873.6206
www.hilbec.com

SEWAGE FACILITIES PLANNING MODULES

COMPONENT 3J: Public Sewer Connection

PA DEP Code #1-23013-292-3J

Prepared for the Project Entitled:

HAMILTON ESTATE – STRAFFORD AVENUE

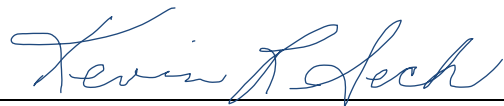
Radnor Township, Delaware County

Prepared for:

Dorrance H. Hamilton Revocable Agreement Trust
c/o Charles Houder
40 Morris Avenue, Suite 150
Bryn Mawr, PA 19010

PROJECT LIMITATIONS:

I certify that I have directly performed and/or supervised the preparation of this report. All information contained herein is accurate to the best of my knowledge and any test procedures have been performed using accepted practices. HILBEC Engineering & Geosciences, LLC cannot and does not make claim, warranty, or guarantee that surface and sub-surface site conditions other than described may be different at some time in the future and thus may affect these findings herein. Official plan & report copies have a raised seal.



For HILBEC Engineering & Geosciences, LLC
Kevin R. Sech, P.G., P.E.

Date Prepared: May 24, 2023

Last Revised: NA



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HAMILTON ESTATE – STRAFFORD AVENUE

Sewage Facilities Planning Module

Municipal Action Chart

| Requires Municipal Action | |
|---|--------------------------------|
| Upon review and receipt of all signatures/approvals, please complete the following: | |
| <input type="checkbox"/> PA DEP Transmittal Letter | Complete & sign |
| <input type="checkbox"/> PA DEP Resolution | Complete & sign |
| <input type="checkbox"/> PA DEP Mailer Planning Checklist | Complete checklist & signature |
| <input type="checkbox"/> Planning Module Component 3 Checklist | Complete checklist & sign |
| <input type="checkbox"/> Component 3 Planning Module | Complete Section J2, J3 |
| <input type="checkbox"/> Component 4A - Municipal Planning Commission | Complete & sign |
| <input type="checkbox"/> Component 4B - County Planning Commission | Submit for Review |

Upon receipt and completion of all information noted above, we can compile all the information and submit a final version so the municipality can submit two copies of the completed modules to the PA DEP

APPENDIX SECTIONS:

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PROJECT NARRATIVE

HILBEC Engineering & Geosciences, LLC

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PROJECT NARRATIVE SEWAGE FACILITIES PLANNING MODULES COMPONENT 3J (Code #1-23013-292-3J)

HAMILTON ESTATE – STRAFFORD AVENUE Radnor Township, Delaware County Required by Section F

Development of this tract is proposed where three (3) parcels will be merged to construct thirty-eight (38) residential town home units. Three existing homes will be razed.

| <u>Tax Parcel</u> | <u>Existing Address</u> |
|--------------------------|--------------------------------|
| 31-01-00538-00 | 204 Strafford Avenue |
| 31-01-00539-00 | 228 Strafford Avenue |
| 36-01-00540-00 | 0 Strafford Avenue |

The overall development is approximately 8.1+/- gross acres at the northwest corner of Eagle Road and Strafford Avenue. The thirty-eight residential units will connect to public facilities owned by Radnor Township. An existing public gravity collection system currently runs from the northeast at Strafford Avenue to the southwest just off the northern property line of the Hamilton Estate. The existing main runs to Forrest Lane where it turns toward the intersection of Forrest Lane and Fairfield Lane. The home at 18 Forrest Lane is also owned by the Hamilton Estate and will remain. The proposed sanitary sewer main from the 38-lot development will run through 18 Forrest Lane via an easement to the public gravity sewer main. The thirty-eight (38) proposed homes will connect via gravity laterals to the new sewer extension to be installed within the proposed roadways of the Hamilton Estate tract. The laterals will be owned by each town home while the sanitary mains will be dedicated to the municipality.

The potable water supply will be provided by AQUA Pennsylvania, Inc.

Radnor Township utilizes a value of 262.5 gpd per Equivalent Dwelling Unit (EDU). The flow is distributed as follows for the proposed 38 homes:

$$\begin{array}{rcl} \text{Total EDU's:} & 38 \text{ EDU's} \times 262.5 \text{ gpd/EDU} = & 9,975 \text{ gpd} \\ \text{Existing EDU's:} & 3 \text{ EDU's} \times 262.5 \text{ gpd/EDU} = & 787.5 \text{ gpd} \\ \hline \text{Total Net Flow:} & 9,975 - 787.5 \text{ gpd} = & 9,187.5 \text{ gpd (35 EDU's)} \end{array}$$

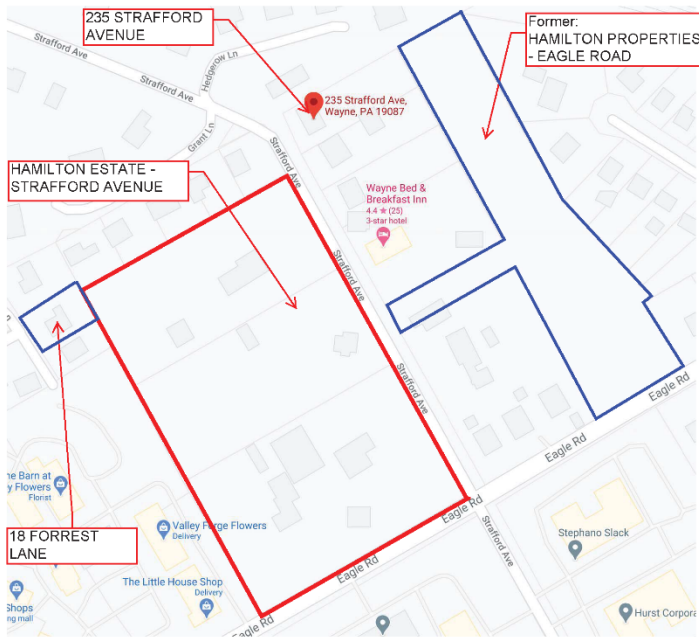
For planning purposes, the PA DEP uses a flow per EDU of 400 gpd for a total of 15,200 gpd.

The property is situated in the Little Darby Creek watershed with a water quality listed as Cold Water Fisheries (CWF), and Migratory Fisheries (MF) per chapter 93, section G, effective July 11, 2020. No wetlands exist on the site.

The sewerage flows through Radnor Township, RHM facilities, Springfield Township, DELCORA, DCJA facilities, and to the Philadelphia SW treatment facility for final disposal.

The following information is presented in the order found in section F of Component 3:

1. The nature of the development is residential with thirty-eight (38) residential town homes proposed.
2. Thirty-eight lots comprise the development. The number of Equivalent Dwelling Units (EDU's) is based upon 400 gpd/EDU per PA DEP standards regarding planning for a flow of 15,200 gpd or 38 EDU's. Per municipal standards and 262.5 gpd/EDU, the 38 EDU's equate to a sewage flow of 9,975 gpd.
3. The discharge will be to the public sewerage collection system at the intersection of Forrest Lane and Fairfield Lane, at the southwest corner of the tract. An extension of the existing main is proposed within the new roadway system, then route through the lot known as 18 Forrest Lane which is owned by the Hamilton Estate but is not a part of the subdivision. The sewerage will flow through Radnor Township, RHM facilities, Springfield Township, DELCORA, DCJA facilities, and to the Philadelphia SW treatment facility for final disposal.
4. Based upon the PA DEP Wastewater Facilities Manual, laterals are designed based on 4 persons per EDU. The population serviced by the 38 homes would be 152 persons using this criterion.
5. The discharge will be to an existing public sewerage collection system at the southwest corner of the tract at the intersection of Forrest Lane and Fairfield Lane via a new main extension to be



installed within the proposed roadways within the tract. Final disposal will be at the Philadelphia SW treatment facility.

6. The project area is 8.1+/- acres.

7. The developer recently owned a single parcel at 235 Stafford Avenue that abuts this project and was sold in 2022. Its intended use is unknown. Another subdivision previously owned by the developer, Hamilton Properties – Eagle Road, proposed a development of 9 single family residences. That property was also

recently sold. As noted above, 18 Forrest Lane is owned by the developer and will remain.

8. No previous Act 537 planning activities are known.

ALTERNATIVE ANALYSIS

HILBEC Engineering & Geosciences, LLC

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Office: 610.873.6204 www.hilbec.com Fax: 610.873.6206

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ALTERNATIVE ANALYSIS NARRATIVE

SEWAGE FACILITIES PLANNING MODULES COMPONENT 3J (Code #1-23013-292-3J)

HAMILTON ESTATE – STRAFFORD AVENUE Radnor Township, Delaware County Required by Section H

The alternative analysis is used to document to ultimate sewage disposal method for this tract over a five (5) year short term and the long term beyond five years. The area is served by public sewerage and no other means of sewage disposal is proposed or considered as this method is the designated use for the tract.

The following comments are provided in the order the questions are presented in section H of the component 3 module:

1. An existing public gravity collection system currently runs from the northeast to the southwest just off the northern property line. The existing main runs to the intersection of Forrest Lane and Fairfield Lane where the proposed main extension will connect to the existing main. The thirty-eight (38) proposed homes will connect via gravity laterals to a new main to be installed within the proposed roadways of the Hamilton Estate tract. Connection to the existing public sewerage facilities is the ultimate means of sewage disposal to meet the long-term needs of the project. Thirty-eight (38) total EDU's are proposed for a total sewage flow of 9,975 gpd based on 262.5 gallons per EDU.
2. Land uses surrounding this property are mainly residential to the north and east. The adjacent properties to the south are a mix of office and residential. The properties to the west are a mix of small commercial and residential. All properties are believed to be connected to the public facilities.

3. No sewage facilities on adjacent or nearby lots are known to require improvement to their sewage facilities as all are connected to public facilities. No sanitary sewage overflows have been documented in the area.
4. The area is designated for public sewerage facilities.
5. No sewage management program is necessary as the area is served by public sewage disposal.
6. Potential alternatives to the connection to public facilities include any land-based application method as the soils are generally suitable for land application. However, as the connection to the public facilities is the ultimate method for the area, other alternatives are not required.
7. The proposed connection to public facilities is the ultimate method of sewage disposal for the area and was chosen to meet the ultimate disposal needs of the project.
8. The proposed main within the new roadways will be dedicated to Radnor Township. The laterals outside of the road right-of-way will remain under the ownership of each lot while the existing and proposed public facilities will be under the ownership and responsibility of the municipality.
9. No other alternatives were considered for this project as it conforms to the sewage disposal methods in place for the surrounding area.

PRIME AGRICULTURAL SOILS NARRATIVE

HILBEC Engineering & Geosciences, LLC

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PRIMARY AGRICULTURAL LAND PROTECTION

NARRATIVE TO ACCOMPANY THE PA DEP SEWAGE FACILITIES PLANNING MODULES

for

HAMILTON ESTATE – STRAFFORD AVENUE

EASTTOWN TOWNSHIP, CHESTER COUNTY PA DEP CODE #1-23013-292-3J

Required to complete Section G5 of the Modules

One (1) soil series exist at the property as follows:

Me: Made Land, schist, and gneiss materials, 0% to 8% slopes, no drainage definition, not prime farmland, hydrologic class C, not a hydric soil

This soil type is listed in the NRCS soil mapping tools as Not Prime Farmland. No area exists on the parcels for farming as the area is urban.

WETLANDS NARRATIVE

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www.hilbec.com

Fax: 610.873.6206

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WETLANDS NARRATIVE

SEWAGE FACILITIES PLANNING MODULES COMPONENT 3J (Code #1-23013-292-3J)

HAMILTON ESTATE – STRAFFORD AVENUE Radnor Township, Delaware County Required by Section G4

Planning Module component 3, section G4 requires discussion of project impacts to wetlands within a high-quality watershed. This project lies within the Little Darby Creek Watershed which is not an HQ watershed, it being a Cold Water Fishery (CWF), Migratory Fishery (MF) per section G of the Chapter 94 water quality standards, effective July 11, 2020.

No wetlands or streams exist on the property.

.

MUNICIPAL TRANSMITTAL LETTER



**TRANSMITTAL LETTER
FOR SEWAGE FACILITIES PLANNING MODULE**

| DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY | | | | |
|---|-------------|-----------|----------|------------|
| DEP CODE # | CLIENT ID # | SITE ID # | APS ID # | AUTH. ID # |
| 1-23013-292-3J | | | | |

TO: Approving Agency (DEP or delegated local agency)
PA DEP - SERO
2 East Main Street
Norristown, PA 19401

Date 5/24/2023

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by Kevin R. Sech, P.G., P.E.
(Name)
for HILBEC Engineering & Geosciences, LLC for Hamilton Estate - Strafford Avenue
(Title) *(Name)*
a subdivision, commercial ,or industrial facility located in Radnor Township

Delaware County.
(City, Borough, Township)

Check one

(i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed revision supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is adopted for submission to DEP transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

(ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

Check Boxes

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics).

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.

- Resolution of Adoption
- Module Completeness Checklist
- 2 Individual and Community Onlot Disposal of Sewage
- 3 Sewage Collection/Treatment Facilities
- 3s Small Flow Treatment Facilities
- 4A Municipal Planning Agency Review
- 4B County Planning Agency Review
- 4C County or Joint Health Department Review

Municipal Secretary (print)

Signature

Date

MUNICIPAL RESOLUTION

RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE COMMISSIONERS of Radnor
TOWNSHIP, Delaware COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS Trustees of Dorrance H Hamilton Revocable Agreement of Trust has proposed the development of a parcel of land identified as
land developer

Hamilton Estate - Strafford Avenue, and described in the attached Sewage Facilities Planning Module, and
name of subdivision

proposes that such subdivision be served by: (check all that apply), sewer tap-ins, sewer extension, new treatment facility, individual onlot systems, community onlot systems, spray irrigation, retaining tanks, other, (please specify). _____

WHEREAS, Radnor Township finds that the subdivision described in the attached
municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the Commissioners of the Township

of Radnor hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary,
(Signature)

Township Board of Commissioners, hereby certify that the foregoing is a true copy of

the Township Resolution # _____, adopted, _____, 20_____.

Municipal Address:

Radnor Township

310 Iven Avenue

Wayne, PA 19087

Telephone 610-688-5600

Seal of

Governing Body

PA DEP MAILER-CHECKLIST LETTER

PA DEP Coding Letter



SENT VIA ELECTRONIC MAIL ONLY

November 4, 2020

Mr. Kevin Sech
Hilbec Engineering & Geosciences, LLC
26 Beaver Run Road
Downingtown, PA 19335-2257

Re: Application for Planning Modules
Checklist Letter – Component 3
Hamilton Estates - Strafford Avenue
DEP Code No. 1-23013-292-3J
Radnor Township
Delaware County

Dear Mr. Sech:

In response to your application mailer, this checklist letter outlines what is required to be submitted to the municipality and the Department of Environmental Protection (“DEP”) as a complete module packet for the proposed development. Your development proposes 41 townhouse units that will be served by a connection to sewer.

Sewage Facilities Planning Module forms are available online at www.dep.pa.gov. At the top of the page, select *Businesses*, then *Water*. On the right-side of the page, select the following: *Bureau of Clean Water; Wastewater Management; Act 537*; and *Sewage Facilities Planning*. Select the appropriate forms from the center of the page.

Please select the following forms for this project and enter the above referenced DEP Code Number on the first page of each form:

Sewage Facilities Planning Module Transmittal Letter, Form 3800-FM-BCW0355
Sewage Facilities Planning Module Resolution, Form 3800-FM-BCW0356
Sewage Facilities Planning Module Component 3, Form 3800-FM-BPNPSM0353

- Instructions
- Form

Sewage Facilities Planning Module Component 4

- 4A-Municipal Planning Agency Review, Form 3850-FM-BCW0362A
- 4B-County Planning Agency Review, Form 3850-FM-BCW0362B

Please submit the completed planning modules and supporting information to the municipality or municipalities in which the project is located. DEP must receive 1 hard copy and 1 electronic

copy of the completed planning module. Please answer all questions within the planning module. Do not simply answer “N/A” or “Not Applicable”. If you feel a question does not apply, explain all reasons to support that answer. For this project, Section J must be completed.

Please pay careful attention to the public notification requirements in the planning module forms, the instructions for completing the planning modules, and Chapter 71, Section 71.53. Be advised that Section 71.53(d)(6) and Item 10 in Section P of Component 3 require public notification when the proposal involves one or more of the following:

1. The project is inconsistent with Chapter 94 municipal wasteload management plans submitted to DEP.
2. The project proposes a point source discharge into high quality or exceptional value waters.
3. Potential conflicts have been identified by the Pennsylvania Natural Diversity Inventory and are not resolved by the appropriate agency. Please note that publication is required even if a mitigation plan is in place.
4. Potential conflicts with historical resources have been identified by the Pennsylvania Historical and Museum Commission.
5. The project proposes sewage facilities that will encroach on wetlands.
6. The applicant, the municipality, or one of the reviewing agencies has identified conflicts with prime agricultural land policies.
7. The project has conflicts with municipal or county comprehensive plans.

Please refer to the Standard Operating Procedures (SOP) that govern Act 537 sewage facilities planning module reviews. The SOPs can be found on the DEP website at <http://www.dep.pa.gov/Business/ProgramIntegration/DecisionGuarantee/Pages/StandardOperatingProcedures.aspx>. Consistent with the SOP, DEP may disapprove an administratively incomplete planning module submission. Please use the checklist provided in this letter below to guide both you and the municipality in providing an administratively complete planning module submission to DEP for review.

A copy of this letter should be attached to the planning module when submitted through the municipality to DEP. This letter is to be used by the applicant (or the applicant’s authorized representative) as a checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit a complete module package. (See end of letter for applicant and municipal certification statements.)

In all cases, address the immediate and long-range sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

If you have any questions concerning the information required, please contact me at 484.250.5186 or at SteRittenh@pa.gov and refer to the project name and DEP Code No. as referenced above.

Sincerely,



Stefanie Rittenhouse
Sewage Planning Specialist 2
Clean Water

cc: Delaware County Planning Department
Radnor Township
Mr. Houder
RHM
Springfield Township
Upper Darby Township
DCJA
DELCORA
Mr. Ponert – City of Philadelphia Water Department
Planning Section
Re 30

**PA DEP MAILER
PLANNING CHECKLIST**

HAMILTON ESTATE - STRAFFORD AVENUE

Mr. Kevin Sech

- 4 -

November 4, 2020

| Applicant Checklist (✓ or N/A) | Materials Required to be Included in the Planning Package | DEP Completeness Review |
|---|---|-------------------------|
| DEP Checklist Letter | | |
| X | DEP checklist letter is attached with items checked off by the applicant (or applicant's authorized representative) as included | |
| X | DEP checklist letter certification statement completed and signed | |
| Transmittal Letter (Form 3800-FM-BPNPSM0355) | | |
| X | Transmittal Letter is attached, completed and the appropriate boxes in Section (i) are checked. | |
| | Transmittal Letter is signed by the municipal secretary | |
| Resolution of Adoption (Form 3800-FM-BPNPSM0356) | | |
| X | Resolution of Adoption is attached and completed | |
| | Resolution of Adoption is signed by the municipal secretary | |
| | Resolution of Adoption has a visible municipal seal | |
| Component 4A - Municipal Planning Agency Review (Form 3800-FM-BPNPSM0362A) | | |
| X | Component 4A is attached, completed and signed | |
| | Municipal Responses to Component 4A comments are included | |
| Component 4B – County Planning Agency Review (Form 3800-FM-BPNPSM0362B) | | |
| X | Component 4B is attached, completed and signed | |
| | Municipal Responses to Component 4B comments are included | |
| Component 4C – County or Joint Health Department Review (Form 3800-FM-BPNPSM0362C) | | |
| NO HEALTH DEPT | Component 4C is attached, completed and signed | |
| NO HEALTH DEPT | Municipal Responses to Component 4C comments are included | |
| Component 3 Sewage Facilities Planning Module (Form 3800-FM-BPNPSM0353) | | |
| <i>Section A: Project Information</i> | | |
| X | Section A.1. The Project Name is completed | |
| X | Section A.2. The Brief Project Description is completed | |
| <i>Section B: Client Information</i> | | |
| X | Client Information is completed | |
| <i>Section C: Site Information</i> | | |
| X | Site Information is completed | |
| X | A copy of the 7.5 minute USGS Topographic map is attached with the development site outlined, as required by the instructions and the checklist | |
| <i>Section D: Project Consultant Information</i> | | |
| X | Project Consultant Information is completed | |
| <i>Section E: Availability of Drinking Water Supply</i> | | |
| X | The appropriate box is checked in Section E | |
| X | For existing public water supplies, the name of the company is provided | |

| | | |
|---|--|--|
| X | For public water supplies, the certification letter from the public water company is attached | |
| <i>Section F: Project Narrative</i> | | |
| X | The Project Narrative is attached | |
| X | All information required in the module directions has been addressed | |
| <i>Section G: Proposed Wastewater Disposal Facilities</i> | | |
| X | Section G.1.a. The collection system boxes are checked | |
| X | The Pennsylvania Clean Streams Law (CSL) permit number is provided for existing systems | |
| X | Section G.1.b. The questions on the collection system are completed | |
| X | Section G.2.a. The appropriate treatment facility box is checked | |
| X | For existing treatment facilities, the name is provided | |
| X | For existing treatment facilities, the NPDES permit number is provided | |
| X | For existing treatment facilities, the CSL permit number is provided | |
| EXISTING | For new treatment facilities, the discharge location is provided | |
| X | Section G.2.b. The certification statement has been completed and signed by the wastewater treatment facility permittee or their representative | |
| X | Section G.3. The plot plan is attached and contains all items in the module instructions under Section G.3 | |
| X | The plot plan will show the proposed sewer facilities, sewer extension and/or point of connection to the existing sewer line or point of discharge | |
| NO EASEMENTS | Copies of easement(s) or right-of-way(s) are attached | |
| X | Section G.4. The boxes are checked regarding Wetland Protection | |
| X | Section G.5. The boxes are checked regarding Primary Agricultural Land | |
| X | Section G.6. The boxes are checked confirming consistency with the Historic Preservation Act | |
| SHPO FORM | The Cultural Resources Notice (CRN) (Form 0120-PM-PY0003) is attached | |
| EMAIL | A return receipt for its submission to the PHMC is attached | |
| X | The PHMC review letter is attached | |
| X | Section G.7. The boxes are checked regarding Pennsylvania Natural Diversity Inventory (PNDI) | |
| X | Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt is attached | |

| | | | |
|--|------------|--|--|
| | X | PNDI Review Receipt, if no potential impacts identified, is not older than 2 years | |
| | NO IMPACTS | All supporting resolution documentation from jurisdictional agencies (when necessary) is attached and not older than 2 years | |
| | NO IMPACTS | A completed PNDI Large Project Form (PNDI Form) (Form 8100-FM-FR0161) is attached with all supplemental materials and DEP is requested to complete the search. | |
| <i>Section H: Alternative Sewage Facilities Analysis</i> | | | |
| | X | The Alternative Sewage Facilities Analysis is attached | |
| | X | All information required in the module directions has been addressed | |
| <i>Section I: Compliance with Water Quality Standards and Effluent Limitations</i> | | | |
| NOT HQ OR EV | | The box is checked regarding Waters Designated for Special Protection | |
| NOT HQ OR EV | | The Social or Economic Justification is attached | |
| NO IMPAIRMENT | | The box is checked regarding Pennsylvania Waters Designated As Impaired | |
| NO DISCHARGE | | The box is checked regarding Interstate and International Waters | |
| NO DISCHARGE | | The box is checked regarding Tributaries to the Chesapeake Bay and the required information is provided | |
| NO DISCHARGE | | The Name of Permittee Agency, Authority, Municipality and the Initials of Responsible Agent are provided | |
| EXISTING STP | | If discharge to an intermittent stream, dry swale or manmade ditch is proposed, provide evidence that a certified letter has been sent to each owner of property over which the discharge will flow until perennial conditions are met | |
| <i>Section J: Chapter 94 Consistency Determination</i> | | | |
| | X | A map showing the path of the sewage to the treatment facility and the location of the discharge is provided | |
| | X | Section J.1. The Project Flows are provided | |
| | | Section J.2. The permitted, existing, and projected average and peak flows are provided in the table for collection, conveyance and treatment facilities | |
| | | Section J.3.a. The appropriate box is checked indicating capacity in the Collection and Conveyance Facilities | |
| | | Section J.3.b. The Collection System information is completed, signed and dated | |
| | | Section J.3.b. The Conveyance System information is completed, signed and dated | |
| | | Section J.4.a. The appropriate box is checked regarding projected overloads at the Treatment Facility | |

| | | |
|---|--|--|
| | Section J.4.b. The Treatment Facility information is completed, signed and dated | |
| | The Permittee of the wastewater treatment facility has submitted a Chapter 94 Wasteload Management Report, which includes the information for the collection and conveyance system to serve this project | |
| | An acceptable Wasteload Management Report Corrective Action Plan (CAP) and schedule has been submitted, as well as a connection management plan | |
| | A letter from the permittee, which grants allocations to the project consistent with the CAP, and a copy of the connection management plan has been submitted | |
| | Letter indicating the treatment plant is an interim regional treatment facility is attached | |
| <i>Section K: Treatment and Disposal Options</i> | | |
| EXISTING STP | For proposed treatment facilities, the appropriate box is checked indicating the selected Treatment and Disposal Option | |
| <i>Section L: Permeability Testing</i> | | |
| NOT REQ'D | The Permeability Testing information is attached | |
| <i>Section M: Preliminary Hydrogeologic Study</i> | | |
| NOT REQ'D | The Preliminary Hydrogeologic Study is attached | |
| NOT REQ'D | The Preliminary Hydrogeologic Study is signed and sealed by a Professional Geologist | |
| <i>Section N: Detailed Hydrogeologic Study</i> | | |
| NOT REQ'D | The Detailed Hydrogeologic Study is attached | |
| NOT REQ'D | The Detailed Hydrogeologic Study is signed and sealed by a Professional Geologist | |
| <i>Section O: Sewage Management</i> | | |
| X | Section O.1. The box is checked indicating municipal or private facilities | |
| X | If municipal, the remainder of Section O is not applicable | |
| NA | If private, the required analysis and evaluation of sewage management options is attached | |
| X | Section O.2. The appropriate box is checked regarding the use of nutrient credits or offsets | |
| X | Section O.3. The Project Flows for the private facilities are provided | |
| NA | Section O.4.a. The appropriate box is checked indicating capacity in the existing private Collection and Conveyance Facilities | |
| NA | Section O.4.b. The private Collection System information is completed, signed and dated | |
| NA | Section O.4.c. The private Conveyance System information is completed, signed and dated | |

| | | |
|---|---|--|
| NA | Section O.5.a. The appropriate box is checked regarding projected overloads at the private Treatment Facility | |
| NA | Section O.5.b. The private Treatment Facility information is completed, signed and dated | |
| NA | Section O.6. The box is checked indicating the municipality will assure proper operation and maintenance of the proposed private facilities | |
| NA | The required documentation of sewage management is attached | |
| <i>Section P: Public Notification Requirement</i> | | |
| NOT REQ'D | All Public Notification boxes in this section are checked | |
| NOT REQ'D | The public notice is attached, if public notification is necessary | |
| NOT REQ'D | All comments received as a result of the notice are attached | |
| NOT REQ'D | The municipal responses to these comments are attached | |
| NOT REQ'D | The box is checked indicating that no comments were received, if valid | |
| <i>Section Q: False Swearing Statements</i> | | |
| X | The planning module preparer's false swearing statement is completed and signed | |
| <i>Section R: Planning Module Review Fee</i> | | |
| X | The correct fee has been calculated | |
| | The correct fee has been paid | |
| | The request for fee exemption has been checked | |
| | The deed reference information is provided to support the fee exemption | |
| <i>Completeness Checklist</i> | | |
| X | The module completeness checklist is included | |
| | All completeness items have been checked as included by the municipality, as appropriate | |
| | The Municipal Official has signed and dated the checklist | |

CERTIFICATION STATEMENT

I certify that this submittal is complete and includes all requested items. I understand that failure to submit a complete module package may result in a denial of the application.

Signed:  Date: 5/24/2023
Applicant (or Applicant's authorized representative)

Signed: _____ Date: _____
Municipal Secretary

COMPONENT 3J CHECKLIST

Checklist



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Completeness Checklist

The individual completing the component should use the checklist below to assure that all items are included in the module package. The municipality should confirm that the required items have been included within 10 days of receipt, and if complete, sign and date the checklist.

Sewage Collection and Treatment Facilities

- Name and Address of land development project.
- U.S.G.S. 7.5 minute topographic map with development area plotted.
- Project Narrative.
- Letter from water company (if applicable).
- Alternative Analysis Narrative.
- Details of chosen financial assurance method.
- ~~Proof of Public Notification (if applicable).~~
- Name of existing collection and conveyance facilities.
- Name and NPDES number of existing treatment facility to serve proposed development.
- Plot plan of project with required information.
- Total sewage flows to facilities table.
- Signature of existing collection and/or conveyance Chapter 94 report preparer.
- Signature of existing treatment facility Chapter 94 report preparer.
- ~~Letter granting allocation to project (if applicable).~~
- Signature acknowledging False Swearing Statement.
- Completed Component 4 (Planning Agency Review) for each existing planning agency and health department.
- ~~Information on selected treatment and disposal option.~~
- ~~Permeability information (if applicable).~~
- ~~Preliminary hydrogeology (if applicable).~~
- ~~Detailed hydrogeology (if applicable).~~

Municipal Action

- Component 3 (Sewage Collection and Treatment Facilities).
- Component 4 (Planning Agency Comments and Responses).
- Proof of Public Notification.
- Long-term operation and maintenance option selection.
- Comments, and responses to comments generated by public notification.
- Transmittal Letter

Signature of Municipal Official

Date submittal determined complete

COMPONENT 3J PLANNING MODULES



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

| |
|---|
| <p>Code No. 1-23013-292-3J</p> |
|---|

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

| DEP USE ONLY | | | | |
|----------------|-------------|-----------|----------|-----------|
| DEP CODE # | CLIENT ID # | SITE ID # | APS ID # | AUTH ID # |
| 1-23013-292-3J | | | | |

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Hamilton Estate - Strafford Avenue
2. Brief Project Description Thirty-Eight (38) attached townhome clusters with a proposed extension and connection to an existing public sanitary sewage via gravity.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

| | | | | |
|---|------------------------|--------------------------|--------------------------|-------------------------------------|
| Municipality Name | County | City | Boro | Twp |
| Radnor | Delaware | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Municipality Contact Individual - Last Name | First Name | MI | Suffix | Title |
| White | William | | | Manager & Secretary |
| Additional Individual Last Name | First Name | MI | Suffix | Title |
| Sherwin | Patricia | | | Engineering Coordinator |
| Municipality Mailing Address Line 1 | Mailing Address Line 2 | | | |
| 301 Iven Avenue | | | | |
| Address Last Line -- City | State | ZIP+4 | | |
| Wayne | PA | 19087 | | |
| Area Code + Phone + Ext. | FAX (optional) | Email (optional) | | |
| 610-688-5600 | | wwhite@radnor.org | | |

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Hamilton Estate - Strafford Avenue

Site Location Line 1

380 feet NNE of Strafford Avenue

Site Location Line 2

Site Location Last Line -- City

Wayne

State

PA

ZIP+4

19087

Latitude

40-02-48.23

Longitude

75-23-52

Detailed Written Directions to Site Take Route 30 Business Route 1300 feet east from Sugartown Road. Turn north-northeast onto Eagle Road for 940 feet to the intersection of Eagle Rd and Strafford Ave. The property is on the NW corner of the intersection and fronts along Strafford Avenue and Eagle Road.

Description of Site An 8.34 acre property composed of four (4) existing homes on 4 parcels

Site Contact (Developer/Owner)

Last Name

Houder

First Name

Charles

MI

Suffix

Phone

610-389-0305

Ext.

Site Contact Title

Trustees of Dorrance H Hamilton Trust

Site Contact Firm (if none, leave blank)

Dorrance H Hamilton Revocable Agreement of Trust

FAX

Email

dch@haverford properties

Mailing Address Line 1

40 Morris Ave

Mailing Address Line 2

Suite 150

Mailing Address Last Line -- City

Bryn Mawr

State

PA

ZIP+4

19010

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

Sech

First Name

Kevin

MI

Suffix

R

Title

Consulting Engineer & Geologist

Consulting Firm Name

HILBEC Engineering & Geosciences, LLC

Mailing Address Line 1

26 Beaver Run Road

Mailing Address Line 2

Address Last Line -- City

Downingtown

State

PA

ZIP+4

19335-2257

Country

USA

Email

krsech@hilbec.com

Area Code + Phone

484-888-8700

Ext.

Area Code + FAX

610-873-6206

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: AQUA Pennsylvania, Inc.

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number Not available per the municipality

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 38

Connections 38

Name of:

existing collection or conveyance system System not named

owner Radnor Township

existing interceptor RHM Interceptor

owner Radnor-Haverford-Marple Sewer Authority

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility Philadelphia SW Water Pollution Control Plant

NPDES Permit Number for existing facility PA26671

Clean Streams Law Permit Number 5173401

Location of discharge point for a new facility. Latitude NA Longitude NA

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the _____
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality Philadelphia Water Department

Name of Responsible Agent _____

Agent Signature _____ Date _____

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 9975 total gpd **Three (3) EDU's or 787.5 gpd are existing so 9,187.5 gpd New Flows**
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

| | a. Design and/or Permitted Capacity (gpd) | | b. Present Flows (gpd) | | c. Projected Flows in 5 years (gpd) (2 years for P.S.) | |
|-------------------|---|------|------------------------|------|---|------|
| | Average | Peak | Average | Peak | Average | Peak |
| Collection | | | | | | |
| Conveyance | | | | | | |
| Treatment | | | | | | |

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality _____

Name of Responsible Agent _____

Agent Signature _____ Date _____

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality Philadelphia Water Department _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 9975 total gpd **Three (3) EDU's or 787.5 gpd are existing so 9,187.5 gpd New Flows**

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

- 9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of: **NO PUBLIC NOTICE NECESSARY**
 - the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Kevin R. Sech, P.G., P.E. for HILBEC Engineering
Name (Print)
Consulting Engineer & Geologist
Title
26 Beaver Run Road, Downingtown, PA 19335-2257
Address


Signature
5/24/2023
Date
484-888-8700
Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$_____ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania
Deed Volume _____ Book Number _____
Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\# \underline{\hspace{2cm}} \text{ Lots (or EDUs) X } \$50.00 = \$ \underline{\hspace{2cm}}$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \underline{\hspace{2cm}} \text{ Lots (or EDUs) X } \$35.00 = \$ \underline{\hspace{2cm}}$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
 - For non-single family residential projects, EDUs are calculated using projected population figures
- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:
\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

COMPONENTS 4A, 4B

Component 4A for
MUNICIPAL PLANNING



**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
Hamilton Estate - Strafford Avenue

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency _____
2. Date review completed by agency _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

| Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)? |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation? |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Is there a municipal zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? |
| <input type="checkbox"/> | <input type="checkbox"/> | 12. Is there a municipal subdivision and land development ordinance? |

SECTION C. AGENCY REVIEW (continued)

| Yes | No | |
|--|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____ |
| 17. Name, title and signature of planning agency staff member completing this section: Name: _____ Title: _____ Signature: _____ Date: _____ Name of Municipal Planning Agency: _____ Address _____ Telephone Number: _____ | | |

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

Component 4B for
COUNTY PLANNING



**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW**

(or Planning Agency with Areawide Jurisdiction)

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Hamilton Estate - Strafford Avenue

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency _____
2. Date plan received by planning agency with areawide jurisdiction _____
Agency name _____
3. Date review completed by agency _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan? If no, describe goals and objectives that are not met _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources? If no, describe inconsistency _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation? If no, describe inconsistencies: _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impact _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project? If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project? If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance? If no, describe inconsistencies _____ |

SECTION C. AGENCY REVIEW (continued)

| Yes | No | |
|--|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? |
| <input type="checkbox"/> | <input type="checkbox"/> | 12. Is there a county or areawide subdivision and land development ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 13. Does this proposal meet the requirements of the ordinance? If no, describe which requirements are not met _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 14. Is this proposal consistent with the municipal Official Sewage Facilities Plan? If no, describe inconsistency _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 17. Does the county have a stormwater management plan as required by the Stormwater Management Act? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, will this project plan require the implementation of storm water management measures? |
| 18. Name, Title and signature of person completing this section: | | |
| Name: _____ | | |
| Title: _____ | | |
| Signature: _____ | | |
| Date: _____ | | |
| Name of County or Areawide Planning Agency: _____ | | |
| Address: _____ | | |
| Telephone Number: _____ | | |

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

CAPACITY REQUEST FORM

HILBEC Engineering & Geosciences, LLC

26 Beaver Run Road, Downingtown, PA 19335-2257
Office: 610.873.6204 www.hilbec.com Fax: 610.873.6206

Wastewater * Stormwater * Hydrogeology * Environmental * Testing & Design

May 24, 2023

TO:

| | |
|--|--|
| <input type="checkbox"/> Radnor Township | <input type="checkbox"/> Upper Darby Township via DCJA |
| <input type="checkbox"/> RHM | <input type="checkbox"/> Springfield Twp via DCJA |
| <input type="checkbox"/> DELCORA | <input type="checkbox"/> DCJA |
| <input type="checkbox"/> Philadelphia Water Department | |

Re: Hamilton Estate – Strafford Avenue
Radnor Township, Delaware County
Request for Capacity and Planning Module Form Completion

Dear Providers:

The developer is proposing a thirty-eight (38) lot residential home development at the northwest corner of the intersection of Eagle Road and Strafford Avenue. Thirty-Eight (38) new town homes will be constructed while three (3) existing homes will be razed. As the sewage flows through your facilities, the PA DEP requires your sign off on the planning modules and an acknowledgement that capacity has been made available for this project.

Based on the Radnor factor of 262.5 gpd per Equivalent Dwelling Unit, the project will require:

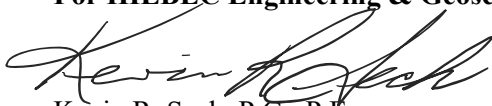
| | | |
|------------------------|--|--------------------|
| Total EDU's: | 38 Proposed EDU's at 262.5 gpd/EDU | = 9,975 gpd |
| <u>Existing EDU's:</u> | <u>3 Existing EDU's at 262.5 gpd/EDU</u> | <u>= 787.5 gpd</u> |

TOTAL NET FLOW: 9,975 – 787.5 gpd = 9,187.5 GPD (35 EDUs)

Enclosed is a copy of the sewage facilities planning module package sent to all the regulatory entities. Please review and complete the appropriate sections G, J (including table J). Also, we request your acknowledgment that sufficient capacity exists within your system and that it has been allocated to this project. Kindly return the completed documents to my office.

Should you have any questions or concerns, please contact my office.

Sincerely,
For HILBEC Engineering & Geosciences, LLC



Kevin R. Sech, P.G., P.E.

krsech@hilbec.com

HILBEC Engineering & Geosciences, LLC

26 Beaver Run Road, Downingtown, PA 19335-2257

Office: 610.873.6204

www.hilbec.com

Fax: 610.873.6206

Wastewater * Stormwater * Hydrogeology * Environmental * Testing & Design

CAPACITY REQUEST ROUTING LIST

Copies of the Sewage Facilities Planning Modules have been sent to the following entities for signature and completion of the relative portions of the Sewage Facilities Planning Modules. We request that capacity in the respective systems be allotted for this project.

| | |
|---|--|
| Radnor Township Mr. Steve Norcini, PE 301 Iven Avenue Wayne, PA 19087 | RHM Sewer Authority Mr. David Adams 600 Glendale Road Havertown, PA 19083-4211 |
| DELCORA Mr. Robert Willert 100 East Fifth Street PO Box 999 Chester, PA 19016-0999 | DCJA c/o Catania Engineering Associates Charles J. Catania, Jr., P.E. 520 MacDade Blvd Folsom, PA 19033 |
| Springfield Township ----- Now all approvals to go through the DCJA 50 Powell Road Springfield, PA 19064 | |
| Charles J. Catania, Jr., P.E. 520 MacDade Blvd Folsom, PA 19033 | |
| Upper Darby Township----- Now all approvals to go through the DCJA 100 Garrett Road Room 301 Upper Darby, PA 19082 | |
| Charles J. Catania, Jr., P.E. 520 MacDade Blvd Folsom, PA 19033 | |
| Philadelphia Southwest Water Pollution Control Plant Mr. Erik Haniman, P.E. 1101 Market Street Philadelphia, PA 19107-2994 | |

PNDI

1. PROJECT INFORMATION

Project Name: **Hamilton Estate - Strafford Avenue**

Date of Review: **5/23/2023 08:06:14 PM**

Project Category: **Development, Residential, Subdivision containing more than 2 lots and/or 2 single-family units**

Project Area: **8.42 acres**

County(s): **Delaware**

Township/Municipality(s): **RADNOR TOWNSHIP**

ZIP Code:

Quadrangle Name(s): **VALLEY FORGE**

Watersheds HUC 8: **Lower Delaware; Schuylkill**

Watersheds HUC 12: **Darby Creek; Plymouth Creek-Schuylkill River**

Decimal Degrees: **40.046706, -75.400344**

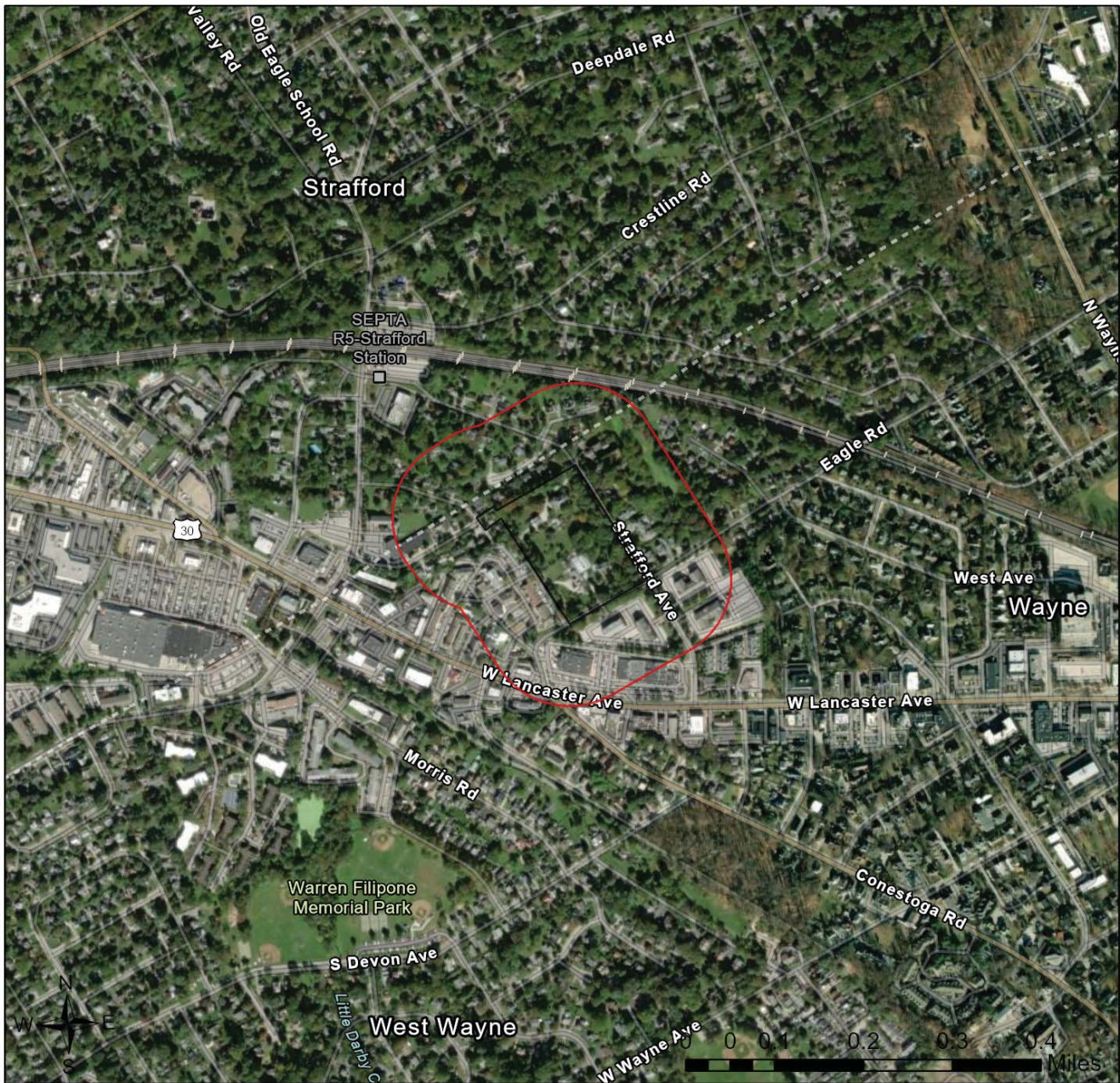
Degrees Minutes Seconds: **40° 2' 48.1432" N, 75° 24' 1.2379" W**



2. SEARCH RESULTS

| Agency | Results | Response |
|---|-----------------|----------------------------|
| PA Game Commission | No Known Impact | No Further Review Required |
| PA Department of Conservation and Natural Resources | No Known Impact | No Further Review Required |
| PA Fish and Boat Commission | No Known Impact | No Further Review Required |
| U.S. Fish and Wildlife Service | No Known Impact | No Further Review Required |

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

Hamilton Estate - Strafford Avenue

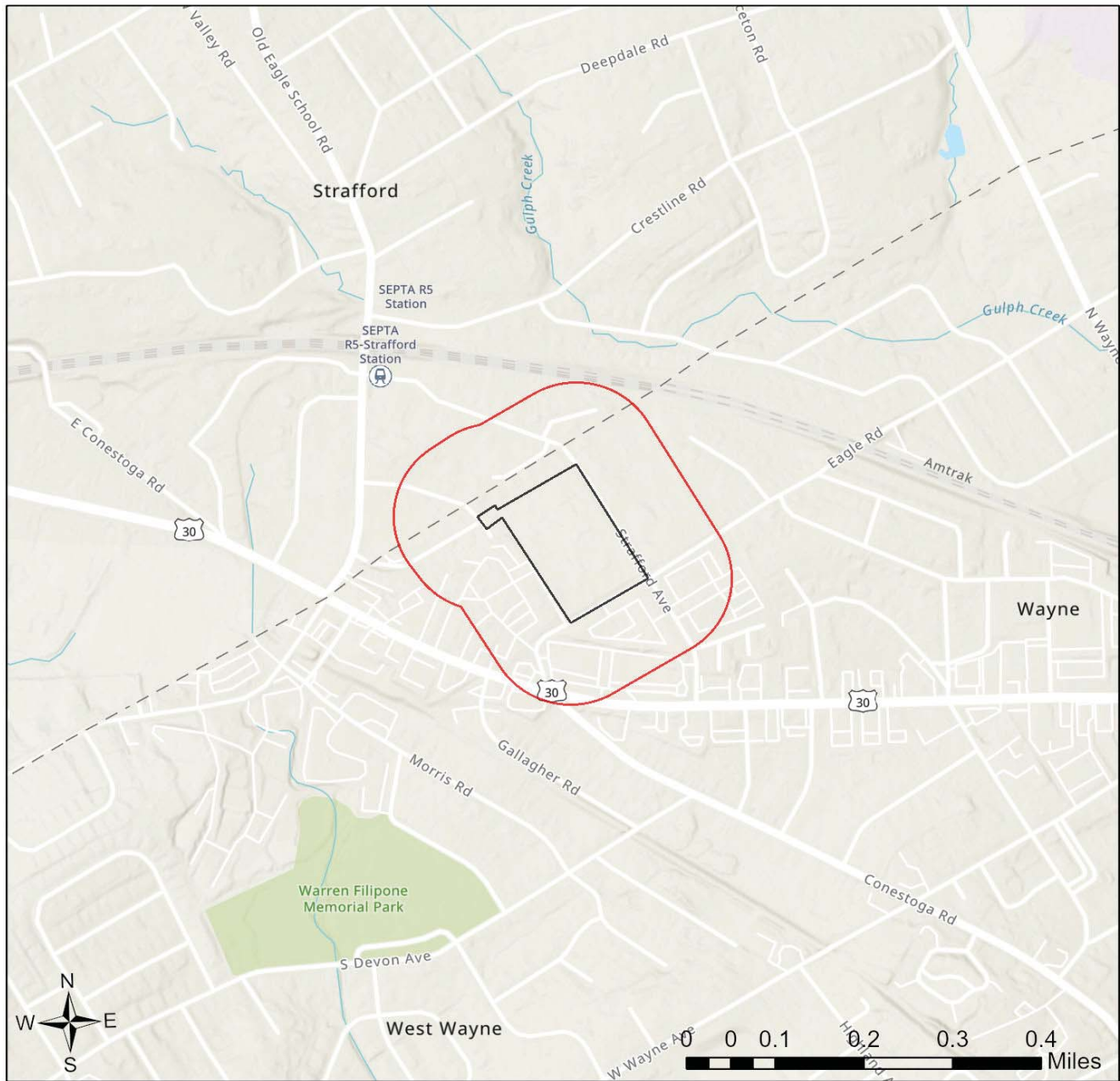




-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

Hamilton Estate - Strafford Avenue



-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

RESPONSE TO QUESTION(S) ASKED

Q1: Accurately describe what is known about wetland presence in the project area or on the land parcel by selecting ONE of the following. "Project" includes all features of the project (including buildings, roads, utility lines, outfall and intake structures, wells, stormwater retention/detention basins, parking lots, driveways, lawns, etc.), as well as all associated impacts (e.g., temporary staging areas, work areas, temporary road crossings, areas subject to grading or clearing, etc.). Include all areas that will be permanently or temporarily affected -- either directly or indirectly -- by any type of disturbance (e.g., land clearing, grading, tree removal, flooding, etc.). Land parcel = the lot(s) on which some type of project(s) or activity(s) are proposed to occur.

Your answer is: Someone qualified to identify and delineate wetlands (holding a natural resource degree or equivalent work experience) has investigated the site, and determined that NO wetlands are located in or within 300 feet of the project area. (A written report from the wetland specialist, and detailed project maps should document this.)

Q2: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

Your answer is: No forests, woodlots or trees will be affected by the project.

Q3: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

Bureau of Wildlife Management
Division of Environmental Review
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Kevin R. Sech, P.G., P.E.
Company/Business Name: HILBEC Engineering & Geosciences, LLC
Address: 26 Beaver Run Road
City, State, Zip: Downingtown, PA 19335+2257
Phone: (484) 888-8700 Fax: ()
Email: krsech@hilbec.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

Kevin R. Sech
applicant/project proponent signature

05/24/2023

date

PHMC/SHPO DOCUMENTS



PROJECT REVIEW FORM

Request to Initiate SHPO Consultation on State and Federal Undertakings

| | | |
|----------------------|--------------------------------|--------------------------|
| SHPO USE ONLY | | Reviewers: _____ / _____ |
| DATE RECEIVED: | DATE DUE: | |
| ER NUMBER: | HRSF: <input type="checkbox"/> | |

REV: 07/2020

SECTION A: PROJECT NAME & LOCATION

Is this a new submittal? YES NO OR This is additional information for ER Number:

Project Name Hamilton Estate - Strafford Avenue County Delaware Municipality Radnor Township
 Project Address 204 & 228 Strafford Avenue & 18 Forrest Ln City/State/ Zip Wayne PA 19087

SECTION B: CONTACT INFORMATION & MAILING ADDRESS

Name Kevin R. Sech, P.G., P.E. Phone (484) 888-8700
 Company HILBEC Engineering & Geosciences, LLC Fax
 Street/PO Box 26 Beaver Run Road Email krsech@hilbec.com
 City/State/Zip Downingtown PA 19335 Email cc:

SECTION C: PROJECT DESCRIPTION

This project is located on: Federal property State property Municipal property Private property
 (check all that apply)

| List all federal and state agencies and programs providing funds, permits, licenses. | Agency Type | Agency/Program/Permit Name | Project/Permit/Tracking Number (if applicable) |
|--|-------------|----------------------------|--|
| | | State | PA DEP SERO |
| | | | |
| | | | |

Proposed Work – Attach project description, scope of work, site plans, and/or drawings

Project includes (check all that apply): Construction Demolition Rehabilitation Disposition

Total acres of project area: 8.34 Total acres of earth disturbance: 8.0

Are there any buildings or structures within the project area? Yes No Approximate age of buildings: 125

Does this project involve properties listed in or eligible for the National Register of Historic Places, or locally designated? Inventory here: <https://gis.penndot.gov/crgis>
 Yes No Unsure Name _____
 Key Number _____

**Please email this form
and pdf attachments to:
RA-PH-PASHPO-ER@pa.gov**

Please be sure to save the Project Review Form so that it remains a digital document and retains its function as a fillable pdf. Do not print the form and scan as a pdf.

Attachments – Please include the following information with this form

- Map** – 7.5' USGS quad, streetmap, or parcel map showing the project's Area of Potential Effect
- Description/Scope of Work** – Narrative description of the project, including any ground disturbance and previous land use, and any potential to impact historic resources
- Site Plans/Drawings** – Indicate location and age of buildings, any proposed improvements, and past and present land use
- Photographs** – Digital photographs of all buildings and structures keyed to a site plan. If demolition or exterior changes are proposed to buildings more than 50 years old, please also include Abbreviated HRSF

SHPO RESPONSE (SHPO USE ONLY)

There are **NO HISTORIC PROPERTIES** in the Area of Potential Effect **SHPO REQUESTS ADDITIONAL INFORMATION** (see attached)

The project will have **NO EFFECT** on historic properties

The project will have **NO ADVERSE EFFECTS** on historic properties: _____ Key# _____

DIVISION CHIEF, ENVIRONMENTAL REVIEW:

DATE: _____

SHPO REVIEWER: _____

**Abbreviated Historic Resource Survey Form
Pennsylvania Historical & Museum Commission**

IDENTIFICATION AND LOCATION

ER #:

Survey Code:

Tax Parcel:

County:

Municipality:

Address:

Historic/Other Name:

Owner Name/Address:

Owner Category: Private

USGS Quad:

UTM: Zone 18 N E Or Lat /Long

PHYSICAL DESCRIPTION

Resource Classification: Building # Resources

Historic Property Function:

Current Property Function:

Caption:

Year Built:

Architectural Style:

Materials:

Foundation:

Walls:

Roof:

Width in Bays:

Stories:

SURVEYOR INFORMATION

Name:

Project Name:

Date:

Project Location:

Organization Name:

Organization Address:

Previous Survey(s):

PHMC Key No.

Surveyor Eligibility Recommendation:

- Lack of integrity Lack of significance
 Insufficient information to make a recommendation

Caption:

WATER AVAILABILITY LETTER



March 25, 2020

Dave Sanders
Site Engineering Concepts, LLC
PO Box 1992
Southeastern, PA 19399

Re: Water Availability
Hamilton Estate South – Strafford Avenue
Radnor Township, Delaware County

Dear Mr. Sanders:

This letter will serve as confirmation that the above referenced property is situated within Aqua Pennsylvania Inc.'s ("Aqua") service territory. Service will be provided in accordance with Aqua's Rules and Regulations.

This proposed development will require a main extension(s) for service to be available. A main extension with connections at both entrance points to Aqua's existing 8-inch main in Strafford Avenue will be required. A main extension plan utilizing Aqua plan standards must be prepared and submitted to this office for review and approval. Following approval of the main extension design and plan, construction of the main extension project would be completed by the Builder under our standard Builder's Extension Agreement.

Flow data information may be obtained from our Production Department so that you may determine the adequacy of our supply for your project needs. Please fax a written request to Lisa Thomas Oliva at 610-645-1162 containing the address, street, cross street and municipality and all pertinent contact information.

If I can be of further assistance, you may contact me at (610) 645-1105.

Sincerely,

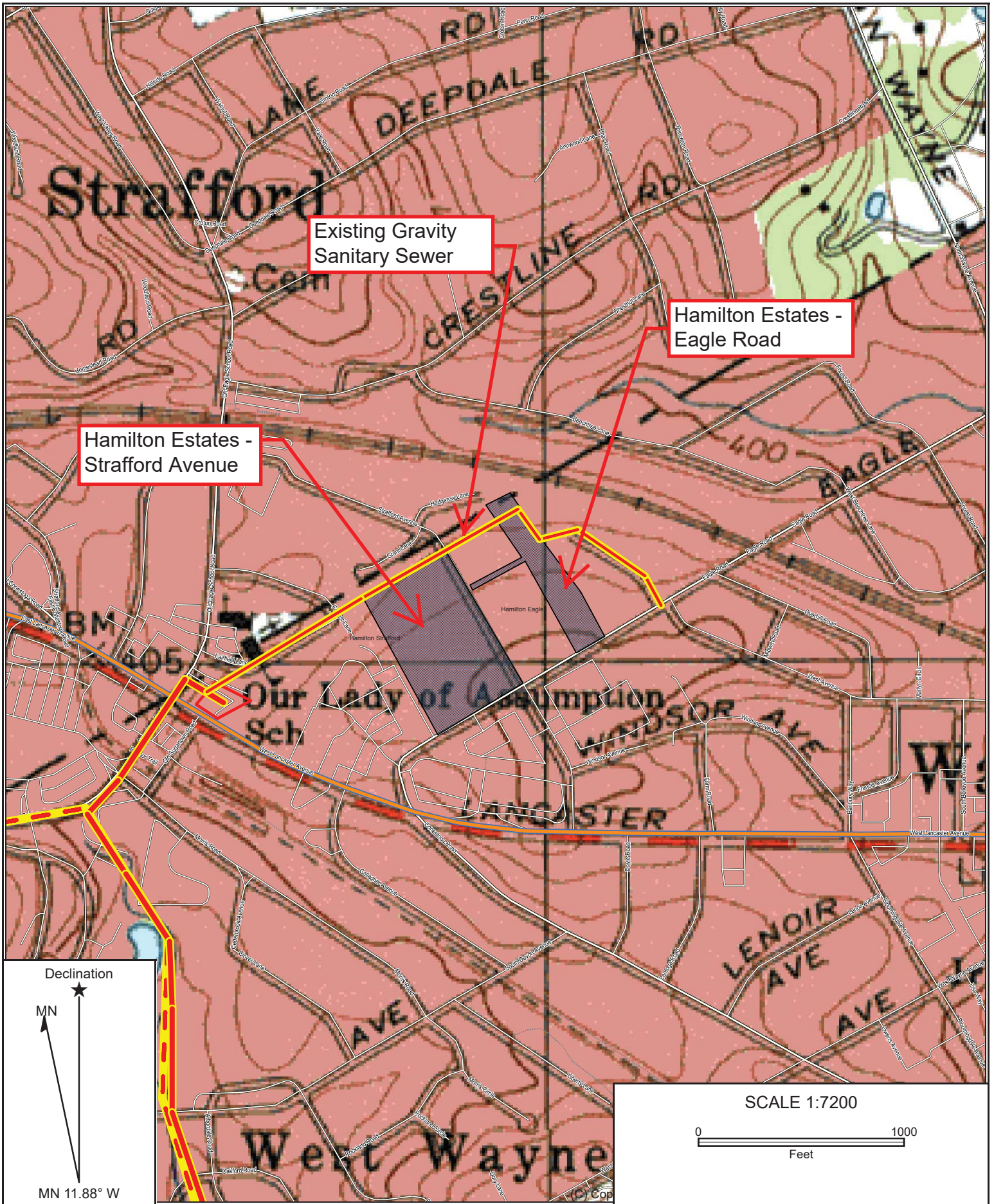
A handwritten signature in blue ink that reads "David C. McIntyre".

David C. McIntyre
Manager, New Business and Contract Operations

NEWSPAPER PROOF OF PUBLICATION

This proposal does not require newspaper publication as no impacts are foreseen. The Connection Management Plan (CMP) enforced in the area makes this project consistent with the requirements of Section P of the Sewage Facilities Planning Modules.

MAPS



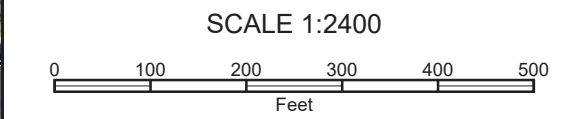
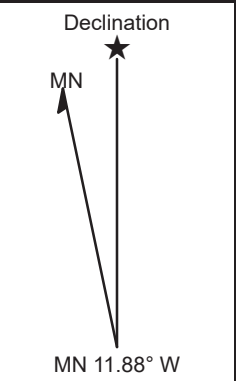
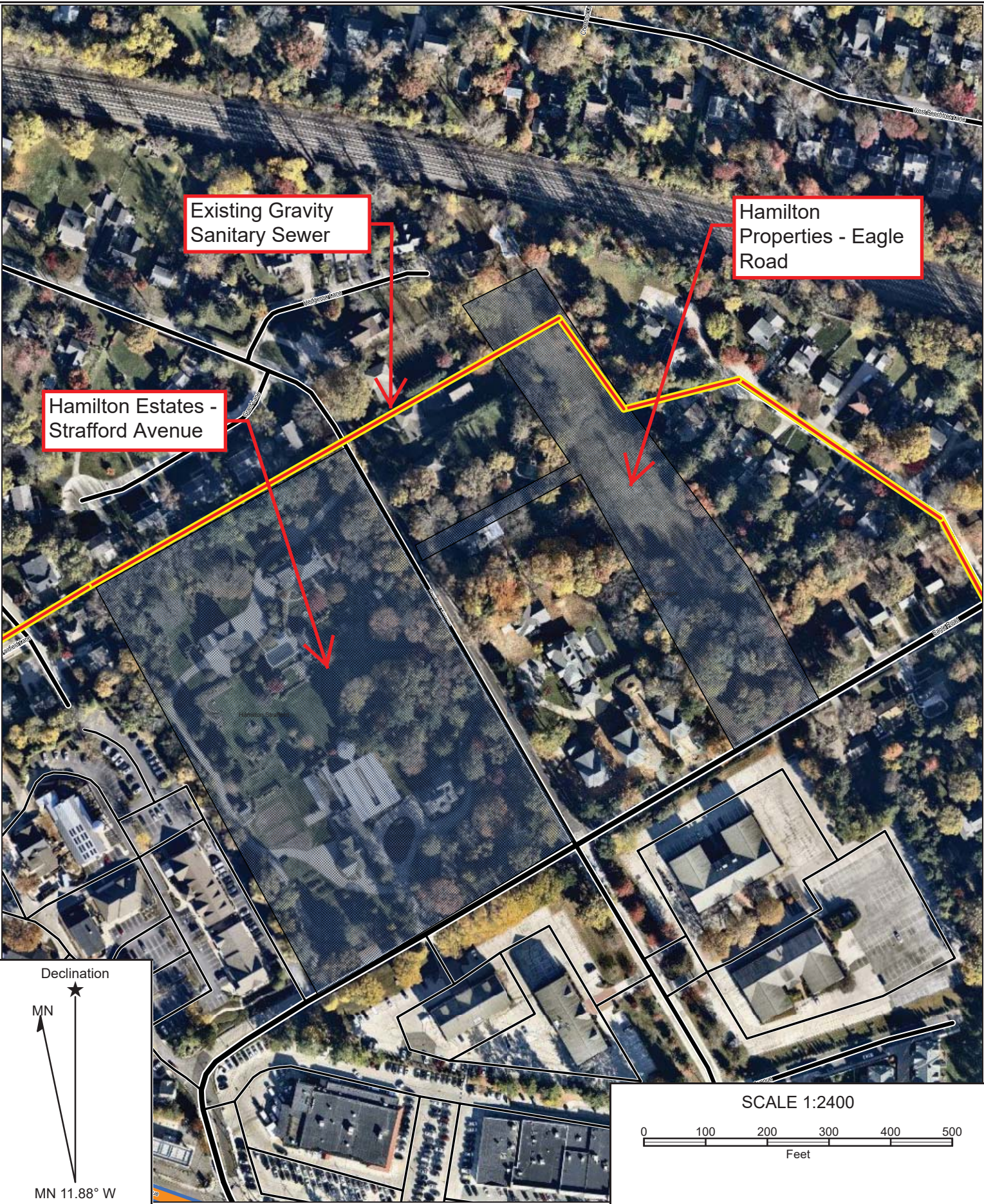
Map Name: VALLEY FORGE
 Date Prepared: 12/2020
 Scale: 1 inch = 600 ft.

Map Type: Topographic, North American 1983
 PROJECT: Hamilton Estates

Existing Gravity
Sanitary Sewer

Hamilton
Properties - Eagle
Road

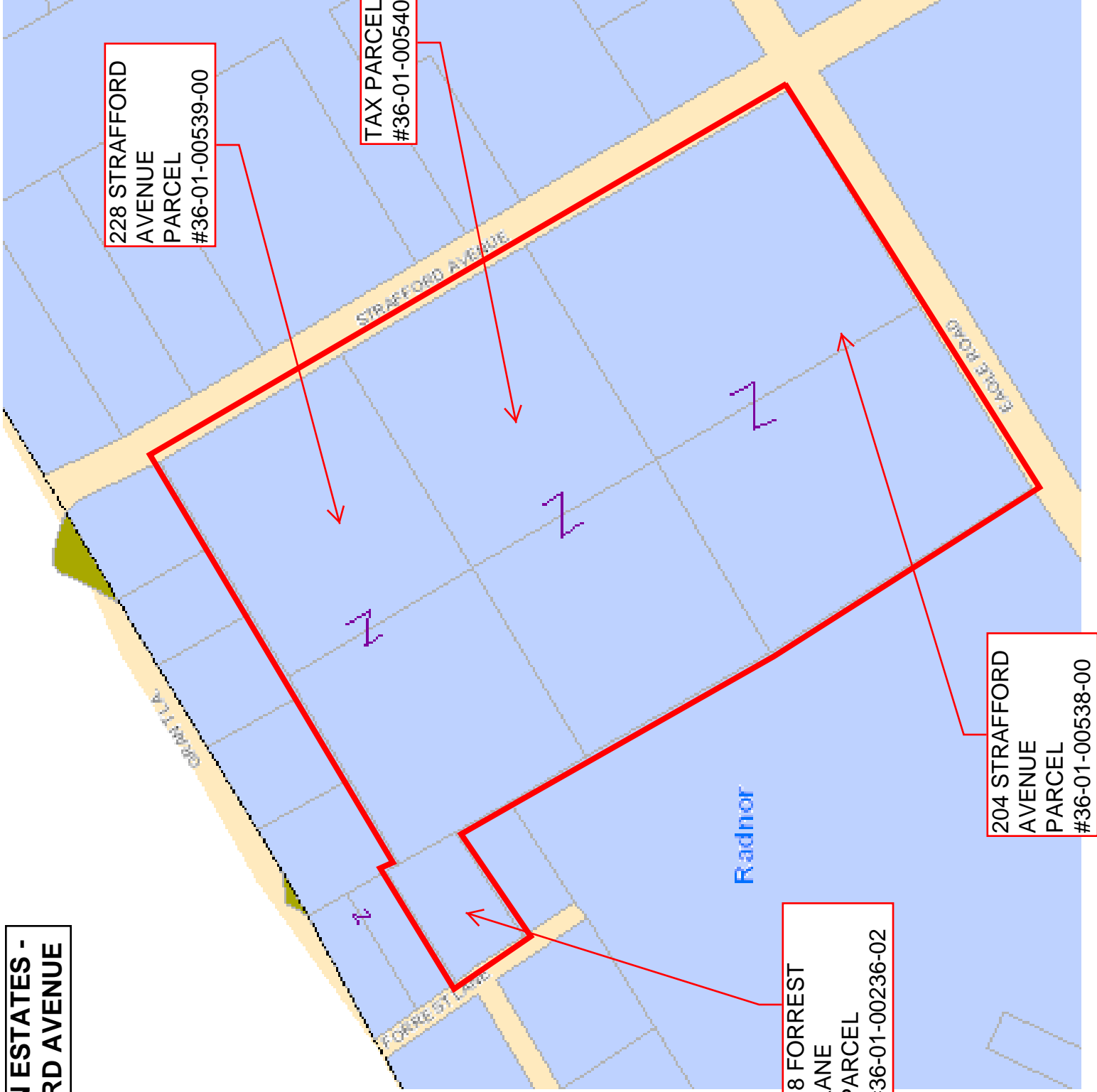
Hamilton Estates -
Strafford Avenue



Map Name: Satellite Image
 Date Prepared: 12/2020
 Scale: 1 inch = 200 ft.

Map Type: Aerial Photo, North American 1983
 PROJECT: Hamilton Estates

**HAMILTON ESTATES -
STRAFFORD AVENUE**



228 STRAFFORD
AVENUE
PARCEL
#36-01-005339-00

TAX PARCEL
#36-01-00540-00

18 FORREST
LANE
PARCEL
#36-01-002336-02

204 STRAFFORD
AVENUE
PARCEL
#36-01-005338-00

FORREST LN

GRANT LA

FIELD LA

STRAFFORD AVE

WEST AVE

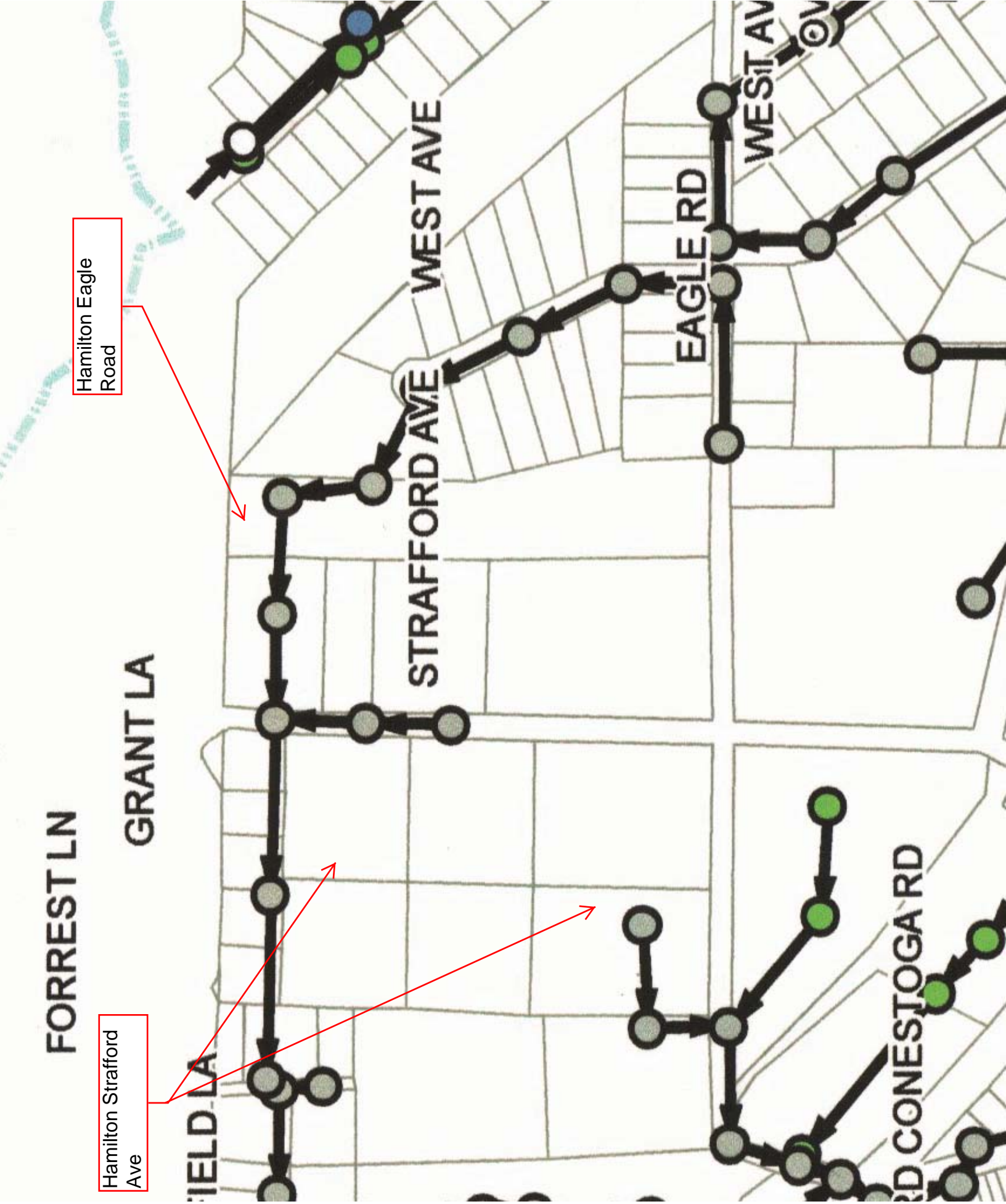
EAGLE RD

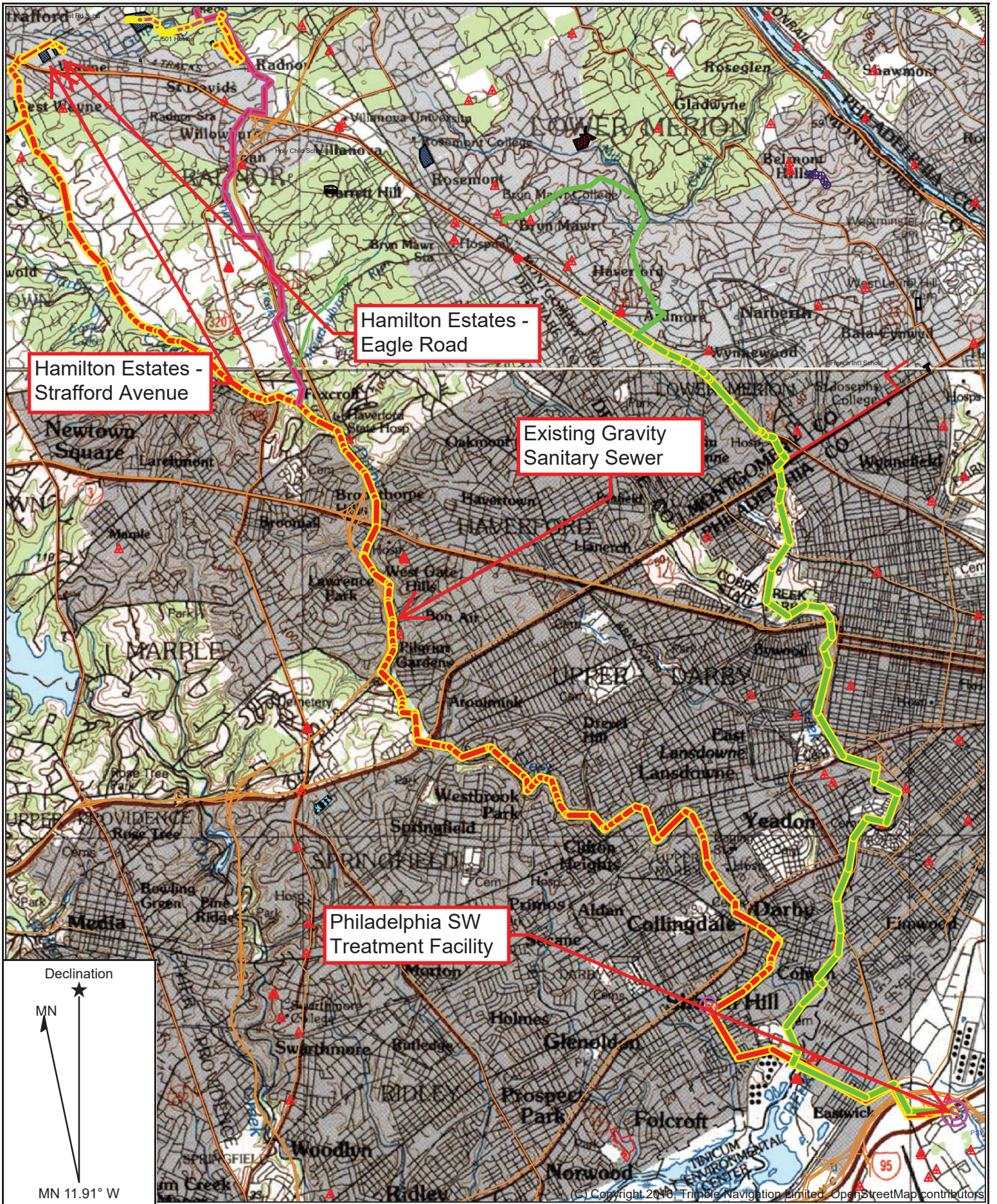
WEST AV

RD CONESTOGA RD

Hamilton Eagle Road

Hamilton Strafford Ave



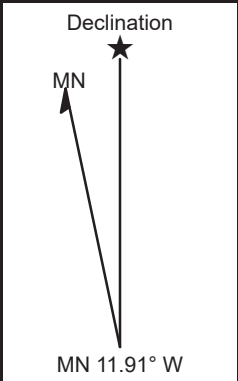


Hamilton Estates -
Strafford Avenue

Hamilton Estates -
Eagle Road

Existing Gravity
Sanitary Sewer

Philadelphia SW
Treatment Facility

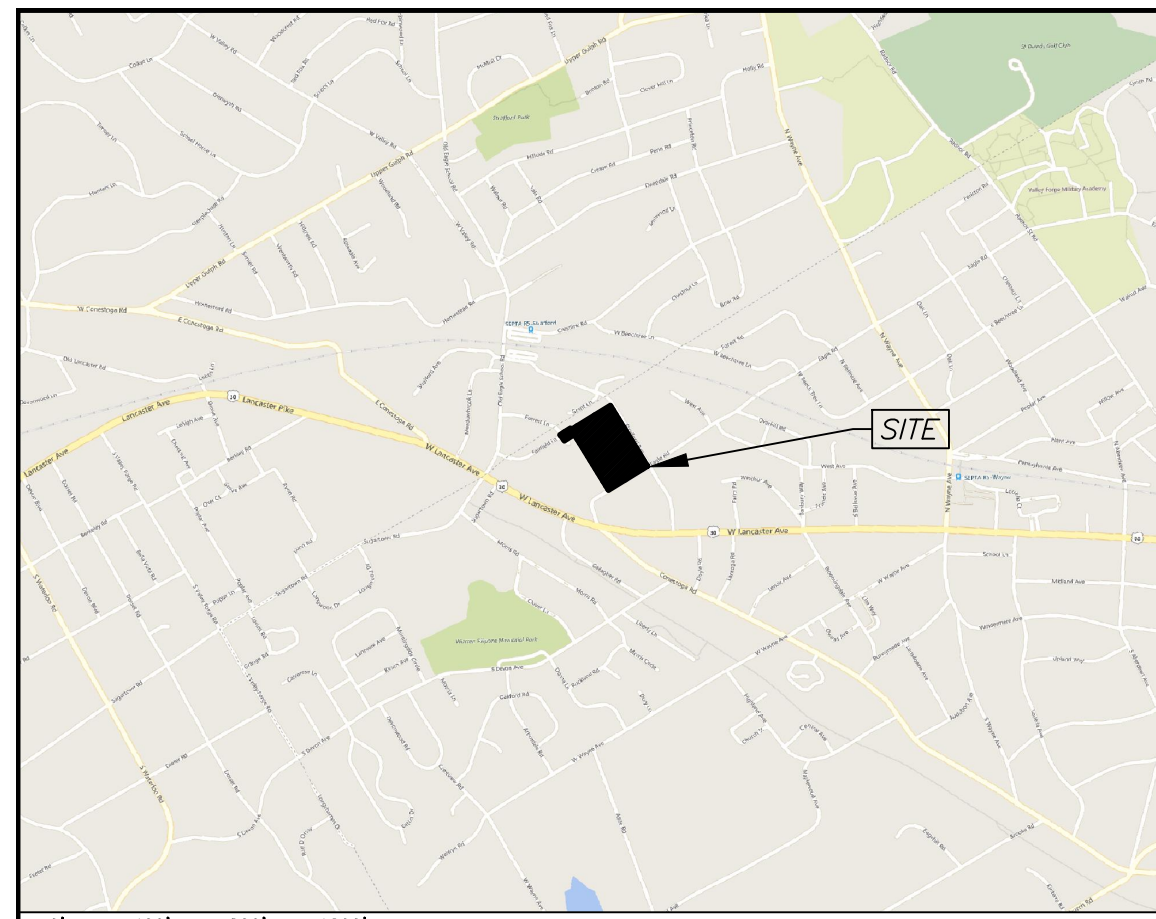


(C) Copyright 2018, Trimble Navigation Limited, OpenStreetMap contributors

Map Name: VFSA Sewer Run
Date Prepared: 12/2017
Scale: 1 inch = 6,666 ft.

Map Type: Topographic, North American 1983
PROJECT: 749 First Ave

SITE PLANS



LOCATION MAP

NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325

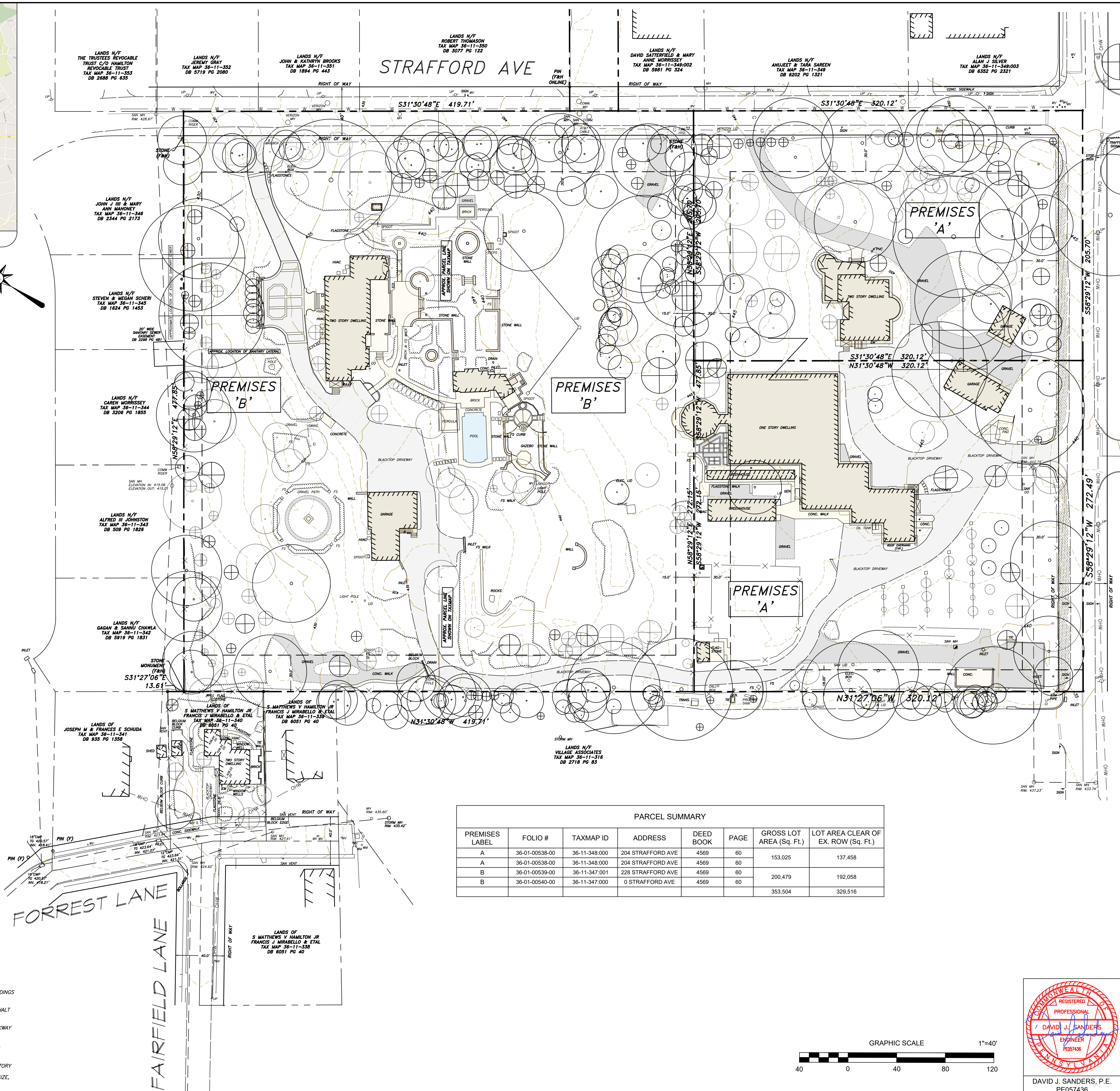


PLAN LEGEND

| | |
|--|--------------------|
| --- SUPPLEMENTAL CONTOUR (1' INTERVAL) | EXISTING BUILDINGS |
| - - - INDEX CONTOUR (5' INTERVAL) | EXISTING ASPHALT |
| --- ST --- STORM SEWER PIPING | EXISTING WALKWAY |
| --- S --- SANITARY SEWER PIPING | EXISTING WALL |
| --- G --- GAS MAIN | |
| --- W --- WATER MAIN / SERVICE | |
| --- OW --- OVERHEAD WIRE | |
| --- T --- UNDERGROUND TELEPHONE | |
| --- E --- EDGE OF PAVEMENT | |
| --- X --- FENCE LINE | |

| | |
|--|--------------------|
| | EXISTING BUILDINGS |
| | EXISTING ASPHALT |
| | EXISTING WALKWAY |
| | EXISTING WALL |

SEE EXISTING TREE INVENTORY PLAN, SHEET EX-1, FOR EXISTING TREE SPECIES, SIZE, AND CONDITION



GENERAL NOTES

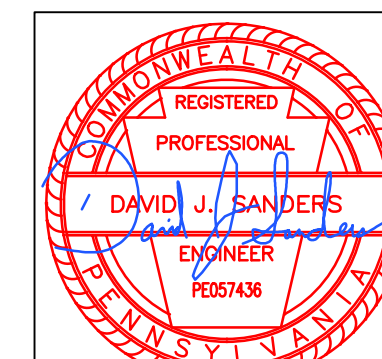
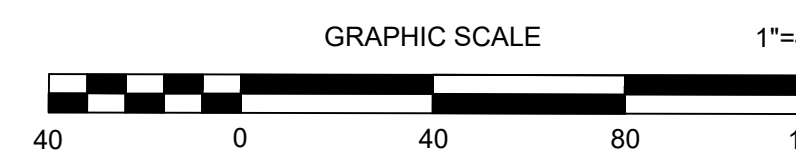
- BEARINGS SHOWN ARE BASED ON A MERIDIAN ESTABLISHED USING PA STATE PLANE COORDINATES. MERIDIAN DIFFERS FROM THE RECORDED DEED BY 6'35"48".
- CONTOURS PLOTTED FROM FIELD RUN SURVEY. GPS CONTROL PERFORMED ON SITE TO ESTABLISH BENCHMARK. DATUM NAD83/NAV88.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A CURRENT TITLE REPORT.
- THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
- THERE IS NO IDENTIFIABLE FEMA FLOOD PLAIN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428 0017F OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO ANY CONSTRUCTION. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- PLANS REFERENCED: LOT LINE CHANGE PLAN PREPARED BY YERKES ASSOCIATES, INC. FOR MRS. S.M.V HAMILTON DATED JULY 21, 2001.

ZONING SUMMARY

| R-4 - RESIDENTIAL DISTRICT | |
|-----------------------------|---------------|
| ORDINANCE ITEM | REQUIREMENT |
| MIN. LOT AREA | 7,000 SF |
| MIN. LOT WIDTH @ BLDG | 55 FT |
| MIN. SETBACKS | |
| FRONT | 30 FT |
| SIDE (INDIVIDUAL/AGGREGATE) | 12 FT / 30 FT |
| REAR | 30 FT |
| MAX. BUILDING HEIGHT | 35 FT |
| MAX. BUILDING COVERAGE | 30% |
| MAX. IMPERVIOUS COVERAGE | 40% |
| RIPARIAN BUFFER SETBACK | 25 FT |

PARCEL SUMMARY

| PREMISES LABEL | FOLIO # | TAXMAP ID | ADDRESS | DEED BOOK | PAGE | GROSS LOT AREA (Sq. Ft.) | LOT AREA CLEAR OF EX. ROW (Sq. Ft.) |
|----------------|----------------|---------------|-------------------|-----------|------|--------------------------|-------------------------------------|
| A | 36-01-00538-00 | 36-11-348-000 | 204 STRAFFORD AVE | 4569 | 60 | 153,025 | 137,458 |
| A | 36-01-00538-00 | 36-11-348-000 | 204 STRAFFORD AVE | 4569 | 60 | 153,025 | 137,458 |
| B | 36-01-00539-00 | 36-11-347-001 | 228 STRAFFORD AVE | 4569 | 60 | 200,479 | 192,058 |
| B | 36-01-00540-00 | 36-11-347-000 | 0 STRAFFORD AVE | 4569 | 60 | 353,504 | 329,516 |



DAVID J. SANDERS, P.E.
PE057436

| NUM. | DATE | REVISION |
|------|------|----------|
| | | |
| | | |
| | | |

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTON, PA 19399

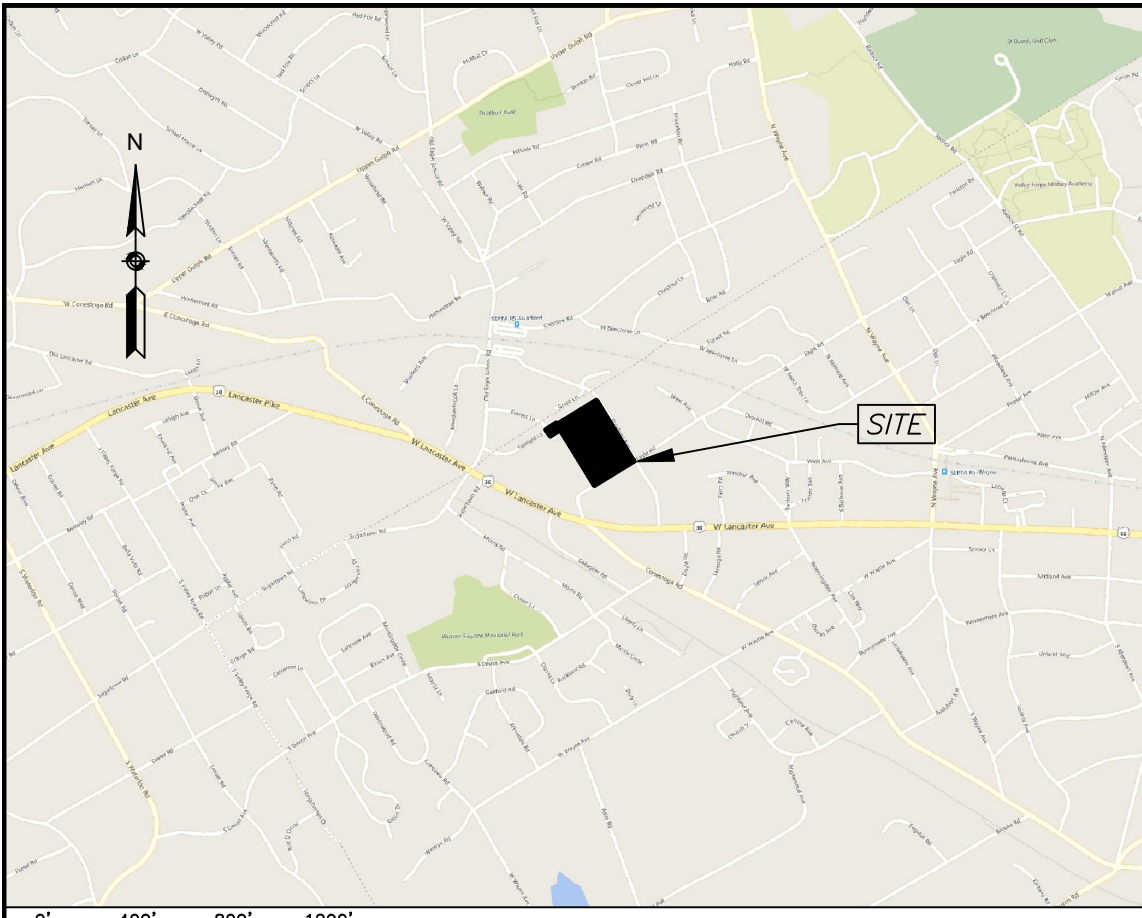
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
HAMILTON ESTATE
204 & 228 STRAFFORD AVE
WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
DATE: MAY 18, 2023

EXISTING CONDITIONS PLAN

SHEET 2 of 14
SCALE: 1" = 40'



LOCATION MAP

NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325



SOIL DATA
 ENTIRE PROJECT AREA COMPOSED OF UrmB SOILS ACCORDING TO THE PENN STATE SOIL MAP WEBSITE.
 UrmB - URBAN LAND-GLENELG COMPLEX
 0 TO 8 PERCENT SLOPES
 DEPTH TO SEASONAL HIGH WATER TABLE: MORE THAN 80"
 DEPTH TO BEDROCK: 60" TO 120"
 HYDROLOGICAL CLASSIFICATION TYPE B

TABLE E.1 LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS (ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION")

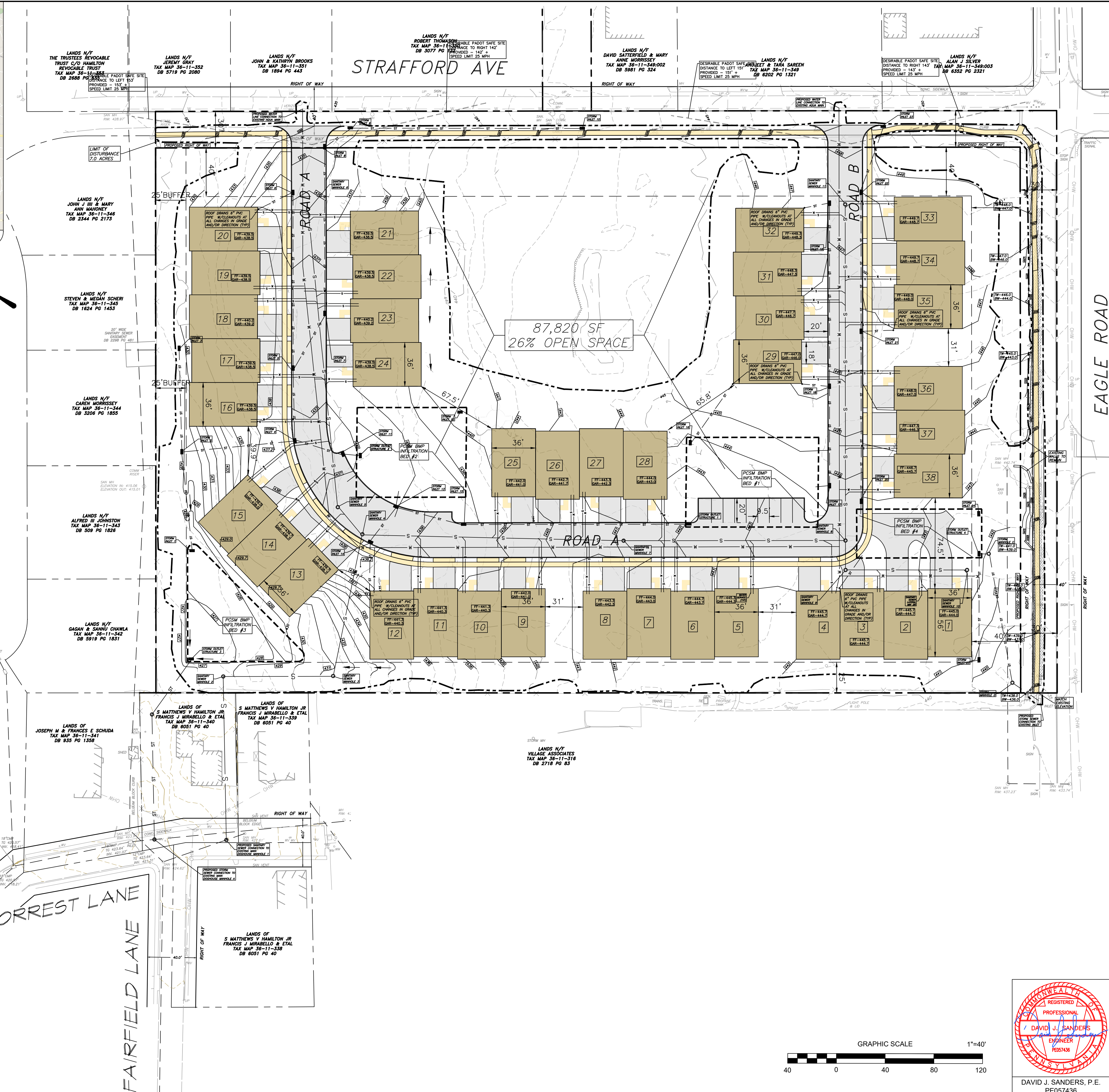
| SOIL NAME | CUTBANKS CAVE | CONCRETE TO | DEEPLY | EASILY ERODIBLE | DEPTH TO SATURATED | ZONE/SEASONAL HIGH | CONCRETE/STEEL | WORKABLE | SLOW PERCOLATION | POOR SOURCE OF | TOPSOIL | LOOSE | SHANK | POTENTIAL | SHRINK | SWELL | WEARINESS |
|-----------|---------------|-------------|--------|-----------------|--------------------|--------------------|----------------|----------|------------------|----------------|---------|-------|-------|-----------|--------|-------|-----------|
| URBAN | | | | | | | | | | | | | | | | | |

SOIL RESOLUTIONS
 HIGH WATER TABLE—THE GEOTECHNICAL REPORT INDICATED THAT THERE WAS NO GROUNDWATER ENCOUNTERED AT THE EXCAVATION DEPTHS. IF GROUND WATER IS ENCOUNTERED WATER TIGHT STORM WATER PIPES AND CLAY CHECK DAMS USED IN SANITARY SEWER TRENCHING.
 FROST PROTECTION—AVOID WINTER GRADING

PLAN LEGEND

| | |
|--|----------------------|
| --- SUPPLEMENTAL CONTOUR (2' INTERVAL) | |
| --- INDEX CONTOUR (10' INTERVAL) | |
| --- ST --- EXISTING STORM SEWER PIPING | |
| --- S --- EXISTING SANITARY SEWER PIPING | |
| --- G --- EXISTING GAS MAIN | |
| --- W --- EXISTING WATER MAIN / SERVICE | |
| --- T --- EXISTING UNDERGROUND TELEPHONE | |
| --- E --- EXISTING EDGE OF WOODS | |
| --- P --- EXISTING EDGE OF PAVEMENT | |
| --- C --- EXISTING CURB | |
| --- F --- EXISTING FENCE LINE | |
| --- I --- EXISTING STORMWATER INLET | |
| --- P --- PROPERTY LINE | |
| --- B --- BUILDING SETBACK LINE | |
| --- [32] --- PROPOSED CONTOUR | ■ PROPOSED BUILDINGS |
| --- [32] --- PROPOSED STORM WATER | ■ PROPOSED ASPHALT |
| --- [32] --- PROPOSED CURB | ■ PROPOSED WALKWAY |
| --- [32] --- PROPOSED STORMWATER INLET | |

HALF TONE EXISTING
 FULL TONE PROPOSED



- PROJECT NOTES**
- SHOULD ANY TREES NOT SCHEDULED OR PERMITTED TO BE REMOVED BE IRREPARABLY DAMAGED DURING CONSTRUCTION AND DIE WITHIN EIGHTEEN (18) MONTHS OF THE CONCLUSION OF CONSTRUCTION ACTIVITIES, THOSE TREES WILL BE REQUIRED TO BE REPLACED.
 - GRADING AND EARTH-MOVING OPERATIONS SHALL BE MINIMIZED DURING THE PERIOD NOVEMBER 15 TO APRIL 1 WHEN RE-VEGETATION OF EXPOSED GROUND SURFACE IS DIFFICULT. MULCH, STRAW, STONE AND/OR SOG SHALL BE USED TO STABILIZE ALL AREAS DENuded DURING THIS TIME PERIOD.
 - ROOF DRAIN COLLECTION PIPING SHALL BE 6" PVC @ 0.02 FT/FT MIN. CLEANOUTS SHALL BE PROVIDED AT ALL CHANGES IN GRADE AND/OR DIRECTION.
 - THE MAXIMUM TIME OF EXPOSURE FOR BARE SOIL AREAS SHALL BE TWENTY (20) DAYS BEFORE STABILIZATION MEASURES ARE IMPLEMENTED.
 - ROUTINE END-OF-DAY CHECKS AND FOLLOWING STORMS SHALL BE REQUIRED DURING THE CONSTRUCTION TO ENSURE THE MEASURES ARE WORKING PROPERLY.
 - NEWLY GRADED SLOPES OF OVER 25% MUST BE STABILIZED WITH SOG OR JUTE NETTING AND SEED.
 - UTILITY LINES PER ONE CALL INFORMATION HAVE BEEN SHOWN. CONTRACTOR MUST VERIFY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - GAS, ELECTRIC, WATER OR ANY OTHER UTILITY TO BE ABANDONED SHALL BE PROPERLY SEALED/REMOVED.
 - HIGH DURABILITY PAVEMENT MARKING MATERIAL SHALL BE USED FOR ALL PAVEMENT STRIPPING.
 - THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE SEWAGE BED AND STORM PIPING SHALL BE THE OBLIGATION OF THE HOMEOWNERS ASSOCIATION.

| NUM. | DATE | REVISION |
|------|------|----------|
| | | |
| | | |
| | | |
| | | |

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
 P.O. BOX 1992
 SOUTHEASTERN, PA 19399
 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

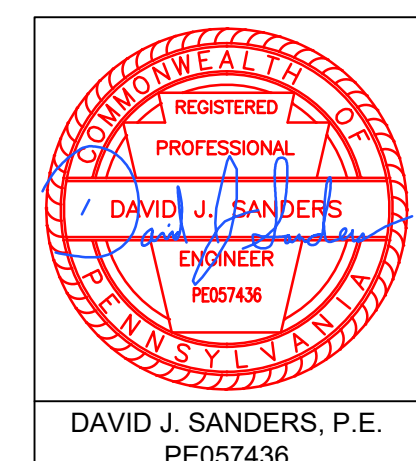
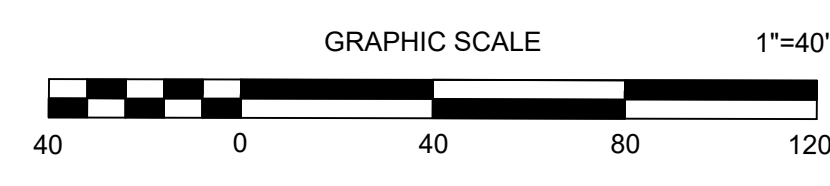
PLAN PREPARED FOR:
HAMILTON ESTATE
 204 & 228 STRAFFORD AVE
 WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
 DATE: MAY 18, 2023

POST CONSTRUCTION STORMWATER PLAN

SHEET 5 of 14

SCALE: 1" = 40'



DAVID J. SANDERS, P.E.
 PE057436